

CERTIFIED SURVEY MAP NO - _____
 BEING A REDIVISION OF A PART OF LOT 7 AND UNPLATTED LANDS, ALL LYING WITHIN AND BEING A PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE VILLAGE OF ELM GROVE, COUNTY OF WAUKESHA, STATE OF WISCONSIN

PREPARED FOR: OWNER / SUDVIDER:
 ELM GROVE LUTHERAN CHURCH
 855 N. TERRACE DRIVE
 ELM GROVE, WI 53122

EXISTING ZONING = I-1
 PROPOSED ZONING = I-1

I-1 SETBACKS

FRONT - 50FT
 REAR - 25FT
 SIDE - 30FT

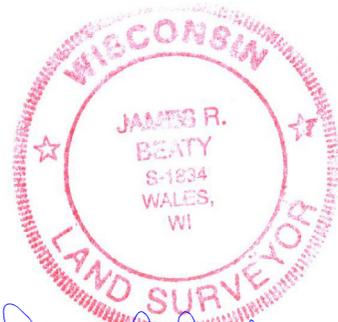
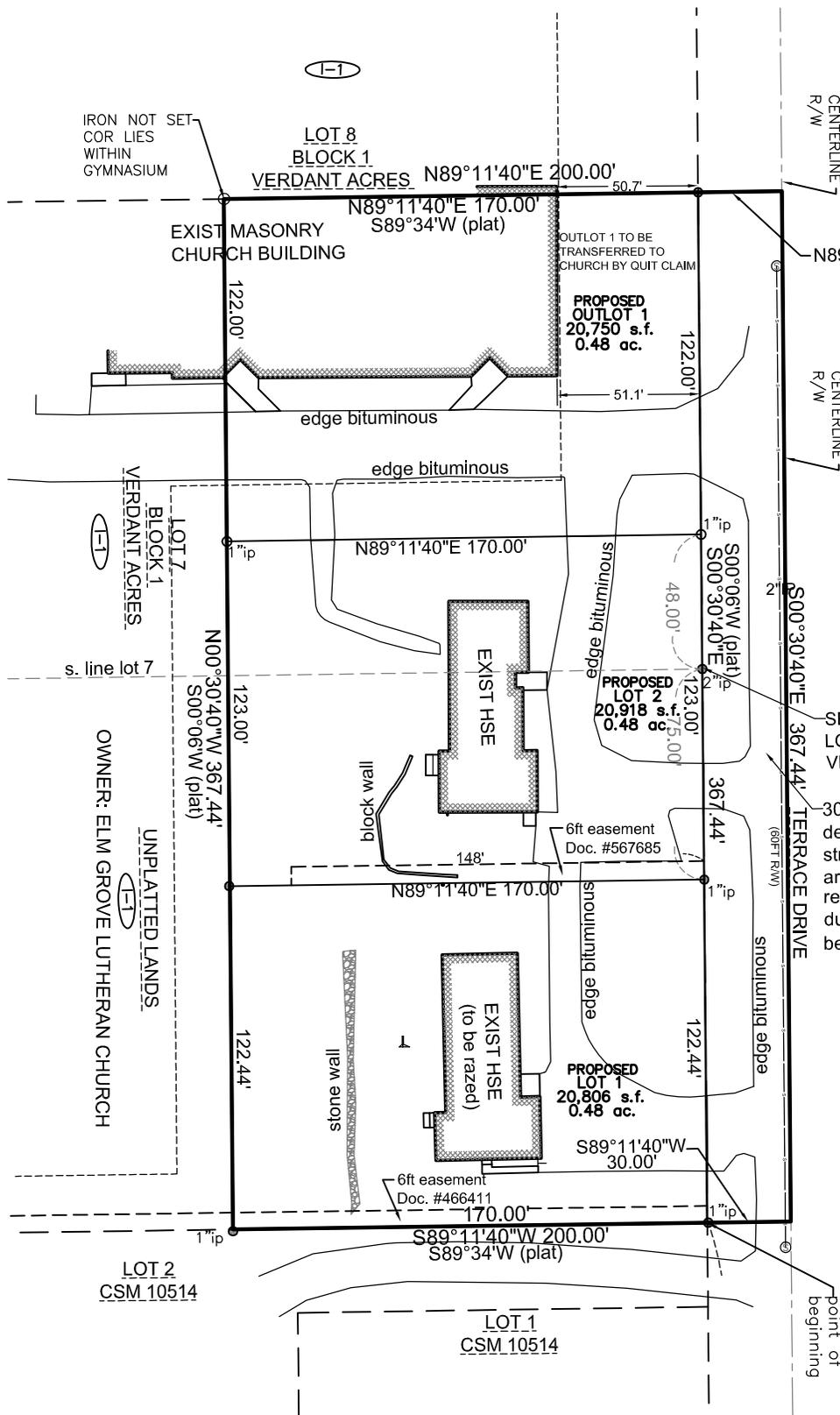
IMPERVIOUS SURFACE AREAS

PROPOSED LOT 1
 roof - 2,663 s.f.
 concrete - 66 s.f.
 pavement - 2,714 s.f.
 stone wall - 270 s.f.
 TOTAL - 5,713 s.f.
 COVERAGE - 27.3%

PROPOSED LOT 2
 roof - 2,741 s.f.
 concrete - 65 s.f.
 pavement - 3,702 s.f.
 stone wall - 60
 TOTAL - 6,568 s.f.
 COVERAGE - 31.4%

see plat of survey for add'l details

30ft to be dedicated for public street purposes area = 11,023s.f. rededicating entire r/w due to subdivision irons being placed incorrectly



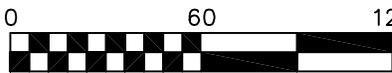
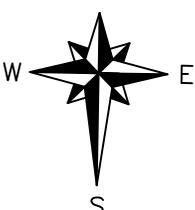
James R. Beaty
 James R. Beaty, PLS 1834
 DATED: MARCH 6, 2023
 REVISED: JUNE 9, 2023

SW COR NW 1/4 SECTION 26 TOWN 7 NORTH RANGE 20 EAST CONC MONU W/BRASS CAP

SE COR NW 1/4 SECTION 26 TOWN 7 NORTH RANGE 20 EAST CONC MONU W/BRASS CAP

LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER FOUND AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- (RS-4) - ZONING DISTRICT



GRAPHIC SCALE
 1" = 60'
 BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE NW 1/4 OF SECTION 26-7-20 WHICH IS ASSUMED TO BEAR N89°11'40"E. (PER SEWRPC CSSD)

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SURVEYOR'S CERTIFICATE

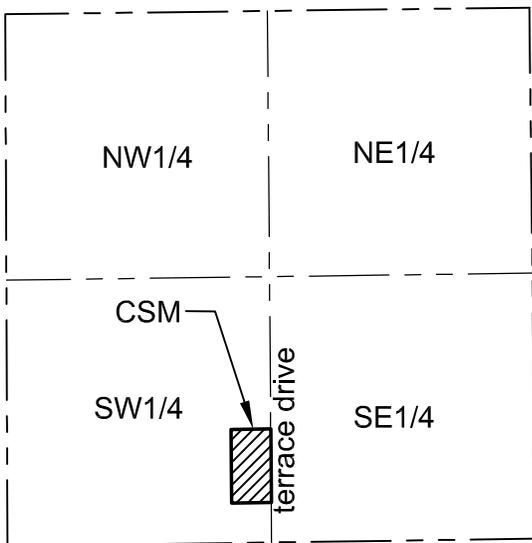
I hereby certify that by the direction of the Owner, I have surveyed, divided, and mapped the land shown and described hereon, being a redivision of a part of Lot 7 and unplatted lands, all lying within and being a part of the Southwest 1/4 of the Northwest 1/4 of Section 26, Township 7 North, Range 20 East, in the Village of Elm Grove, County of Waukesha, State of Wisconsin, said lands are bounded and described as follows:

Commencing at the Southwest corner of the Northwest 1/4 of said Section 26; thence North 89°11'40" East along the south line of said northwest 1/4 of Section 26, distance of 1298.59 feet to a found stone monument marking the Southeast corner of former Lot 6 of Block 1 of Verdant Acres, (now being the SE corner of Lot 1 of CSM 10514), said point lies on the west line of Terrace Drive as platted and monumented; thence North 00°30'40" East, 200.00 feet along said west line to the point of beginning of the lands hereinafter described; thence South 89°11'40" West, 170.00 feet; thence North 00°30'40" West, 367.44 feet to a point; thence North 89°11'40" East, 200.00 feet to a point on the centerline of Terrace Drive; thence South 00°30'40" East, 367.44 feet to a point; thence South 89°11'40" West, 30.00 feet to the point of beginning of the lands hereinafter described; Said Lands containing 73,496 s.f. (1.6872 Acres), more or less of land. Dedicating / Rededicating the easterly 30 feet for public road purposes; Area of dedication contains 11,023s.f. (0.2530 Acres), more or less of land.

I further certify that I have made this survey, land division and map by the direction of the Elm Grove Lutheran Church, owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land combination thereof made.

That I have fully complied with the provisions of section 236.34 of the Wisconsin Statutes and the Village of Elm Grove Land Division Ordinance Chapter 305 in surveying and mapping of same.



LOCATION MAP

NW 1/4 SEC 26-7-20
(not to scale)



James R. Beaty

James R. Beaty, PLS 1834
DATED: MARCH 6, 2023
REVISED: JUNE 9, 2023

PREPARED BY / SURVEYOR:
HORIZON LAND DEVELOPMENT SERVICES, LLC
W313 S2562 PENNY LANE
WALES, WISCONSIN 53183
1-262-349-1575
jamieb@horizonlanddevelopmentservices.com

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OWNERS CERTIFICATE

As owner(s), I (we) do hereby certify that we caused said lands to be surveyed, divided, mapped, and dedicated as shown on this map.

As owner(s), I (we) also certify that this Certified Survey Map must be submitted to the following for approval or rejection;

Village of Elm Grove

WITNESS the hand and seal of said Elm Grove Lutheran Church,

Owner's this _____ day of _____, 2023.

Name, Title

Name, Title

STATE OF WISCONSIN) (SS
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2023, the above named _____ of the ELM GROVE LUTHERAN CHURCH, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public _____ County, Wisconsin

My commission expires _____

NOTES:

1) Waukesha County and the Village of Elm Grove shall not be liable for any fees or special assessments in the event they become the owner of any lot or outlot in the subdivision by reason of tax delinquency.

2) Further redivision of lot(s) within this csm is prohibited unless approved by all applicable authorities.



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VILLAGE OF ELM GROVE PLAN COMMISSION APPROVAL

Approved by the Village of Elm Grove Plan Commission this _____ day of _____, 2023.

James Koleski, Chair

Santee Policello Village Clerk/ Deputy Treasurer

VILLAGE OF ELM GROVE VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Elm Grove this _____ day of _____, 2023.

James Koleski, Village President

Santee Policello Village Clerk/ Deputy Treasurer



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