



**BUILDING BOARD AGENDA**  
**Tuesday, January 6, 2025 \* 5:30 PM \* Park View Room**

13600 Juneau Boulevard, Elm Grove, WI 53122

**1. Roll call**

*Documents:*

[20260106\\_Building Board Memo.pdf](#)

**2. Review and act on a request by Max and Susan Meinerz, Green Meadow – Lot 9 (13155 Green Meadow Ct), for an alteration**

*Documents:*

[Old Roof Color.pdf](#)

[New Roof Color.png](#)

**3. Review and act on a request by Bill and Joanne Drobyski, 13305 Oakhurst Dr, for an addition**

*Documents:*

[Drobyski Screened Porch Plans.pdf](#)

[Drobyski PoS\\_20251126.pdf](#)

**4. Review and act on a request by Tom and Holly Shepherd, 1040 Katherine Dr, for an addition**

*Documents:*

[1040 Katherine Drive\\_Building Board Set\\_Final\\_REDUCED.pdf](#)

**5. Review and act on a request by George and Colleen Alex, 1055 Highland Dr, for an addition**

*Documents:*

*Alex Revised Plans 1-2-26.pdf*  
*1055 Highland\_PoS.pdf*  
*1055 Highland Dr\_Existing Front Elevation.jpg*  
*1055 Highland Dr\_Existing Rear Elevation.jpg*  
*1055 Highland Dr\_Existing Side Elevation.jpg*

**6. Review and act on a request by CC Aesthetic Boutique, 13386 Watertown Plank Rd, for a business sign**

*Documents:*

*CC Aesthetic Sign Plan.pdf*  
*Building w measurements.jpg*

**7. Review and act on a request by Jeff and Elizabeth Lyvers, 865 Morningside Ln, for an alteration**

*Documents:*

*2521 A4.0 Exterior Elevations 2026.01.06\_Revised.pdf*  
*2521 A1.0 Floorplans 2026.01.06\_REVISED.pdf*  
*2521\_Photo of Existing Materials to Match 2026.01.06.pdf*  
*20251112\_110108.jpg*  
*20251112\_110109.jpg*  
*20251112\_110113.jpg*  
*20251112\_110140.jpg*  
*20251112\_110143.jpg*  
*20251112\_110147.jpg*  
*20251112\_110225.jpg*  
*20251112\_112412.jpg*  
*20251112\_141623.jpg*

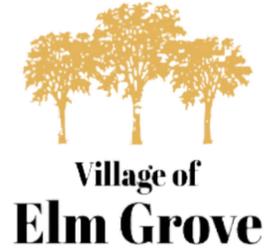
**8. Other Business**

**9. Adjournment**

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

# Memo



To: Building Board  
From: Ethan Sowl, Assistant Village Manager/Zoning & Planning Administrator  
Date: January 5, 2026  
Re: Review of Agenda Items for January 6, 2026

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**Item 3. Review and act on a request by Max and Susan Meinerz, Green Meadow – Lot 9 (13155 Green Meadow Ct), for an alteration**

The owners previously received approval for the design of their new home in June 2025. At this time, the owners are requesting approval to change the approved roof color from Owens Corning sandcastle to peppercorn.

**Item 4. Review and act on a request by Bill and Joanne Drobyski, 13305 Oakhurst Dr, for an addition**

The owners are requesting approval to construct a 340 square foot screened porch addition on the rear of the home. The proposed addition meets setback (34.6' side, 59.1 rear) and coverage requirements (~12% building footprint, ~25% impervious surface).

**Item 5. Review and act on a request by Tom and Holly Shepherd, 1040 Katherine Dr, for an addition**

The owners are requesting approval to construct a 750 square foot addition off the rear of the home. The proposed addition meets setback requirements and coverage requirements (6% building footprint, 15.6% impervious surface).

**Item 6. Review and act on a request by George and Colleen Alex, 1055 Highland Dr, for an addition**

The owners are requesting to construct a 434 square foot garage addition. The proposed addition will meet setback (20' side, 48.5' rear) and coverage (12% building footprint, 21% impervious surface) requirements.

**Item 7. Review and act on a request by CC Aesthetic Boutique, 13386 Watertown Plank Rd, for a business sign**

CC Aesthetic Boutique is requesting to install a 24" x 72" (12 square feet) sign on its façade facing Watertown Plank Road. The proposed sign meets the size requirement 33 square feet including the Wine Down sign area.

[Village sign ordinance allows one square foot of sign area per one linear foot of building frontage. The building's frontage is approximately 33 feet. Wine Down's sign facing Watertown Plank is 19.25 square feet. In total, the building's sign area facing Watertown Plank is 31.25 square feet.]

**Item 8. Review and act on a request by Jeff and Elizabeth Lyvers, 865 Morningside Ln, for an alteration**

The owners are requesting to make alterations to the rear of the home where there is currently a deck.

# Meinerz M&S

miller marriott  
CONSTRUCTION CO.

Window Color -  
Sierra Pacific Beige



White Dove  
OC-17

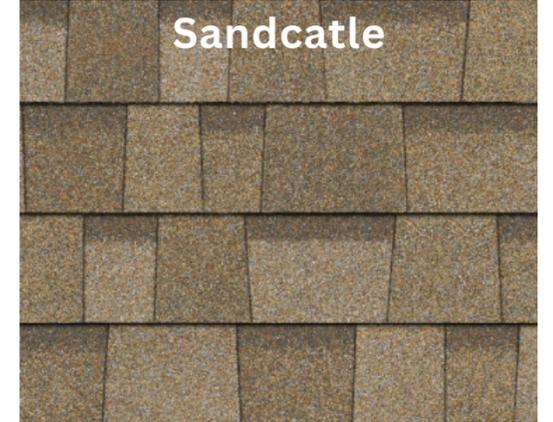
Exterior Colors



Tumbled Woodstock



Roof: Owens  
Corning Duration -  
Sandcatle



Front Door:  
Simpson Nantucket - 77504



Garage Door Style -  
Chi, 5330

White Dove  
OC-17

Garage Color

EXTERIOR	PAINT/STAIN COLOR	MANUFACTURER
FASCIA	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
SOFFIT	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
SIDING - LAP SIDING	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
SIDING - SHINGLES	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
SIDING - PANEL (LP)	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
SIDING - PANEL (MDO)	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
TRIM - LP SMARTSIDE	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
EXTERIOR MILLWORK - WINDOW TRIM	MATCH SIERRA PACIFIC BEIGE	
EXTERIOR MILLWORK - DOOR TRIM	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE
EXTERIOR DOOR - FRONT DOOR	STAINED TO MATCH DARK PECAN	
EXTERIOR DOOR - SERVICE DOOR	BM WHITE DOVE OC-17 or color match	BENJAMIN MOORE

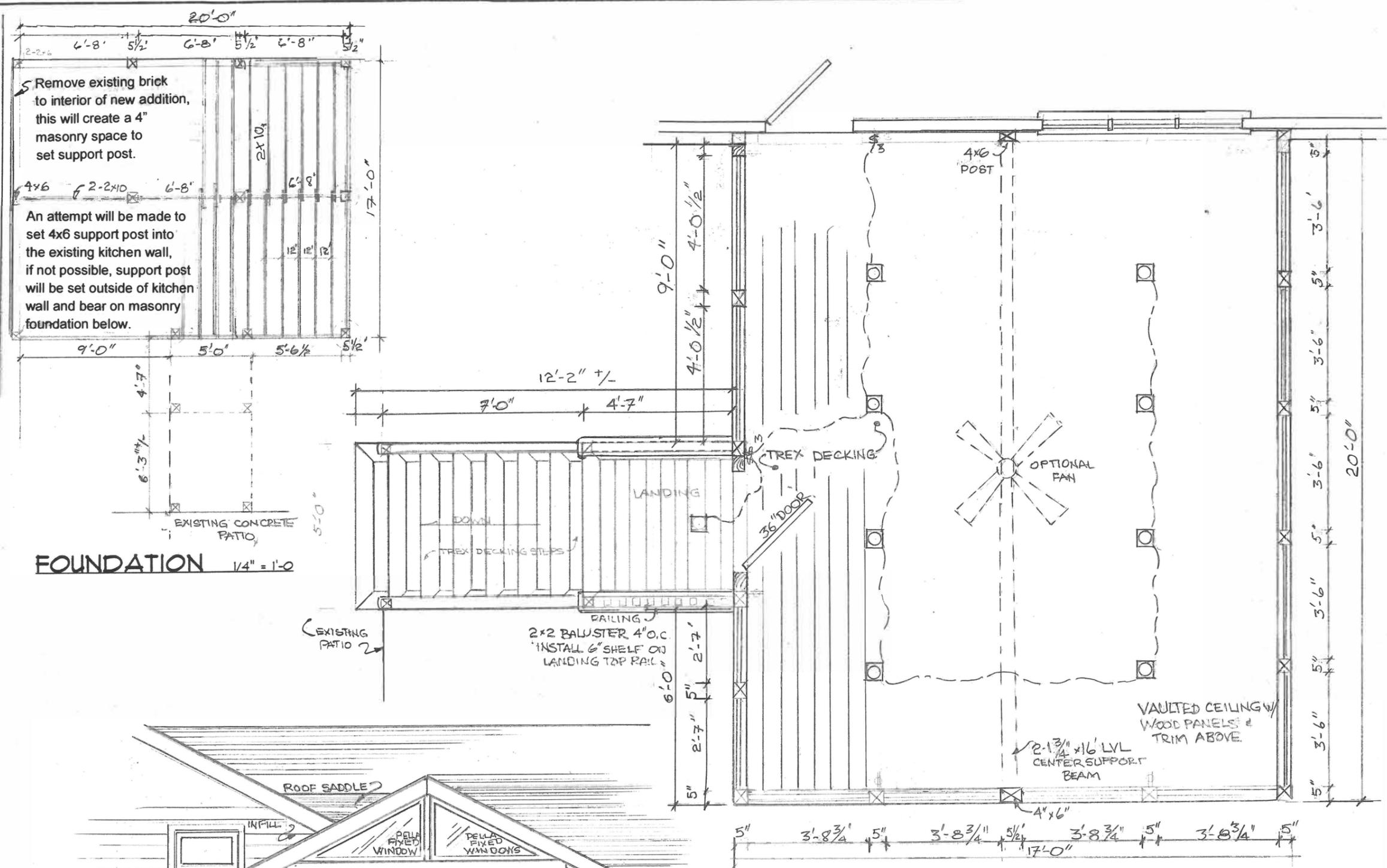


Emtek - Franklin  
Entry Set



Front Door Stain -  
Dark Pecan





Remove existing brick to interior of new addition, this will create a 4" masonry space to set support post.

An attempt will be made to set 4x6 support post into the existing kitchen wall, if not possible, support post will be set outside of kitchen wall and bear on masonry foundation below.

FOUNDATION 1/4" = 1'-0"

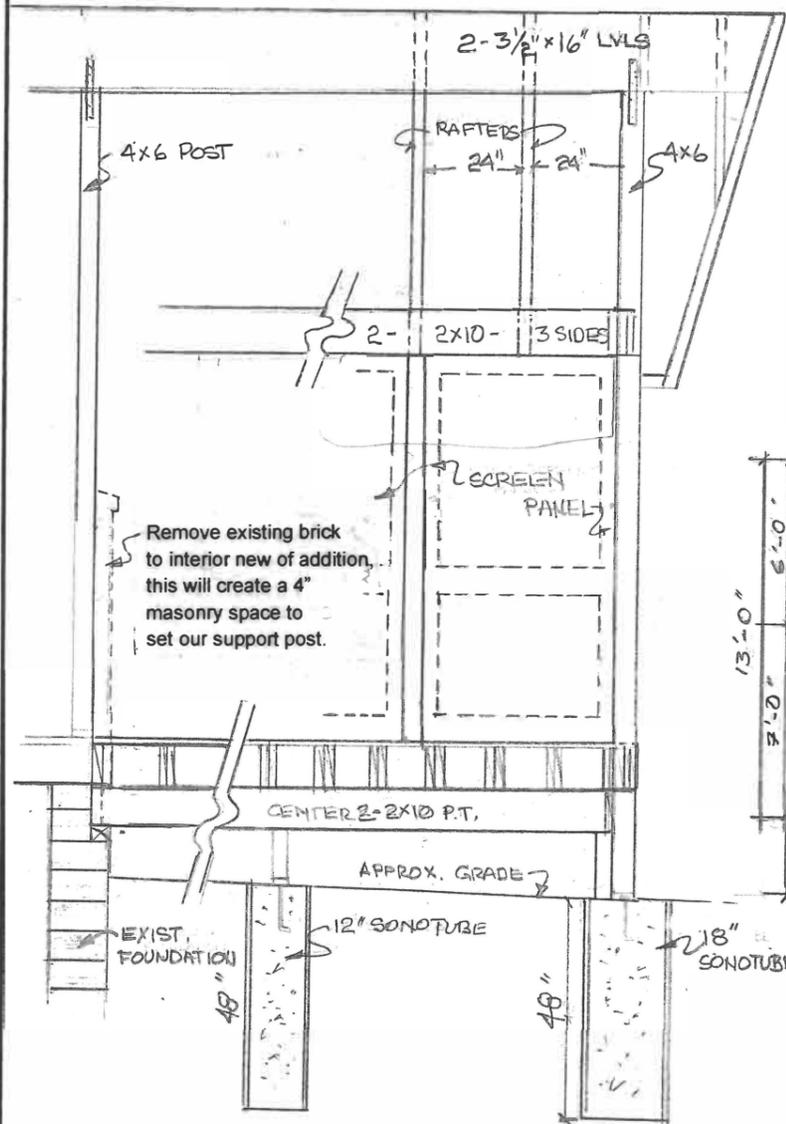
FLOOR PLAN 1/2" = 1'-0"

SOUTH ELEVATION 1/4" = 1'-0"

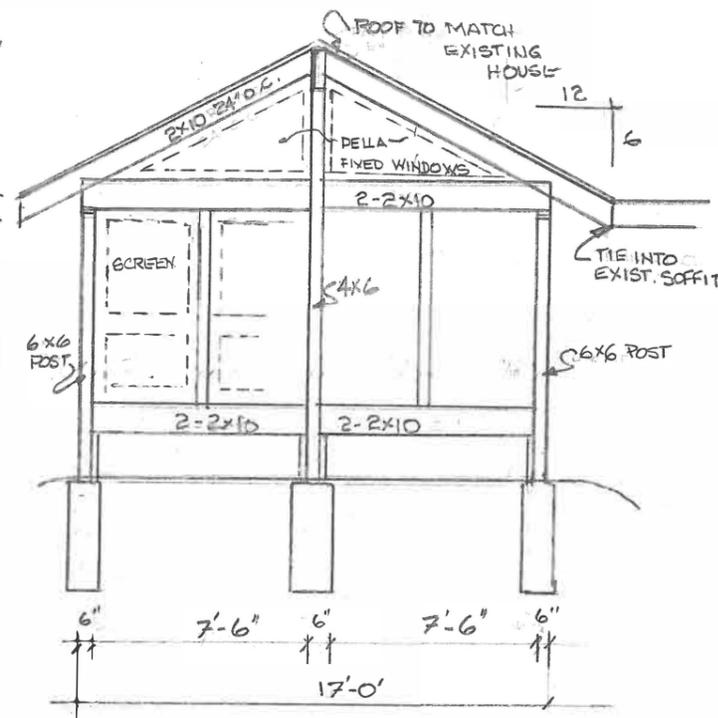
**C.J. Holmes LLC**  
Quality Building & Remodeling  
(262) 782-5600

DROBYSKI, Bill & Joanne 262-387-8149		
13305 Oakhurst Dr., Elm Grove, WI 53122		
SCALE: 1/4" & 1/2"	APPROVED BY:	DRAWN BY: CJH
DATE: 11/15/2025		REVISED:
D.B.A. CINEMA		1

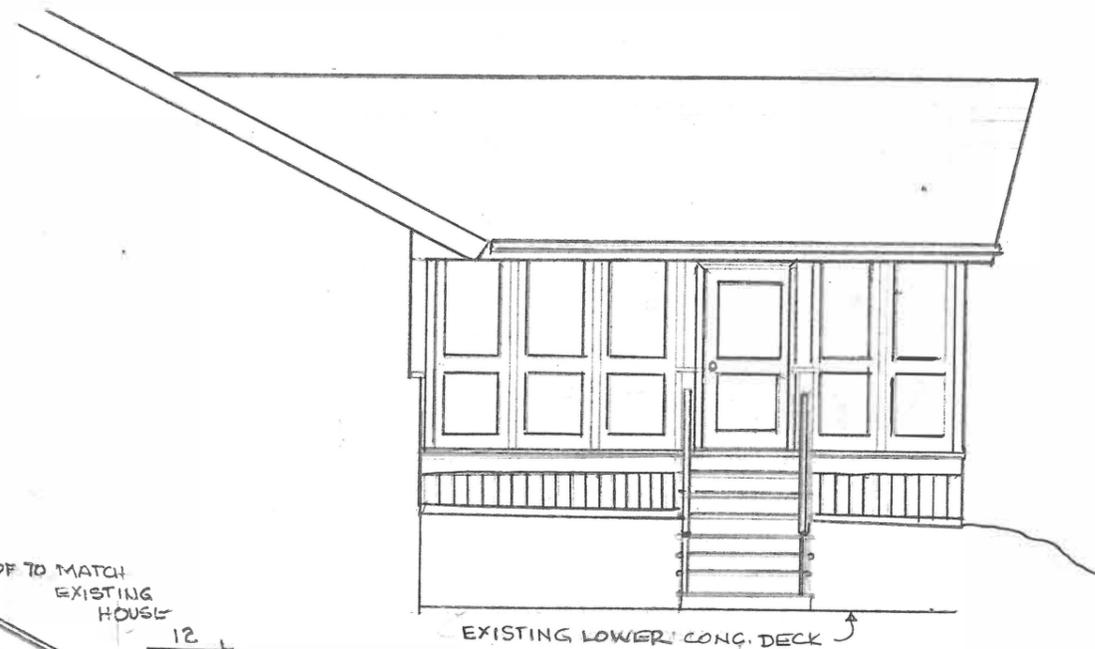




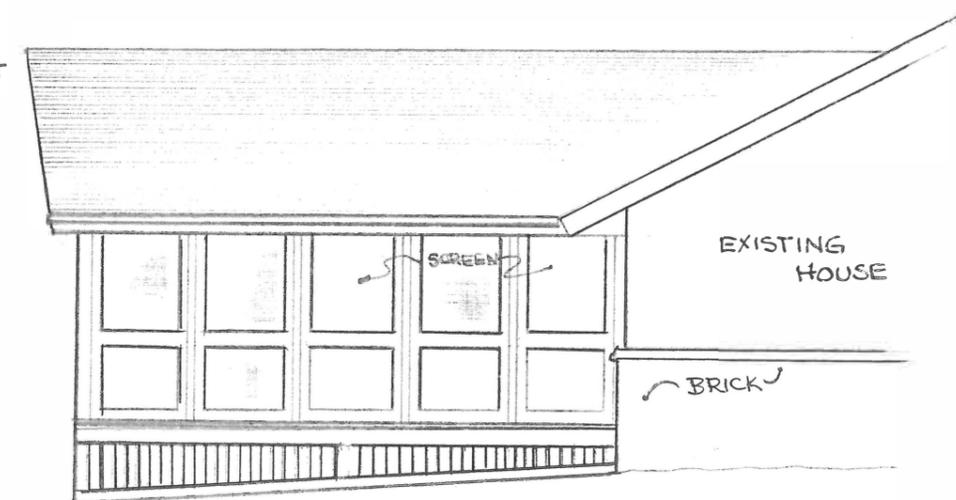
**SIDE SECTION** 1/2" = 1'-0"



**FRONT SECTION** 1/4" = 1'-0"



**WEST ELEVATION** 1/4" = 1'-0"



**EAST ELEVATION** 1/4" = 1'-0"

\* ALL COLORS TO MATCH EXISTING HOUSE



(262) 782-5600

DROBYSKI, Bill & Joanne 262-387-8149		13305 Oakhurst Dr., Elm Grove, WI 53122	
SCALE: 1/2" = 1'-0"	APPROVED BY:	DRAWN BY: CJH	REVISER:
DATE: 11-15-2025			
		DRAWING NUMBER:	2



# SHEPHERD RESIDENCE

1040 KATHERINE DRIVE, ELM GROVE, 53122

## ADDITION & RENOVATION

ISSUE DATE: DECEMBER 11, 2025

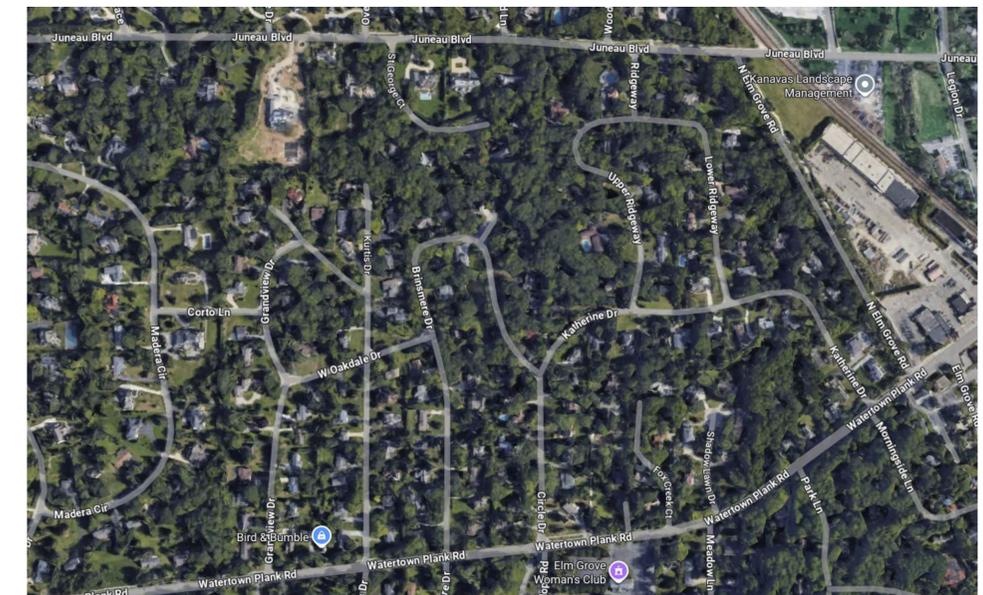
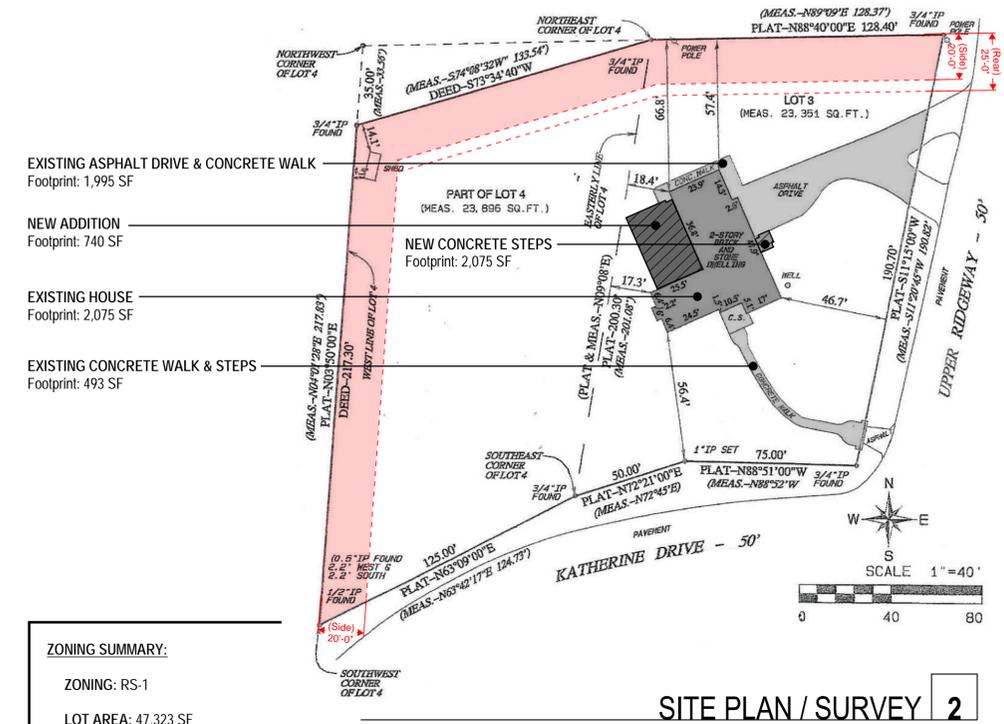
### SHEET INDEX

A000	TITLE SHEET & INDEX
A100	BASEMENT FLOOR PLANS
A101	FIRST FLOOR PLANS
A102	SECOND FLOOR PLANS
A103	ROOF PLANS
A200	EXTERIOR ELEVATIONS - CONSTRUCTION
A201	EXTERIOR ELEVATIONS - CONSTRUCTION
A210	EXTERIOR ELEVATIONS - PRESENTATION
A211	EXTERIOR ELEVATIONS - PRESENTATION
A212	EXTERIOR ELEVATIONS - PRESENTATION
A220	AXONOMETRICS
A221	AXONOMETRICS
A230	RENDERINGS
A232	PERSPECTIVES
A233	PERSPECTIVES

ARCHITECT  
SVA+D LLC  
5260 N SANTA MONICA BLVD  
WHITEFISH BAY, WI 53217  
(630) 388-9374

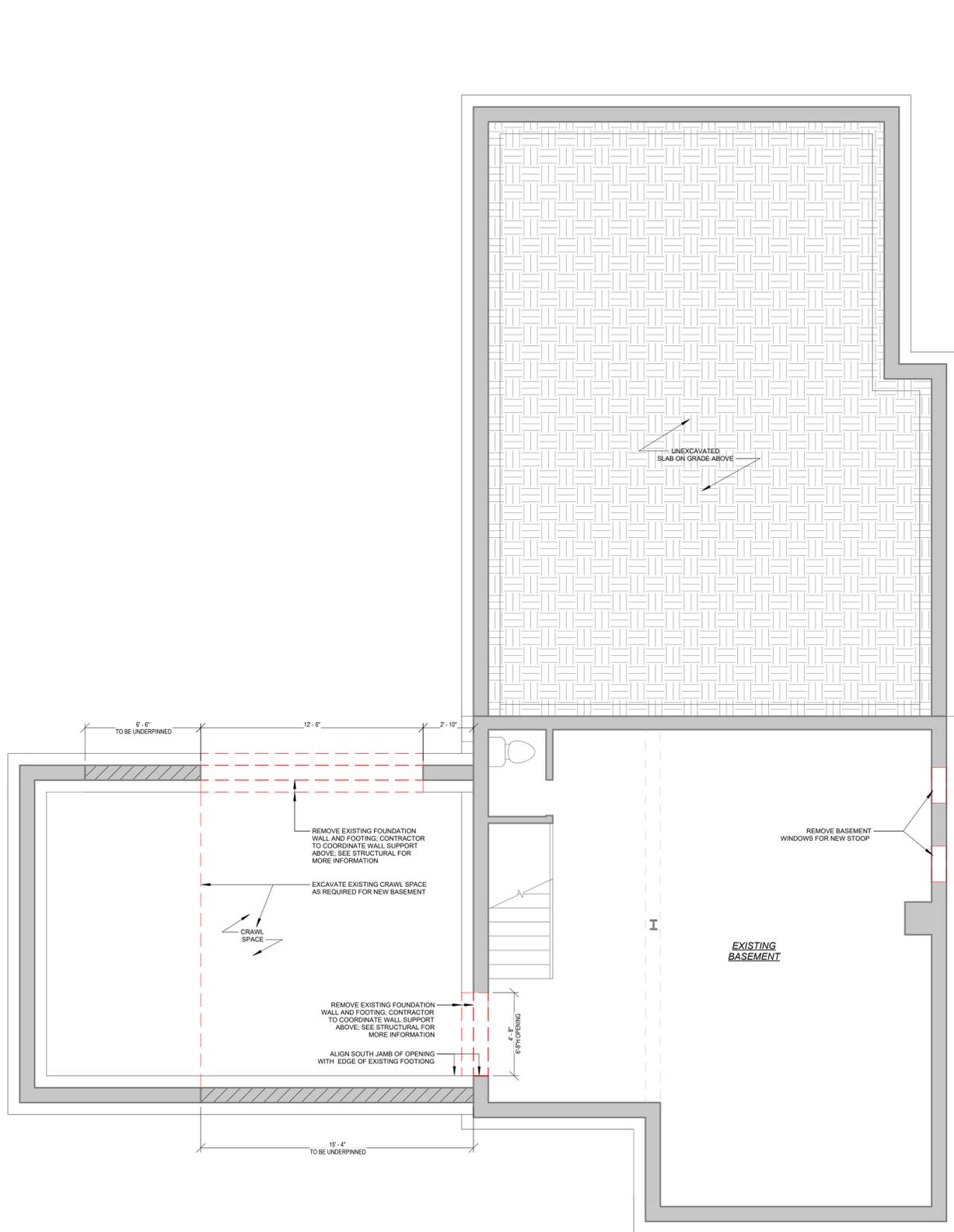
#### GENERAL PROJECT NOTES:

- THESE DOCUMENTS ARE FOR DESIGN INTENT ONLY
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, CONSTRUCTION METHODS & ASSEMBLIES INTEGRAL TO THE PROJECT SCOPE PRIOR TO STARTING THE WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTS TO THE GENERAL CONTRACTOR AND/OR ARCHITECT.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.
- NO WORK SHALL BE STARTED UNTIL PLANS HAVE BEEN APPROVED BY THE BUILDING INSPECTOR AND ALL OTHER AGENCIES HAVING JURISDICTION.
- MECHANICAL, ELECTRICAL, PLUMBING ARE DESIGN-BUILD BY OTHERS - COORDINATE ALL FINAL LAYOUTS, FIXTURE SELECTIONS, AND SCOPES WITH OWNER.

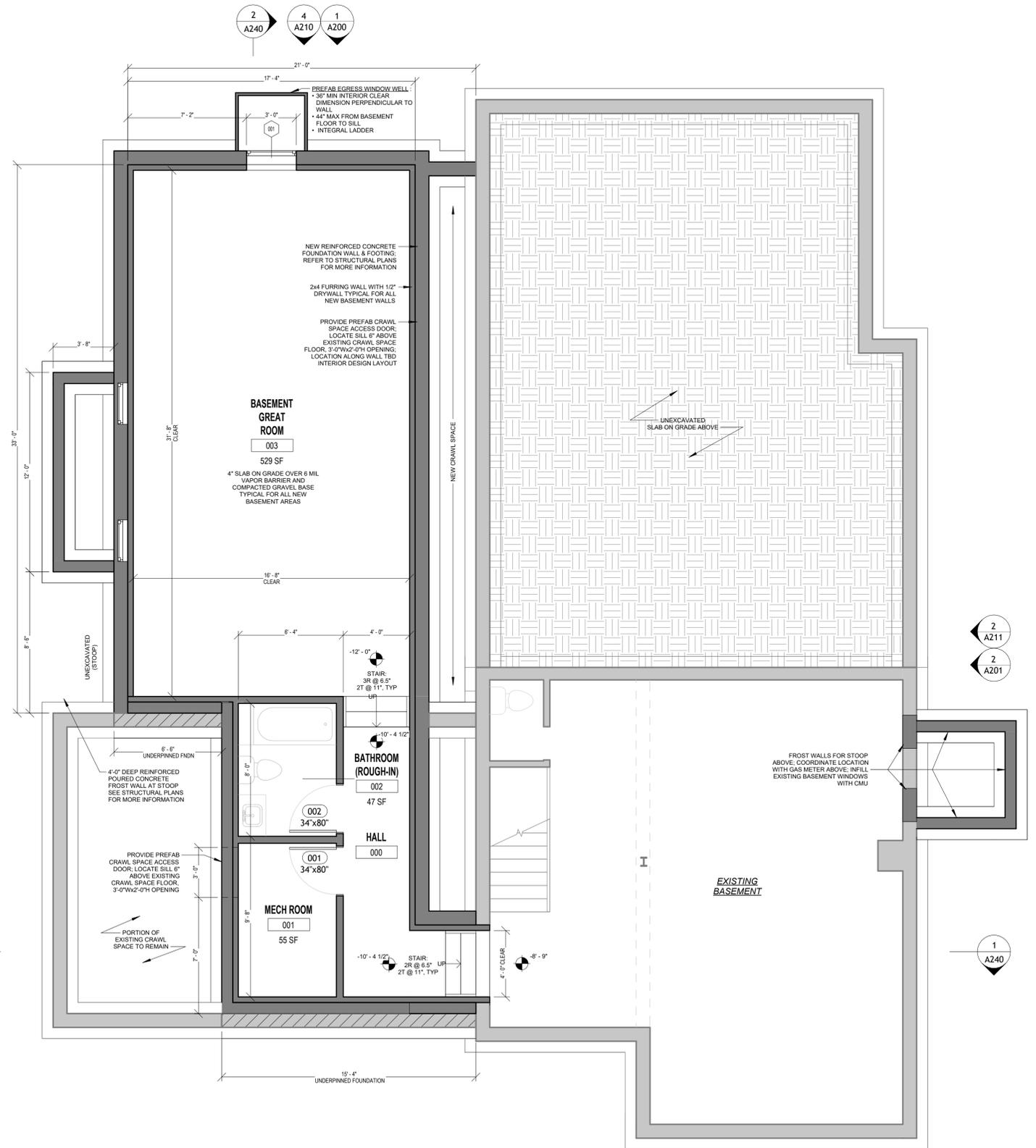


LOCATION MAP 1

NOT TO SCALE



1 BASEMENT - DEMOLITION  
A100 1/4" = 1'-0"

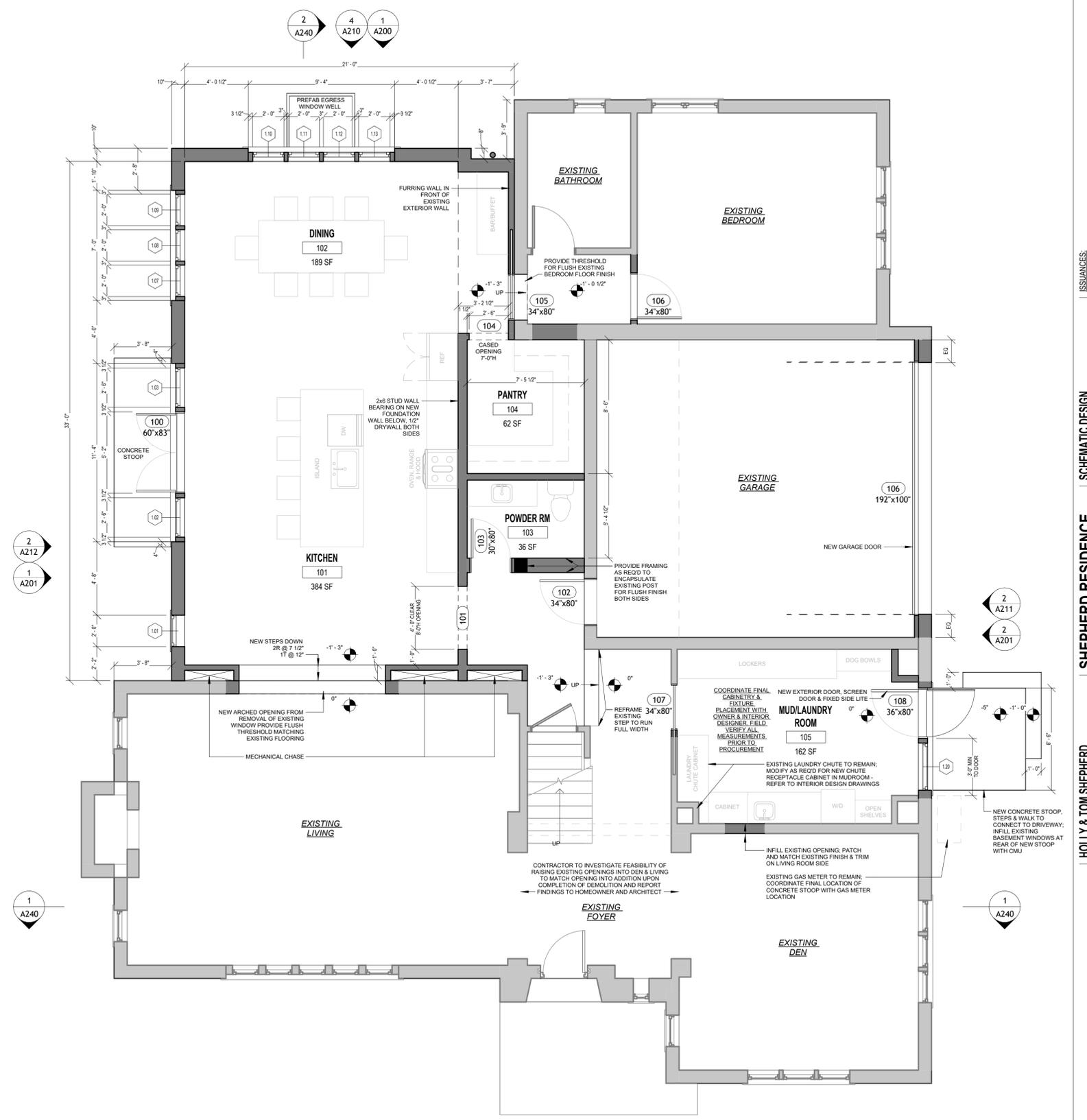
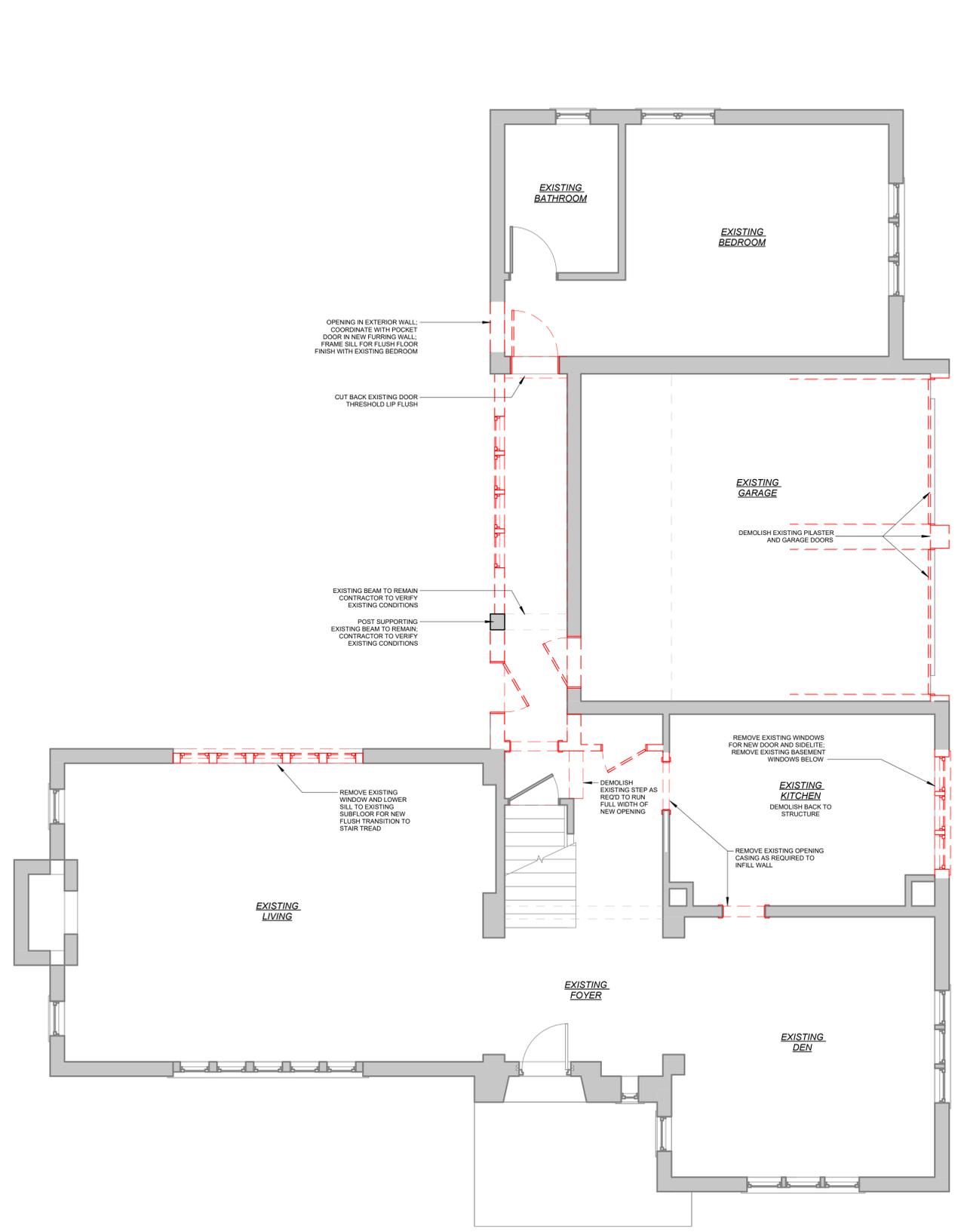


2 BASEMENT - NEW CONSTRUCTION  
A100 1/4" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT
  - ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.
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- PROJECT NOTES**
- ELEVATION 0'-0" CORRESPONDS WITH EXISTING HOUSE 1ST FLOOR
  - REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION
  - REFER TO INTERIOR DESIGN PLANS FOR ALL INTERIOR FINISHES, FURNITURE, CASEWORK, CABINETRY AND PLUMBING FIXTURES. ELEMENTS SHOWN IN ARCHITECTURAL DWGS FOR REFERENCE ONLY
  - ALL INTERIOR WALLS 2x4 STUDS WITH 1/2" DRYWALL BOTH SIDES, TYP
  - ALL JAMBS OF DOOR OPENINGS SHOWN ADJACENT INTERSECTING WALLS SHALL BE LOCATED 3" FROM ADJACENT WALL, U.N.O.
  - FLOOR PLAN DIMENSIONS SHOWN ARE TO FACE OF DRYWALL, U.N.O.

- GRAPHICS LEGEND**
- EXISTING WALL TO REMAIN
  - NEW WALL
  - DEMOLISH
  - NEW WINDOW & OPENING
  - EXISTING WINDOW OPENING TO REMAIN - REPLACE WINDOW
  - NEW DOOR & OPENING
  - EXISTING DOOR OPENING TO REMAIN - REPLACE DOOR



**GENERAL NOTES**

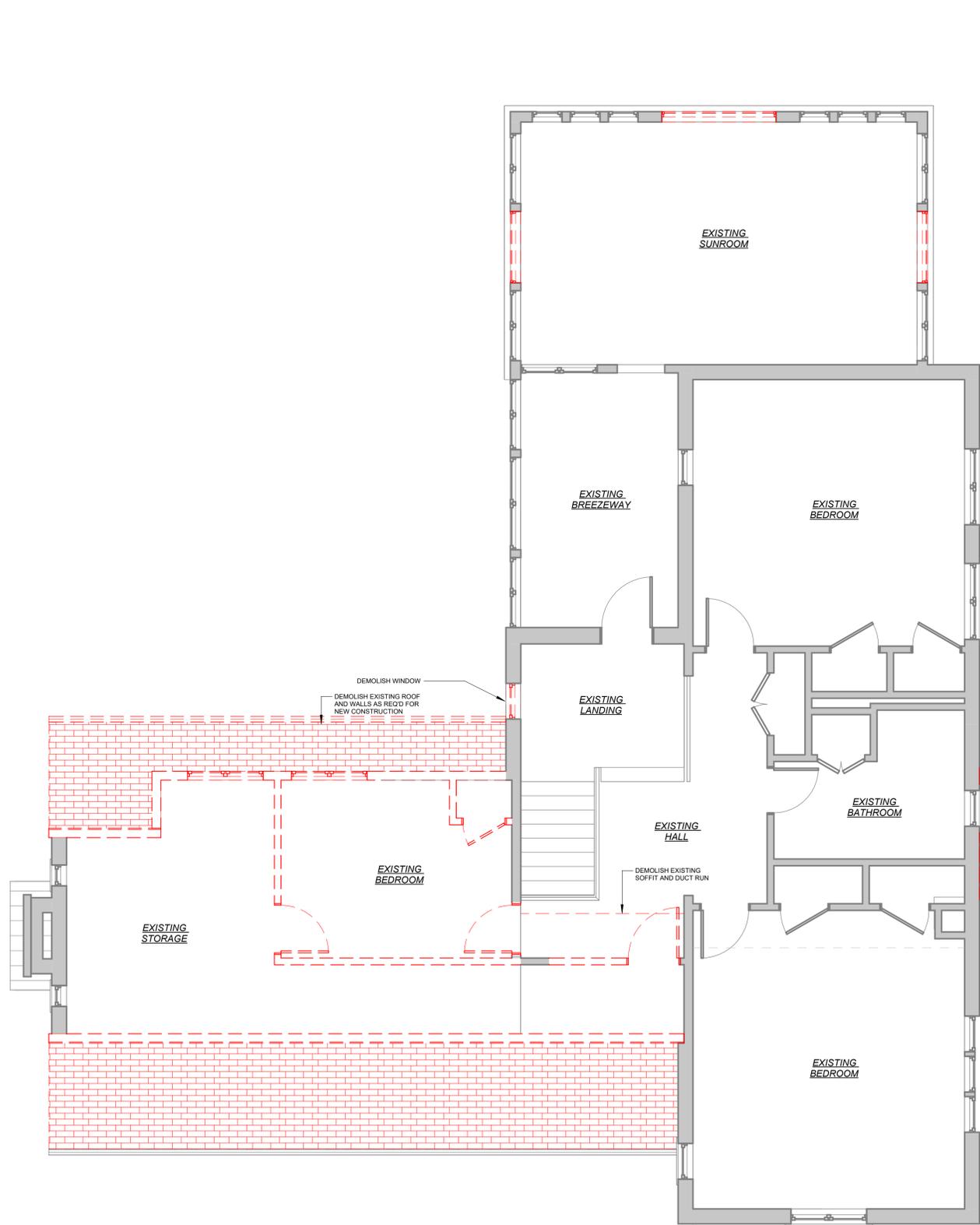
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**PROJECT NOTES**

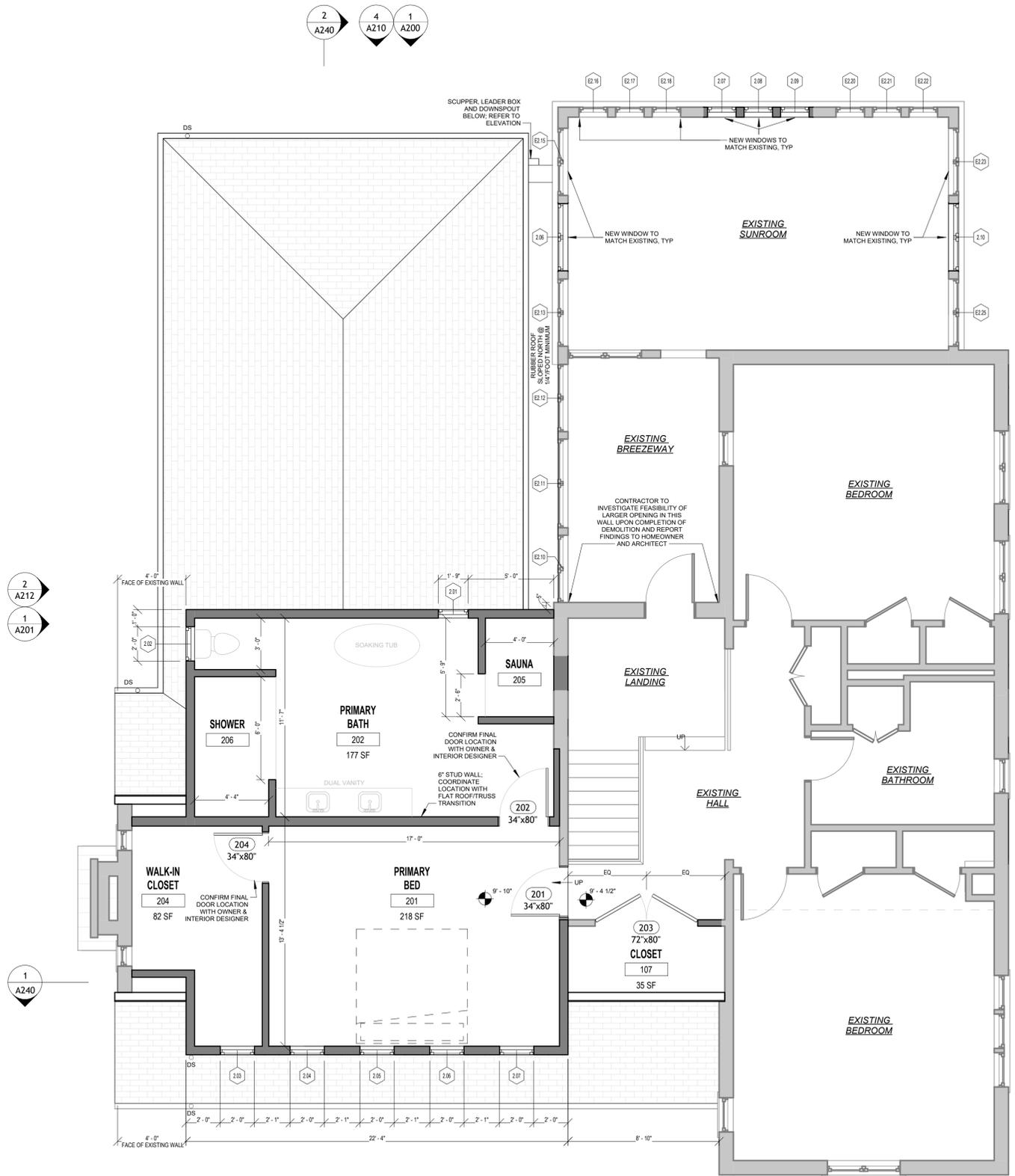
1. ELEVATION 0'-0" CORRESPONDS WITH EXISTING HOUSE 1ST FLOOR.
2. REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION.
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4. ALL INTERIOR WALLS 2X4 STUDS WITH 1/2" DRYWALL BOTH SIDES, TYP.
5. ALL JAMBS OF DOOR OPENINGS SHOWN ADJACENT INTERSECTING WALLS SHALL BE LOCATED 3" FROM ADJACENT WALL, U.N.O.
6. FLOOR PLAN DIMENSIONS SHOWN ARE TO FACE OF DRYWALL, U.N.O.

**GRAPHICS LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL
- DEMOLISH
- NEW WINDOW & OPENING
- EXISTING WINDOW OPENING TO REMAIN - REPLACE WINDOW
- NEW DOOR & OPENING
- EXISTING DOOR OPENING TO REMAIN - REPLACE DOOR



1 SECOND FLOOR - DEMOLITION  
A102 1/4" = 1'-0"



2 SECOND FLOOR - NEW CONSTRUCTION  
A102 1/4" = 1'-0"

- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT.
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- PROJECT NOTES**
1. ELEVATION 0'-0" CORRESPONDS WITH EXISTING HOUSE 1ST FLOOR.
  2. REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION.
  3. REFER TO INTERIOR DESIGN PLANS FOR ALL INTERIOR FINISHES, FURNITURE, CASEWORK, CABINETS AND PLUMBING FIXTURES. ELEMENTS SHOWN IN ARCHITECTURAL DWGS FOR REFERENCE ONLY.
  4. ALL INTERIOR WALLS 2X4 STUDS WITH 1/2" DRYWALL BOTH SIDES, TYP.
  5. ALL JAMBS OF DOOR OPENINGS SHOWN ADJACENT INTERSECTING WALLS SHALL BE LOCATED 3" FROM ADJACENT WALL, U.N.O.
  6. FLOOR PLAN DIMENSIONS SHOWN ARE TO FACE OF DRYWALL, U.N.O.

- GRAPHICS LEGEND**
- EXISTING WALL TO REMAIN
  - NEW WALL
  - DEMOLISH
  - NEW WINDOW & OPENING
  - EXISTING WINDOW OPENING TO REMAIN - REPLACE WINDOW
  - NEW DOOR & OPENING
  - EXISTING DOOR OPENING TO REMAIN - REPLACE DOOR

REMOVE ROOF & STRUCTURE AS REQUIRED FOR NEW CONSTRUCTION

REVISE GUTTER AS REQUIRED FOR INTEGRATION WITH NEW GUTTERS AND PITCH

NEW COPPER GUTTERS, SIZE & PROFILE TO MATCH EXISTING  
DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING, TYP.

TIE RUBBER ROOF INTO SHINGLES, TYP  
MATCH ELEVATION WITH EXISTING RIDGE LINE  
RUBBER ROOF @ 14" FOOT MINIMUM

EXISTING ROOF TO REMAIN

EXISTING ROOF TO REMAIN

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS, LEVELS AND DATUMS PRIOR TO STARTING WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND/OR ARCHITECT
2. ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES, ORDINANCES, RULES AND REGULATIONS.
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PROJECT NOTES

1. ELEVATION 0'-0" CORRESPONDS WITH EXISTING HOUSE 1ST FLOOR
2. REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION
3. REFER TO INTERIOR DESIGN PLANS FOR ALL INTERIOR FINISHES, FURNITURE, CASEWORK, CABINETRY AND PLUMBING FIXTURES. ELEMENTS SHOWN IN ARCHITECTURAL DWGS FOR REFERENCE ONLY
4. ALL INTERIOR WALLS 2X4 STUDS WITH 1/2" DRYWALL BOTH SIDES, TYP
5. ALL JAMBS OF DOOR OPENINGS SHOWN ADJACENT INTERSECTING WALLS SHALL BE LOCATED 2" FROM ADJACENT WALL, U.N.O.
6. FLOOR PLAN DIMENSIONS SHOWN ARE TO FACE OF DRYWALL, U.N.O.

GRAPHICS LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- DEMOLISH
- NEW WINDOW & OPENING
- EXISTING WINDOW OPENING TO REMAIN - REPLACE WINDOW
- NEW DOOR & OPENING
- EXISTING DOOR OPENING TO REMAIN - REPLACE DOOR

1 ROOF - DEMOLITION  
A103 1/4" = 1'-0"

2 ROOF - NEW CONSTRUCTION  
A103 1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH  
A200 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH  
A200 1/4" = 1'-0"

NEW WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	SILL HEIGHT	TYPE	NOTES	
ADDITION BASEMENT-LOW						
1.01	3'-0"	4'-0"	3'-6"			
FIRST FLOOR - ADDITION						
1.02	2'-6"	7'-0"	0"	SINGLE CASEMENT		
1.03	2'-6"	7'-0"	0"	SINGLE CASEMENT		
1.07	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.08	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.09	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.10	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.11	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.12	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.13	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
EXISTING FIRST FLOOR						
1.01	2'-0"	3'-7"	2'-2"	PICTURE WINDOW		
1.20	3'-0"	6'-9"	0"	PICTURE WINDOW		
SECOND FLOOR - WEST WING						
2.01	1'-9"	2'-10"	3'-0"			
2.02	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.03	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.04	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.05	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.06	3'-11"	4'-5"	1'-1"	DOUBLE CASEMENT	MATCH EXISTING	
2.06	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.07	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.07	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.08	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.09	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.10	3'-11"	4'-5"	1'-1"	DOUBLE CASEMENT	MATCH EXISTING	

EXISTING WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	SILL HEIGHT	TYPE	NOTES	
SECOND FLOOR - NORTH WING						
E2.10	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	PROVIDE ACCESS TO ROOF FOR MAINTENANCE. VIF	
E2.11	5'-2"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E2.12	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E2.13	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E2.15	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E2.16	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.17	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.18	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.20	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.21	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.22	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E2.23	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E2.25	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	



1 EXTERIOR ELEVATION - WEST  
A201 1/4" = 1'-0"

NEW WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	SILL HEIGHT	TYPE	NOTES	
ADDITION BASEMENT-LOW						
1.01	3'-0"	4'-0"	3'-6"			
1.02	2'-6"	7'-0"	0"	SINGLE CASEMENT		
1.03	2'-6"	7'-0"	0"	SINGLE CASEMENT		
1.07	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.08	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.09	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.10	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.11	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.12	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
1.13	2'-0"	5'-4"	1'-8"	SINGLE CASEMENT		
EXISTING FIRST FLOOR						
1.01	2'-0"	3'-7"	2'-2"	PICTURE WINDOW		
1.20	3'-0"	6'-9"	0"	PICTURE WINDOW		
SECOND FLOOR - WEST WING						
2.01	1'-9"	2'-10"	3'-0"	SINGLE CASEMENT		
2.02	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.03	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.04	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.05	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.06	3'-11"	4'-5"	1'-1"	DOUBLE CASEMENT	MATCH EXISTING	
2.06	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.07	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.07	2'-0"	3'-6"	2'-4"	SINGLE CASEMENT		
2.08	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.09	1'-8"	4'-5"	1'-1"	SINGLE CASEMENT	MATCH EXISTING	
2.10	3'-11"	4'-5"	1'-1"	DOUBLE CASEMENT	MATCH EXISTING	

EXISTING WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	SILL HEIGHT	TYPE	NOTES	
SECOND FLOOR - NORTH WING						
E210	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	PROVIDE ACCESS TO ROOF FOR MAINTENANCE. VIF	
E211	5'-2"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E212	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E213	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E215	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E216	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E217	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E218	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E220	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E221	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E222	1'-8"	4'-5"	2'-9 1/2"	SINGLE CASEMENT	VIF	
E223	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	
E225	3'-11"	4'-5"	2'-9 1/2"	DOUBLE CASEMENT	VIF	



2 EXTERIOR ELEVATION - EAST  
A201 1/4" = 1'-0"



1 PRESENTATION EXTERIOR ELEVATION - SOUTH EXISTING  
A210 1/4" = 1'-0"

2 PRESENTATION EXTERIOR ELEVATION - NORTH - EXISTING  
A210 1/4" = 1'-0"



3 PRESENTATION EXTERIOR ELEVATION - SOUTH NEW CONSTRUCTION  
A210 1/4" = 1'-0"

4 PRESENTATION EXTERIOR ELEVATION - NORTH - NEW CONSTRUCTION  
A210 1/4" = 1'-0"



1 PRESENTATION EXTERIOR ELEVATION - EAST EXISTING  
 A211 1/4" = 1'-0"



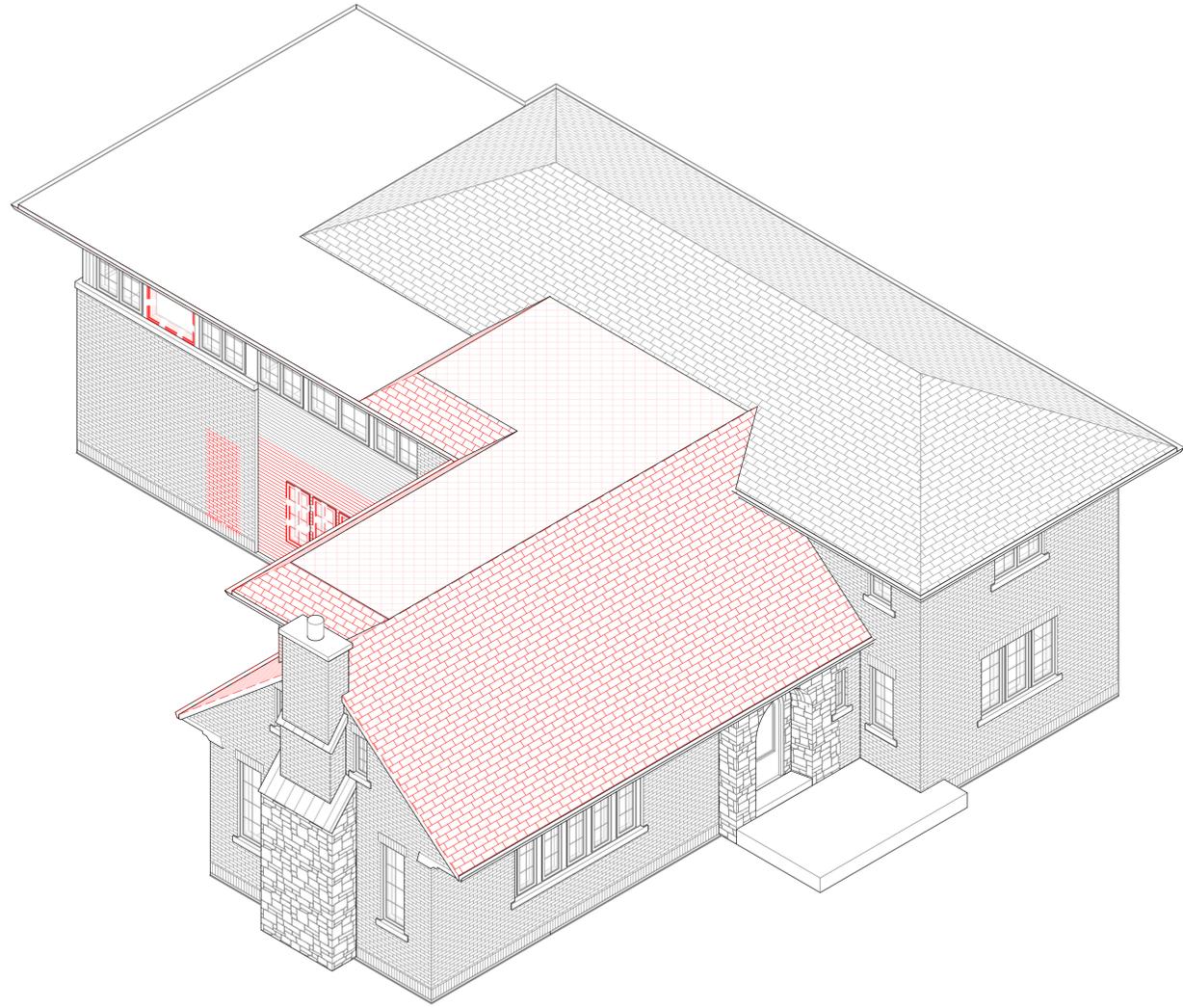
2 PRESENTATION EXTERIOR ELEVATION - EAST NEW CONSTRUCTION  
 A211 1/4" = 1'-0"



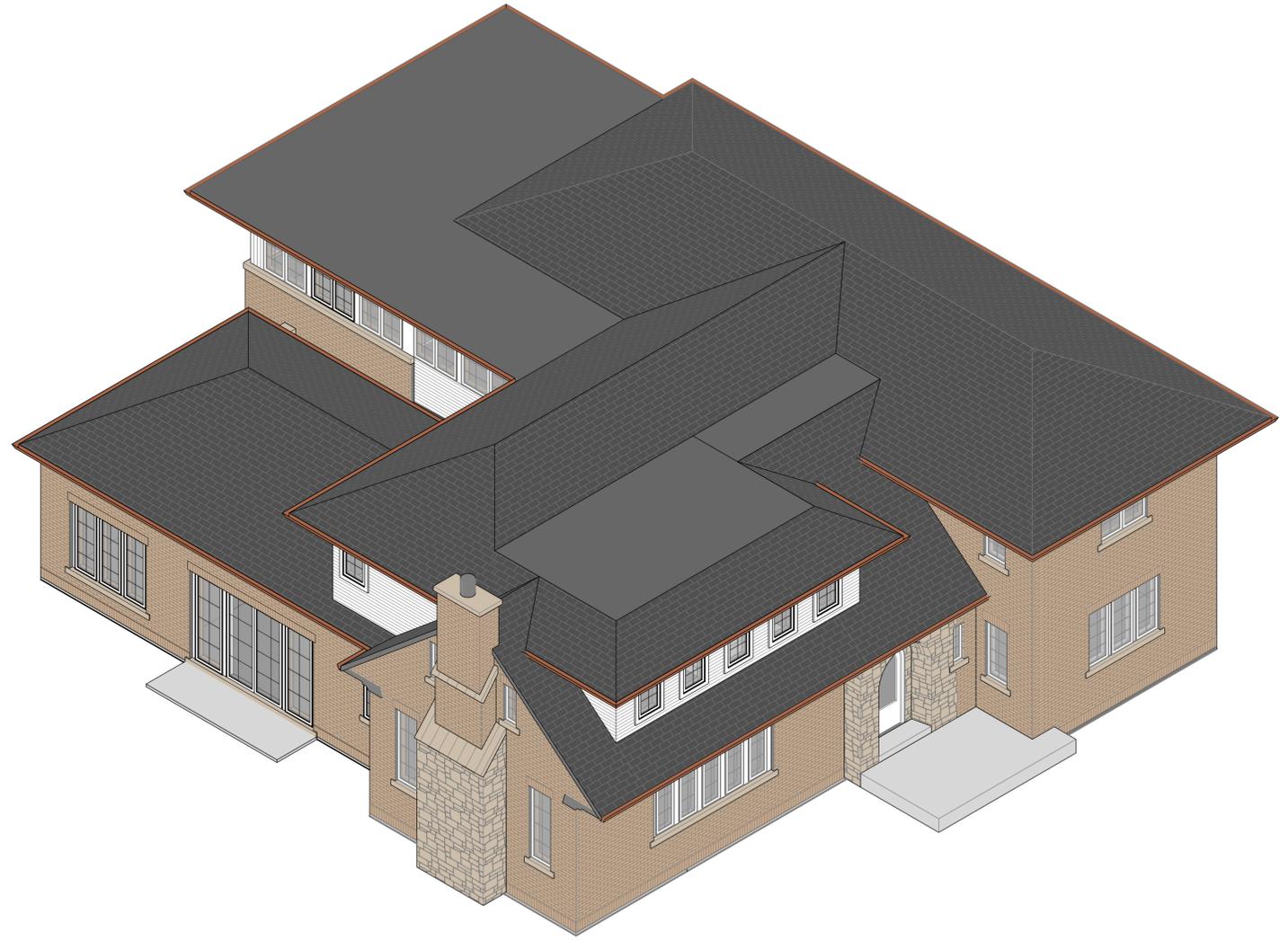
1 PRESENTATION EXTERIOR ELEVATION - WEST EXISTING  
 A212 1/4" = 1'-0"



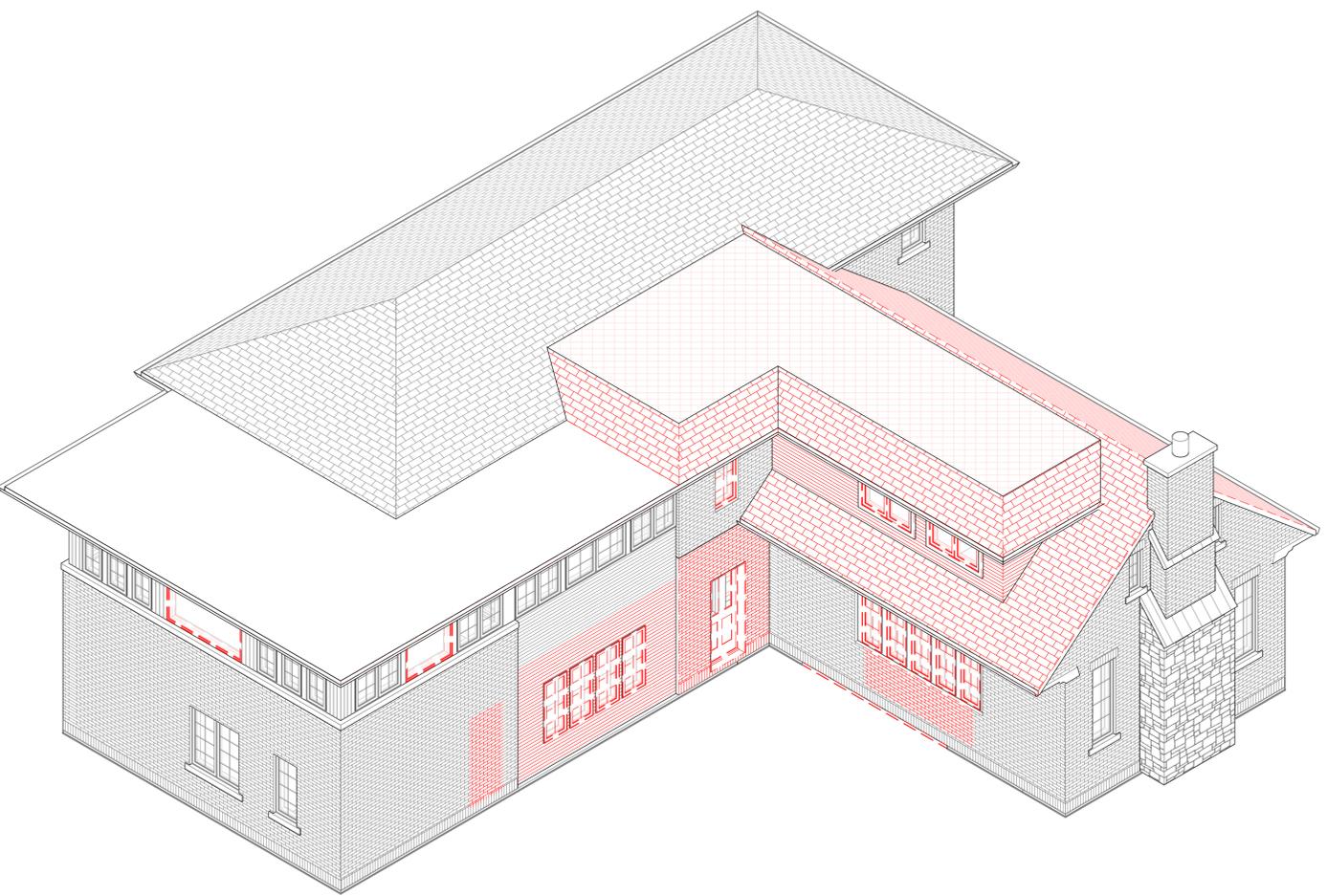
2 PRESENTATION EXTERIOR ELEVATION - WEST NEW CONSTRUCTION  
 A212 1/4" = 1'-0"



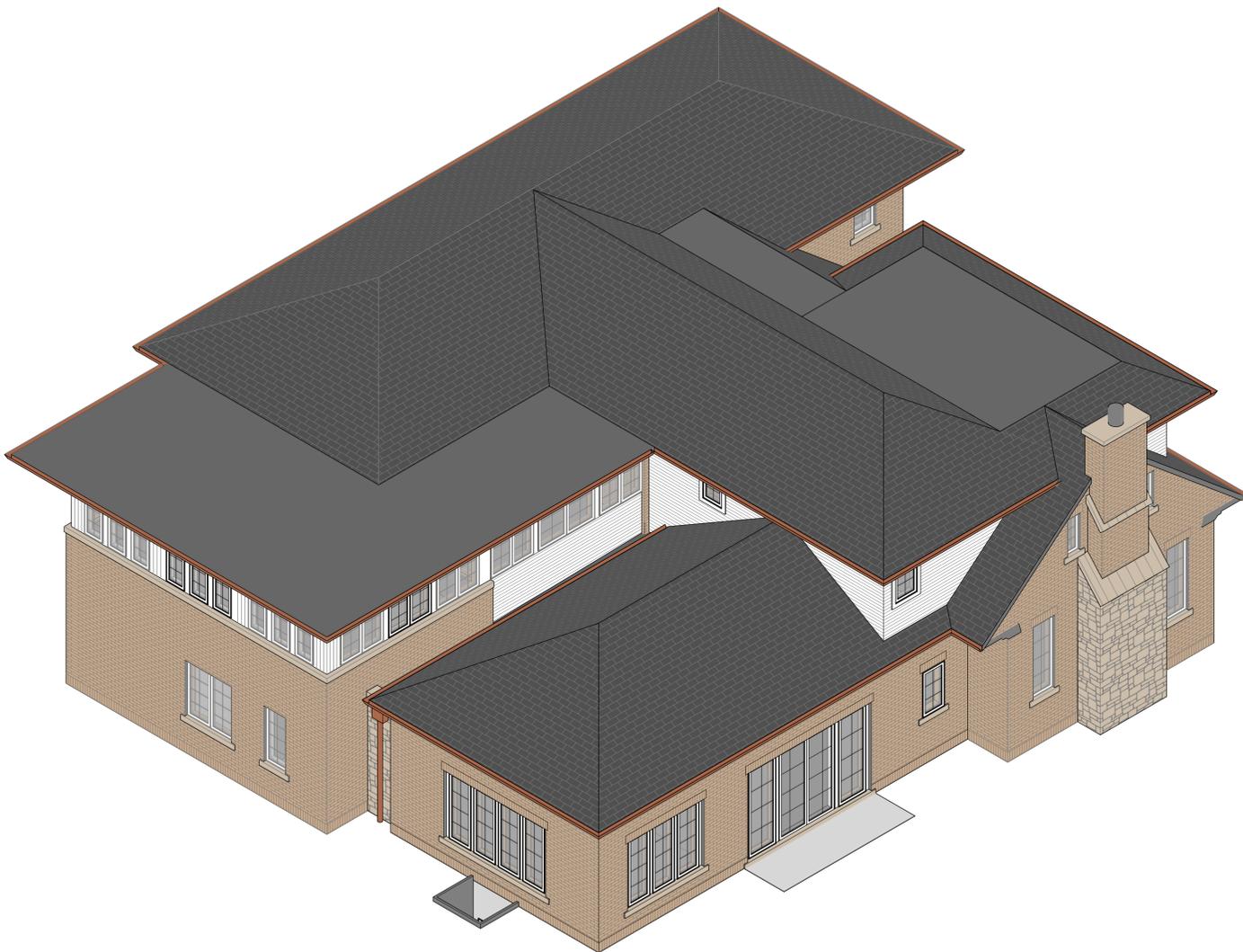
1 AXONOMETRIC - SOUTHWEST - DEMOLITION  
A220



2 AXONOMETRIC - SOUTHWEST - NEW CONSTRUCTION  
A220



1 AXONOMETRIC - NORTHWEST - DEMOLITION  
A221



2 AXONOMETRIC - NORTHWEST - NEW CONSTRUCTION  
A221



SOUTHWEST 1



SOUTHWEST 2



SOUTH



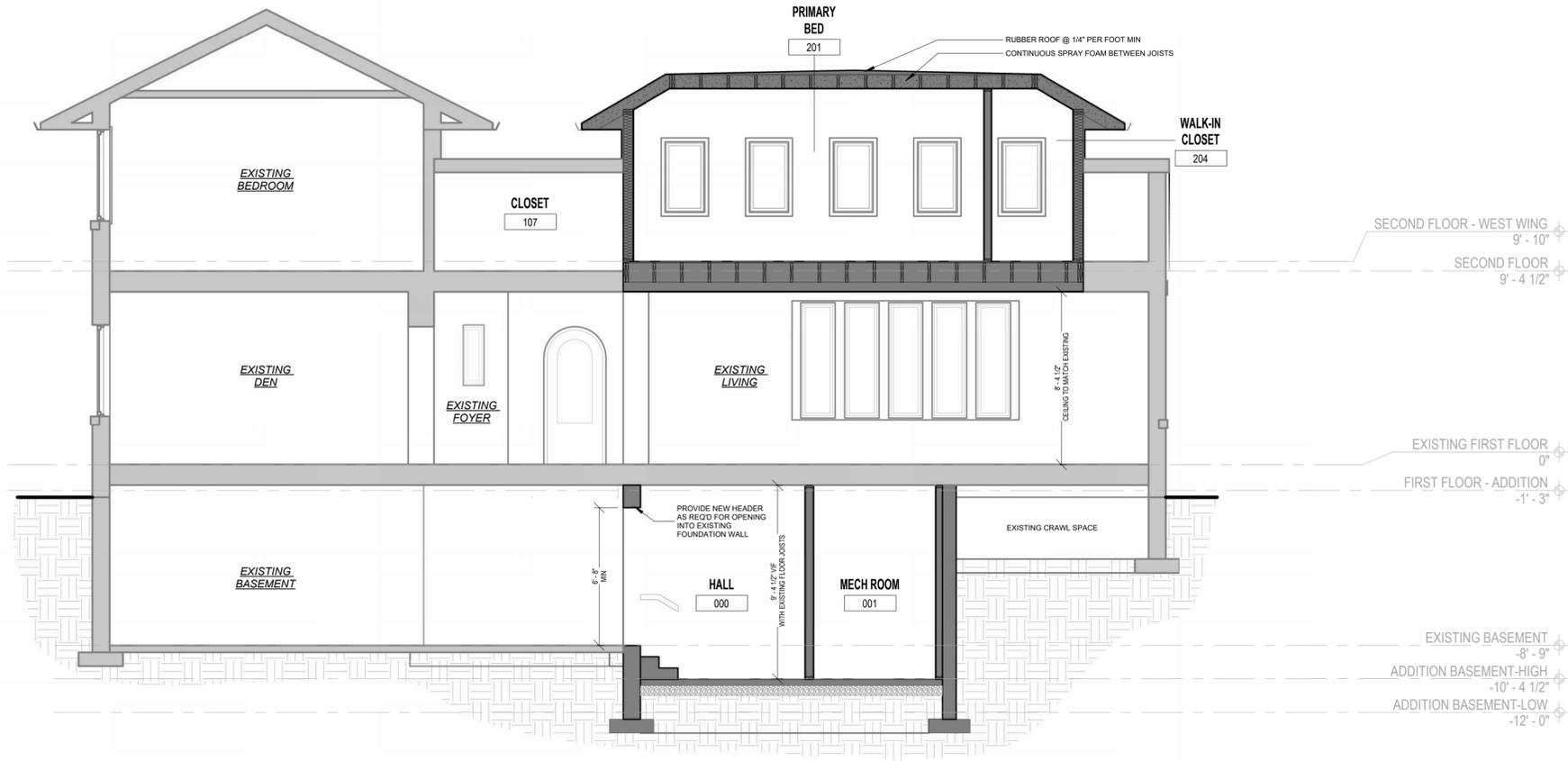
NORTHWEST



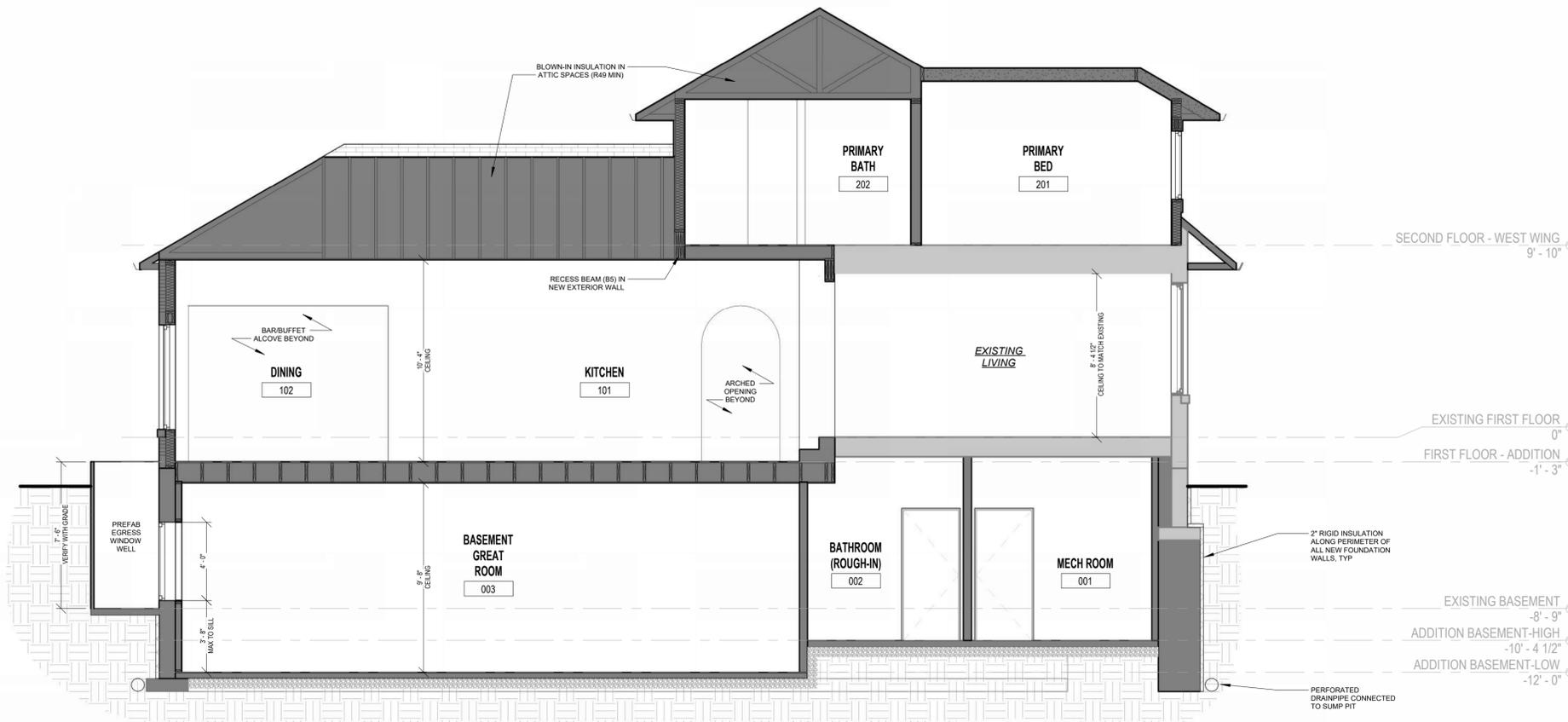
EAST



NORTHEAST



1 EAST-WEST SECTION  
A240 1/4" = 1'-0"



2 NORTH-SOUTH SECTION  
A240 1/4" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

-ALL APPLIANCES, ELECTRONICS, FURNITURE, EQUIPMENT, AND TABLES SHOWN ONLY FOR SPACE PLANING PURPOSES AND DO NOT NECESSARILY REPRESENT ACTUAL PRODUCT DIMENSIONS

-INSTALL BLOCKING IN WALLS, CEILING, AND FLOORS AS REQUIRED FOR ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN

-REFER TO SECTION DETAILS FOR FRAMING SIZES AND ORIENTATION

-VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK

-TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS UNLESS NOTED OTHERWISE

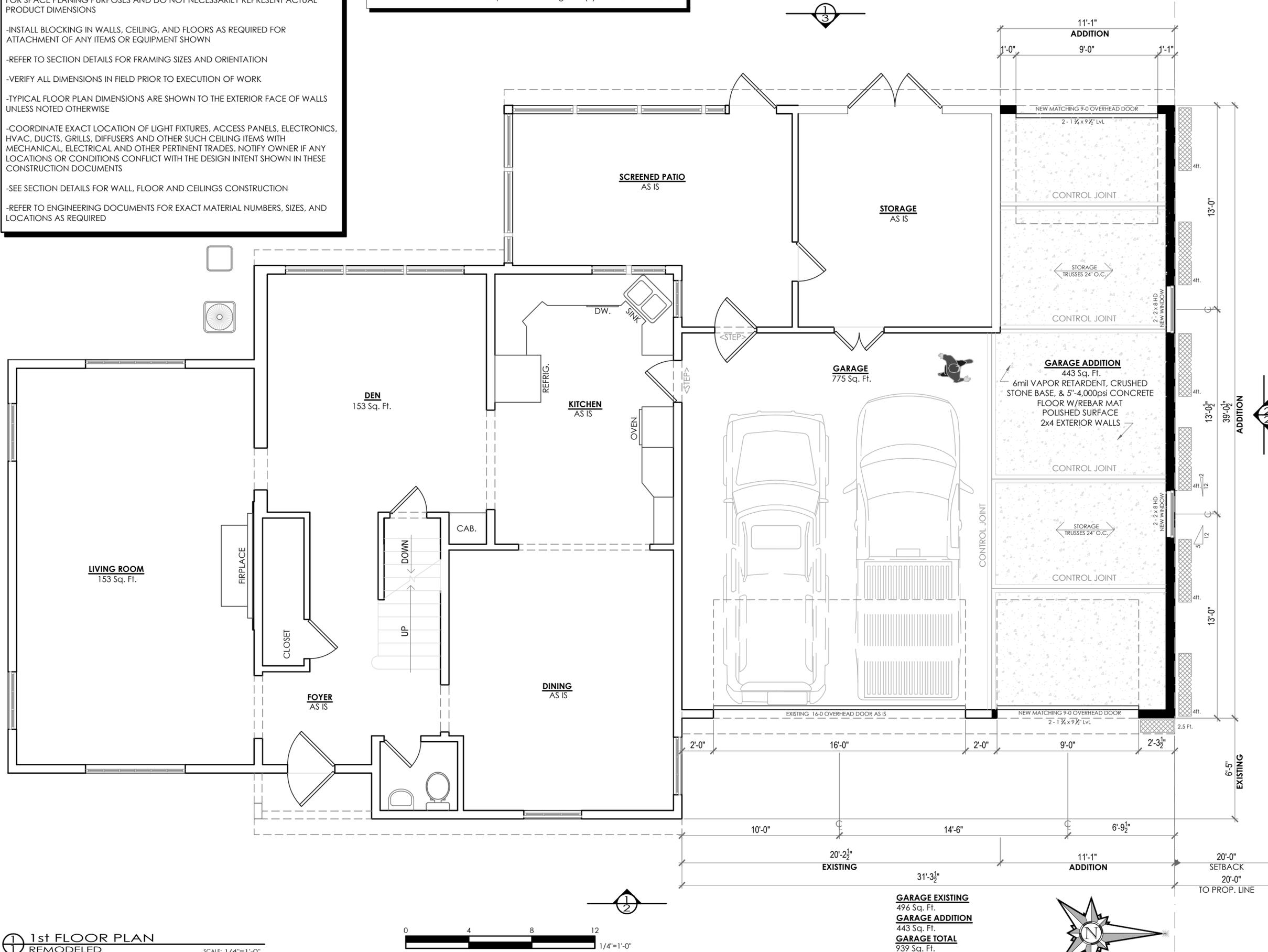
-COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, ELECTRONICS, HVAC, DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER PERTINENT TRADES. NOTIFY OWNER IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS

-SEE SECTION DETAILS FOR WALL, FLOOR AND CEILINGS CONSTRUCTION

-REFER TO ENGINEERING DOCUMENTS FOR EXACT MATERIAL NUMBERS, SIZES, AND LOCATIONS AS REQUIRED

**WIND BRACING KEY**

7/8" OSB with 8d nails at 6" O.C. at all edges and 12" O.C. in field. All edges are blocked. Drywall on inside face. Nail top and bottom wall plates to framing with (4) 10d nails @ 16" O.C.



**1st FLOOR PLAN**  
REMODELED

SCALE: 1/4"=1'-0"



**GARAGE EXISTING**  
496 Sq. Ft.  
**GARAGE ADDITION**  
443 Sq. Ft.  
**GARAGE TOTAL**  
939 Sq. Ft.



**SKIRROW**

**DESIGN BUILD**

"WHERE THE DIFFERENCE IS QUALITY"

245 N. COLUMBIA BLVD.  
BROOKFIELD, WI. 53005

OWNER

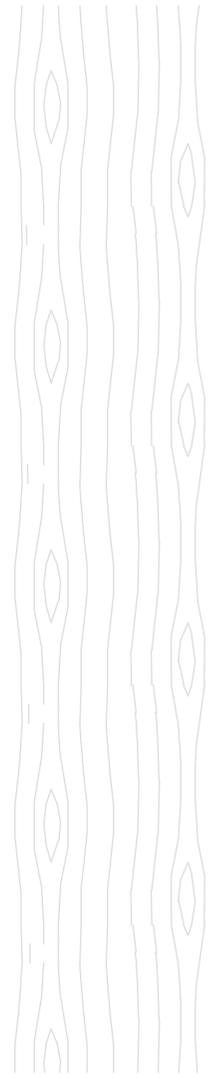
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ARCHITECTURAL DRAFTSMAN & DESIGNER

**Andrew J. Makarewicz**

OFFICE 414.412.2990  
EMAIL amakarewicz@wi.rr.com



**CUSTOMER INFORMATION**

**George and Colleen Alex**  
1055 Highland Gove  
Elm Grove, WI. 53122

Final Plans  
For Construction

PAGE NAME

Garage Addition

DATE ISSUED

January 2nd, 2026

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October 30th, 2024  
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November 28th, 2025

SCALE 1/4" = 1'-0" SHEET 1 OF 6

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245 N. COLUMBIA BLVD. BROOKFIELD, WI. 53005

OWNER

**Aaron Skirrow**

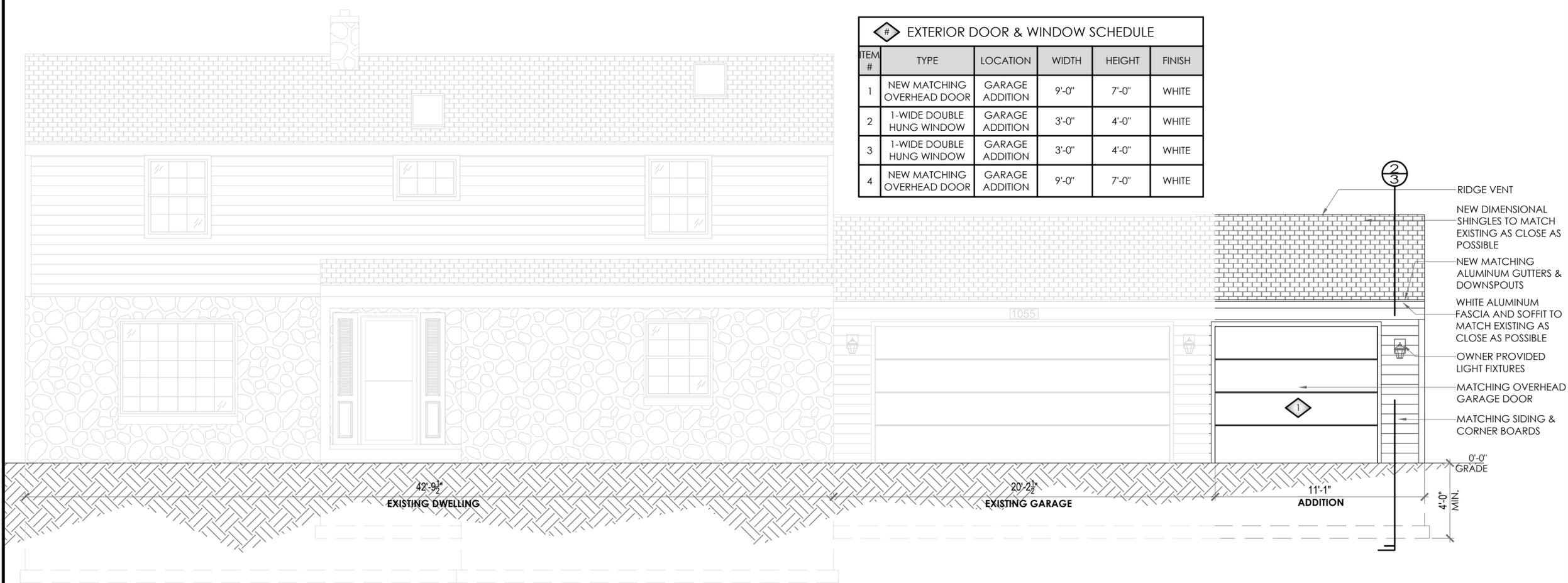
OFFICE 414.750.4026  
EMAIL aaron@skirrowbuild.com

ARCHITECTURAL DRAFTSMAN & DESIGNER

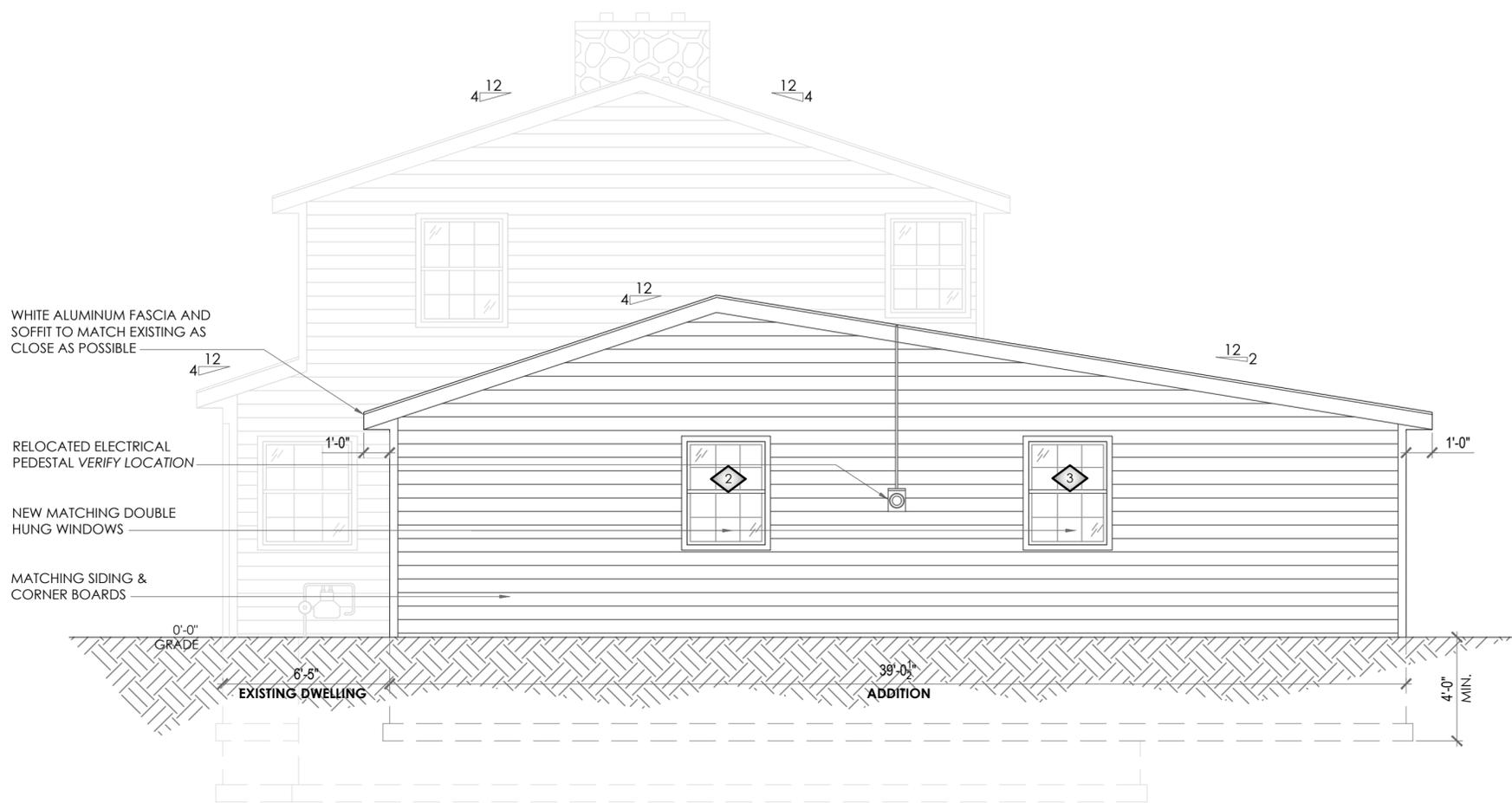
**Andrew J. Makarewicz**

OFFICE 414.412.2990  
EMAIL amakarewicz@wi.rr.com

ITEM #	TYPE	LOCATION	WIDTH	HEIGHT	FINISH
1	NEW MATCHING OVERHEAD DOOR	GARAGE ADDITION	9'-0"	7'-0"	WHITE
2	1-WIDE DOUBLE HUNG WINDOW	GARAGE ADDITION	3'-0"	4'-0"	WHITE
3	1-WIDE DOUBLE HUNG WINDOW	GARAGE ADDITION	3'-0"	4'-0"	WHITE
4	NEW MATCHING OVERHEAD DOOR	GARAGE ADDITION	9'-0"	7'-0"	WHITE



**1** REMODELED ELEVATION  
FRONT  
SCALE: 1/4" = 1'-0"



**2** REMODELED ELEVATION  
SIDE  
SCALE: 1/4" = 1'-0"

- 2 3 RIDGE VENT
- NEW DIMENSIONAL SHINGLES TO MATCH EXISTING AS CLOSE AS POSSIBLE
- NEW MATCHING ALUMINUM GUTTERS & DOWNSPOUTS
- WHITE ALUMINUM FASCIA AND SOFFIT TO MATCH EXISTING AS CLOSE AS POSSIBLE
- OWNER PROVIDED LIGHT FIXTURES
- MATCHING OVERHEAD GARAGE DOOR
- MATCHING SIDING & CORNER BOARDS

- 4 12 WHITE ALUMINUM FASCIA AND SOFFIT TO MATCH EXISTING AS CLOSE AS POSSIBLE
- RELOCATED ELECTRICAL PEDESTAL VERIFY LOCATION
- NEW MATCHING DOUBLE HUNG WINDOWS
- MATCHING SIDING & CORNER BOARDS

**CUSTOMER INFORMATION**

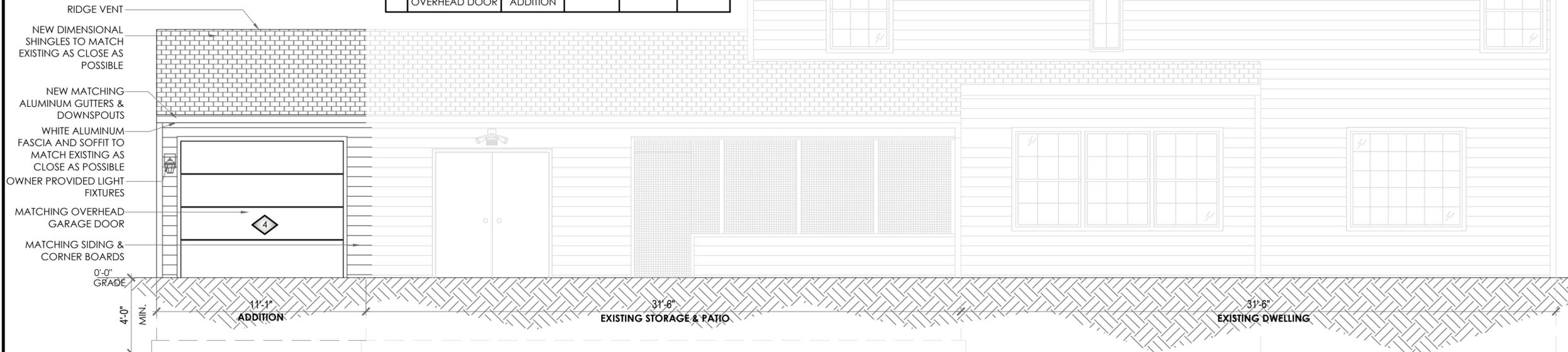
**George and Colleen Alex**  
1055 Highland Gove Elm Grove, WI. 53122

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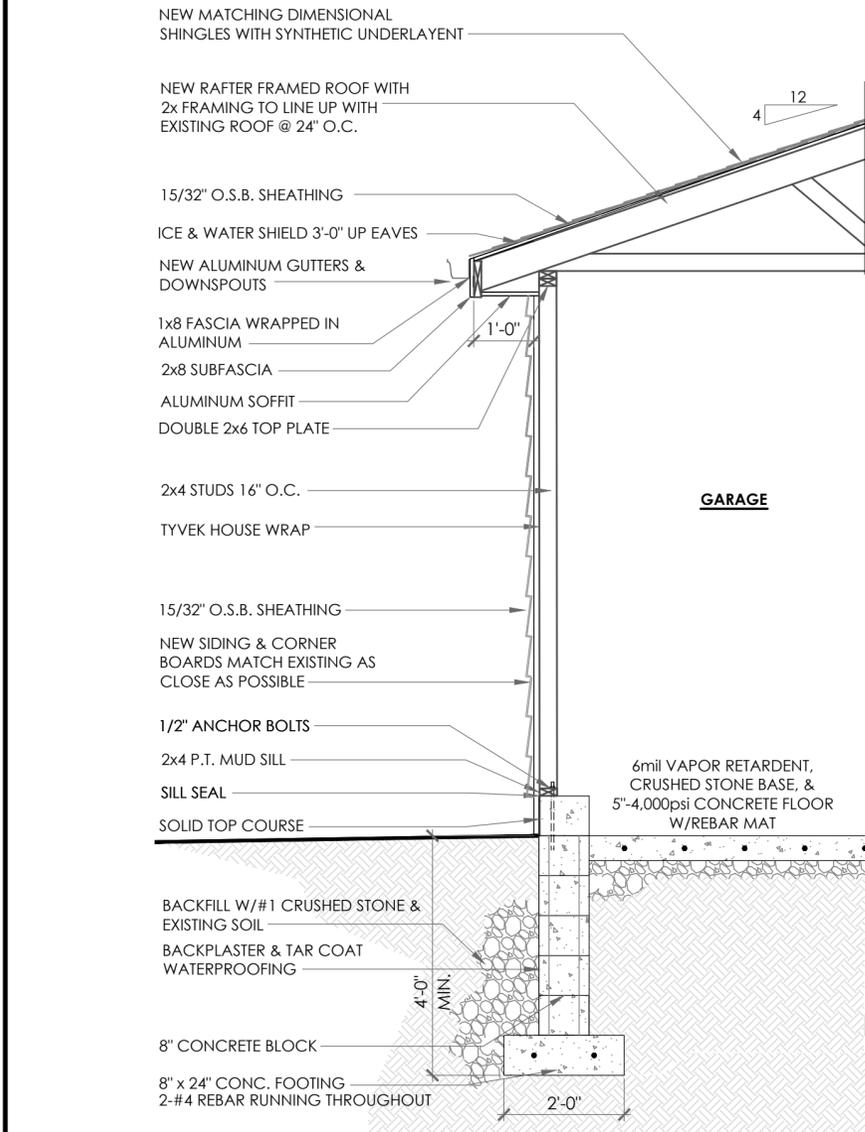
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# EXTERIOR DOOR & WINDOW SCHEDULE					
ITEM #	TYPE	LOCATION	WIDTH	HEIGHT	FINISH
1	NEW MATCHING OVERHEAD DOOR	GARAGE ADDITION	9'-0"	7'-0"	WHITE
2	1-WIDE DOUBLE HUNG WINDOW	GARAGE ADDITION	3'-0"	4'-0"	WHITE
3	1-WIDE DOUBLE HUNG WINDOW	GARAGE ADDITION	3'-0"	4'-0"	WHITE
4	NEW MATCHING OVERHEAD DOOR	GARAGE ADDITION	9'-0"	7'-0"	WHITE



**1** REMODELED ELEVATION  
REAR SCALE: 1/4"=1'-0"



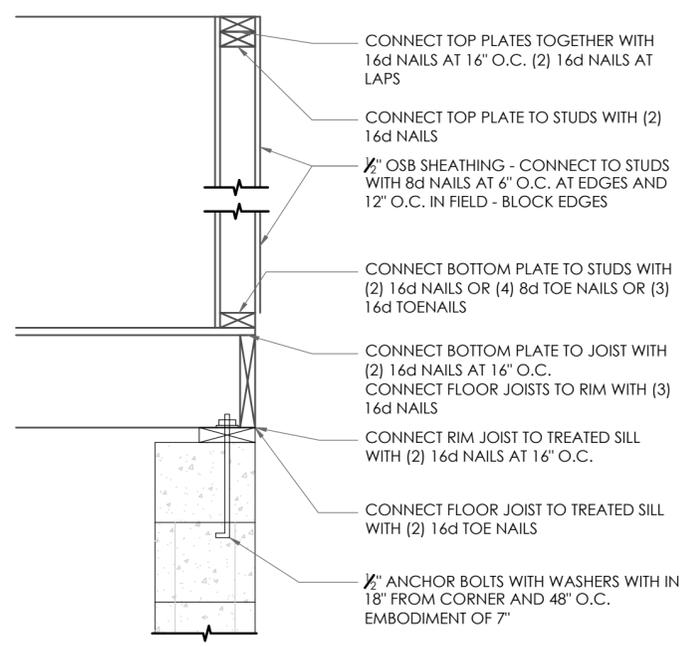
**2** VERTICAL SECTION  
GARAGE ADDITION TYP. SCALE: 1/2"=1'-0"

**STRUCTURAL NOTES:**

- FOR ALL WOOD MEMBERS THAT FRAME INTO OTHER MEMBERS, USE AN APPROPRIATE SIMPSON STRONG TIE HANGER OR CONNECTOR
- OVERHEAD GARAGE DOOR HEADERS TO BE DOUBLE 9/2" LVL'S WITH TWO 2x4 SHOULDERS EACH SIDE
- ALL DOOR AND WINDOW JAMBS ARE TO BE (1)2x6 SPF SHOULDER STUD WITH (2) 2x6 SPF FULL HEIGHT
- PROVIDED SOLID BLOCKING UNDER ALL POSTS
- ROOF SHEATHING: 1/2" APA RATED WOOD SHEATHING CDX ATTACHED TO ROOF FRAMING MEMBERS WITH 8d (2 1/2") COMMON OR BOX NAILS @ 6" O.C. ALONG PANEL EDGES AND ALONG 12" O.C. ALONG INTERMEDIATE MEMBERS
- PROVIDE CROSS BRIDGING BETWEEN JOISTS AS REQUIRED

**ASSEMBLY NOTES**

- EXTEND ALL WALLS TO STRUCTURE ABOVE
- REFER TO ENGINEERING DRAWINGS FOR ALL BEARING WALL AND SHEAR WALL LOCATIONS AND REQUIREMENTS
- PROVIDE APPROPRIATE BLOCKING IN WALLS FOR ATTACHMENT OF WALL HUNG EQUIPMENT, CASEWORK, ETC..



**3** SECTION DETAIL  
EXTERIOR BRACING WALL SCALE: 1"=1'-0"

**SKIRROW**

**DESIGN BUILD**

"WHERE THE DIFFERENCE IS QUALITY"

245 N. COLUMBIA BLVD. BROOKFIELD, WI. 53005

OWNER  
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**CUSTOMER INFORMATION**

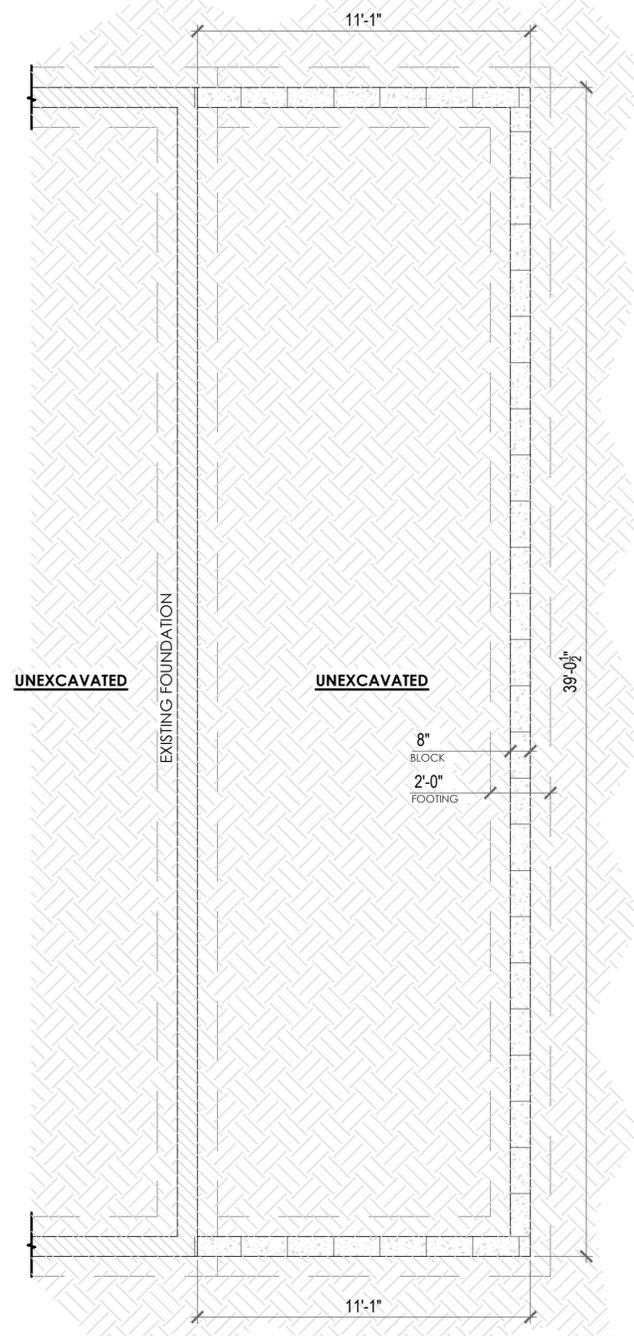
**George and Colleen Alex**  
1055 Highland Gove Elm Grove, WI. 53122

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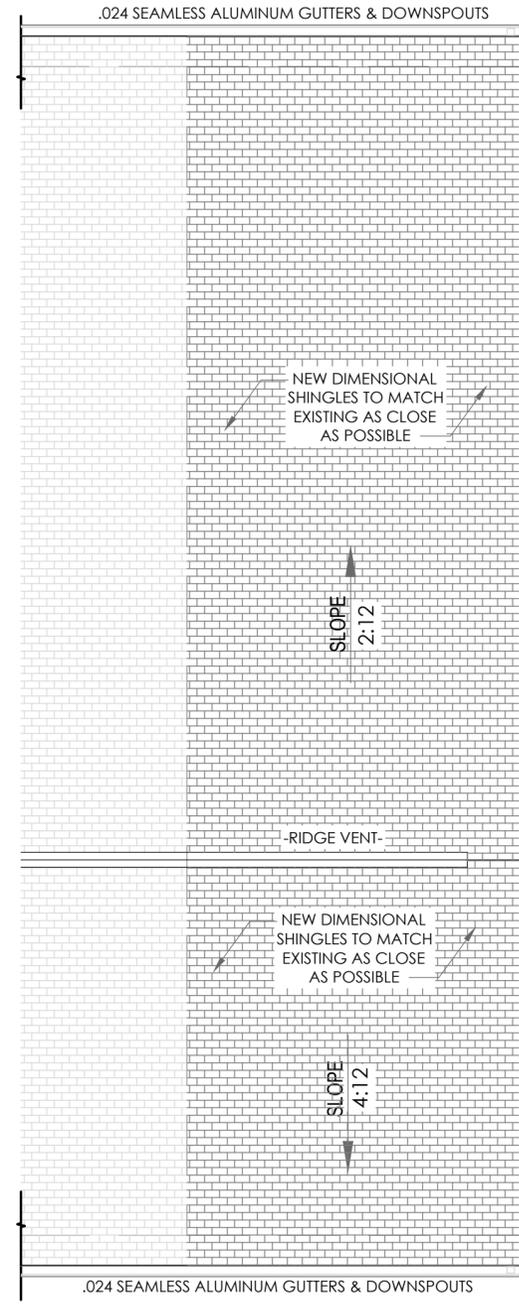
October 30th, 2024  
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November 28th, 2025

SCALE As Noted SHEET 3 OF 6

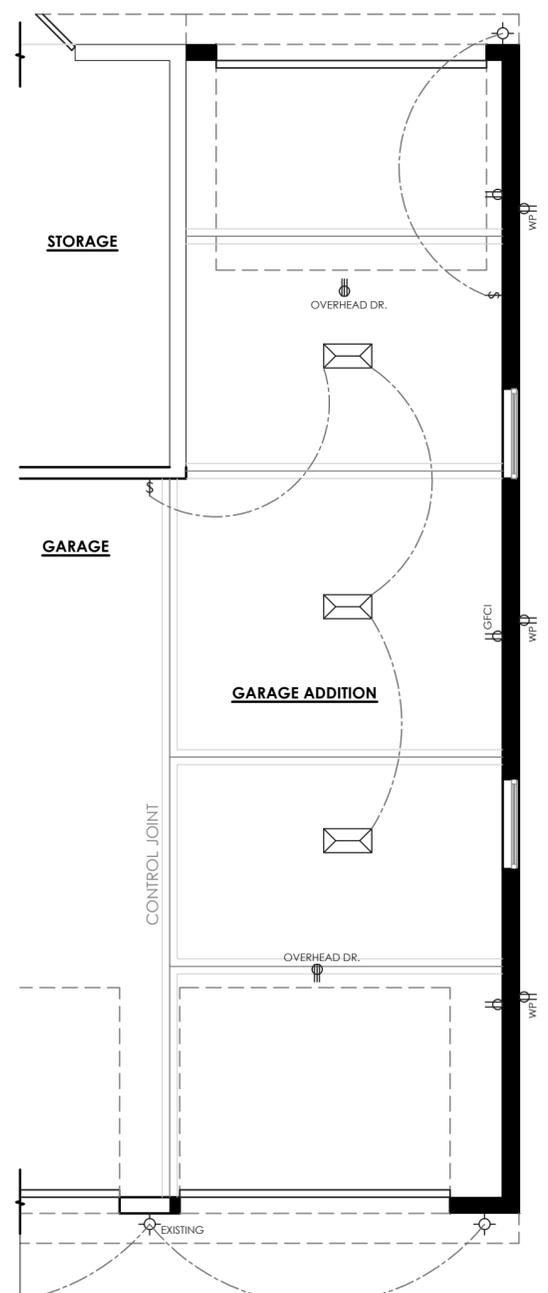
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1 FOUNDATION PLAN  
4 GARAGE ADDITION  
SCALE: 1/4"=1'-0"



2 ROOF PLAN  
4 GARAGE ADDITION  
SCALE: 1/4"=1'-0"



3 ELECTRICAL PLAN  
4 GARAGE ADDITION  
SCALE: 1/4"=1'-0"

**EXCAVATION & MASONRY NOTES:**

ALL FOOTINGS ARE TO BE LOCATED AT A MINIMUM DEPTH OF 4'-0" BLOW GRADE

PROVIDE FROST AND MOISTURE PROTECTION FOR FOOTINGS AND WALLS EXPOSED DURING CONSTRUCTION

PLYWOOD PATH FROM DRIVEWAY TO DIG SITE T.B.D. ON SITE (IF REQUIRED DUE TO EXCESS MOISTURE)

ALL EXCESS SOIL TO BE REMOVED FROM SITE

THE SITE WILL BE CLEARED, RUTS FILLED & TOPSOIL INSTALLED TO AREAS OF REPAIR

FINAL GRADING, LAWN REPAIR, & LANDSCAPING **BY OWNER**

UPON START OF EXCAVATION THAT IT IS FOUND TO BE THAT THE SITE IS IN A HIGH WATER TABLE OR THAT DURING EXCESSIVE RAIN OCCURRENCES DURING SAID EXCAVATION SHALL INCUR ADDITION CHARGES FOR PUMPING AND WATER REMOVAL DURING THOSE PERIODS. OWNER SHALL BE RESPONSIBLE FOR ALL ADDITIONAL COSTS INCURRED AND SHALL BE NOTIFIED AT THE TIME OF THE OCCURRENCE. WATER PUMPING IS FIGURED ON A TIME AND MATERIAL BASIS.

**ELECTRICAL NOTES:**

- Electrical permit
- All required electrical demolition
- Wire all switches, receptacles & light openings per code
- Placement of recessed cans are approximate due to location of ceiling joists
- All electrical devices to be white - verify color
- Receptacles - Standard
- Switches - Decora
- Dimmer switches - Decora
- Owner supplied light fixtures
- 2 x 4 ceiling LED light fixture
- 110v duplex receptacle
- Water proof 110v duplex receptacle
- Appliance receptacle
- receptacle with ground fault circuit interrupter
- Single pole

**SKIRROW**

**DESIGN BUILD**

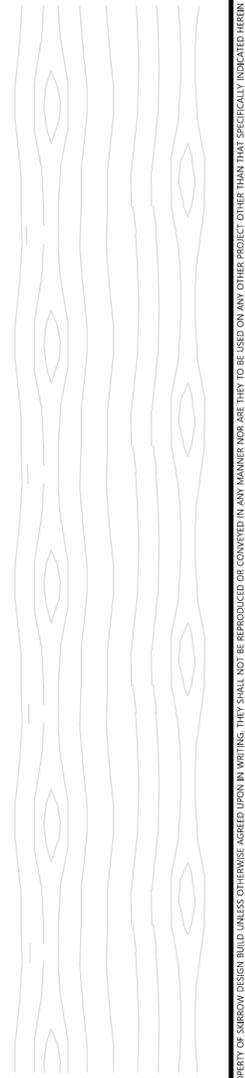
"WHERE THE DIFFERENCE IS QUALITY"

245 N. COLUMBIA BLVD. BROOKFIELD, WI. 53005

OWNER  
**Aaron Skirrow**

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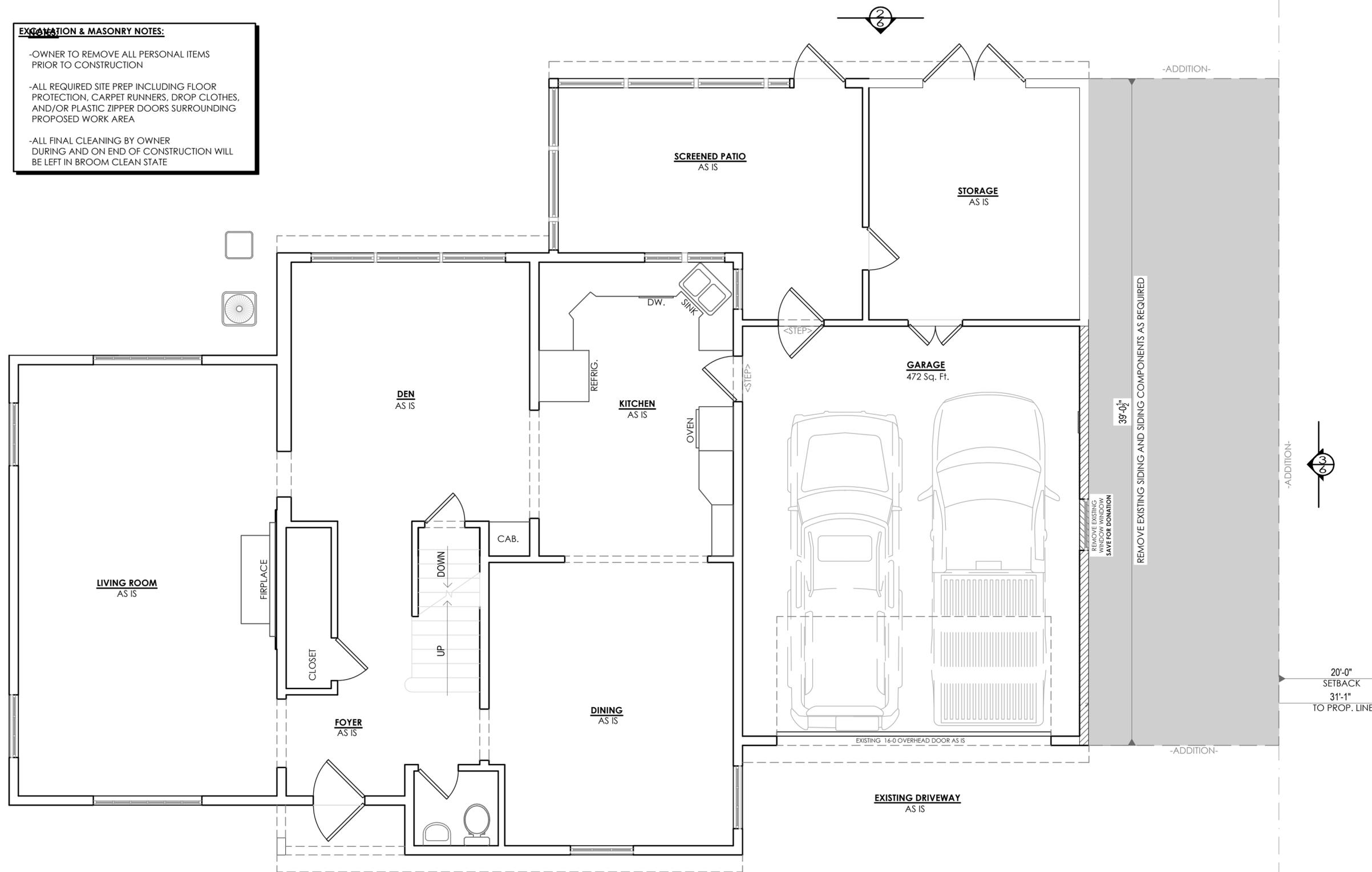
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SCALE 1/4"=1'-0" SHEET 4 OF 6

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EXCAVATION & MASONRY NOTES:

- OWNER TO REMOVE ALL PERSONAL ITEMS PRIOR TO CONSTRUCTION
- ALL REQUIRED SITE PREP INCLUDING FLOOR PROTECTION, CARPET RUNNERS, DROP CLOTHES, AND/OR PLASTIC ZIPPER DOORS SURROUNDING PROPOSED WORK AREA
- ALL FINAL CLEANING BY OWNER DURING AND ON END OF CONSTRUCTION WILL BE LEFT IN BROOM CLEAN STATE



1 5 1st FLOOR PLAN EXISTING

SCALE: 1/4"=1'-0"



CUSTOMER INFORMATION

George and Colleen Alex

1055 Highland Gove Elm Grove, WI. 53122

Final Plans For Construction PAGE NAME

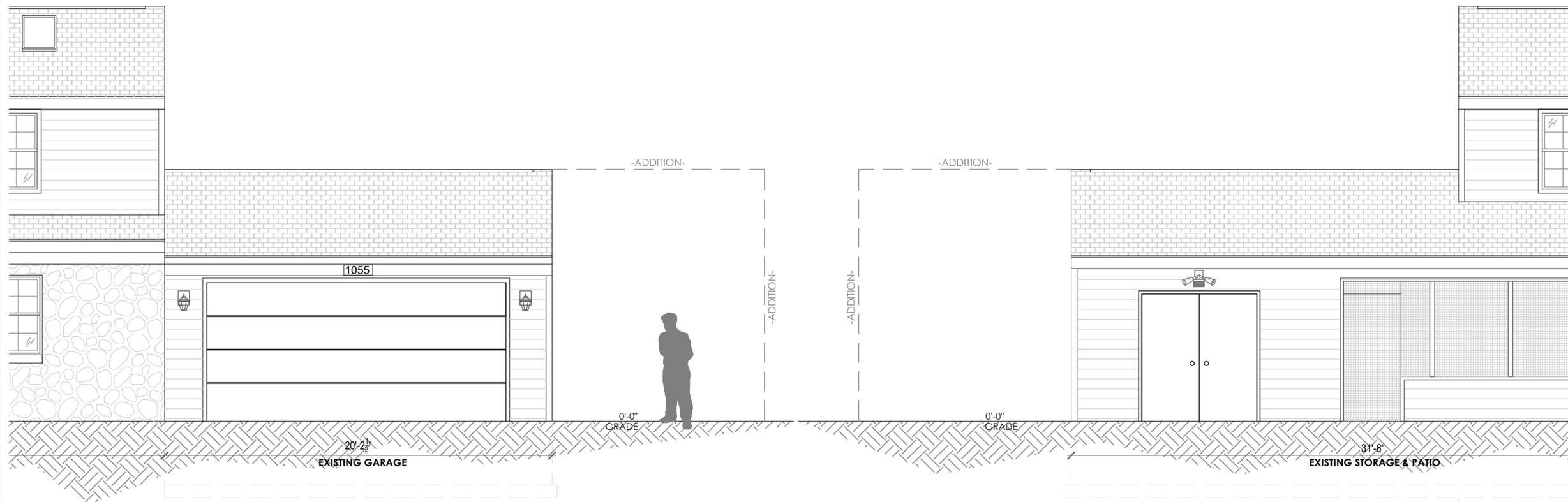
Garage Addition DATE ISSUED

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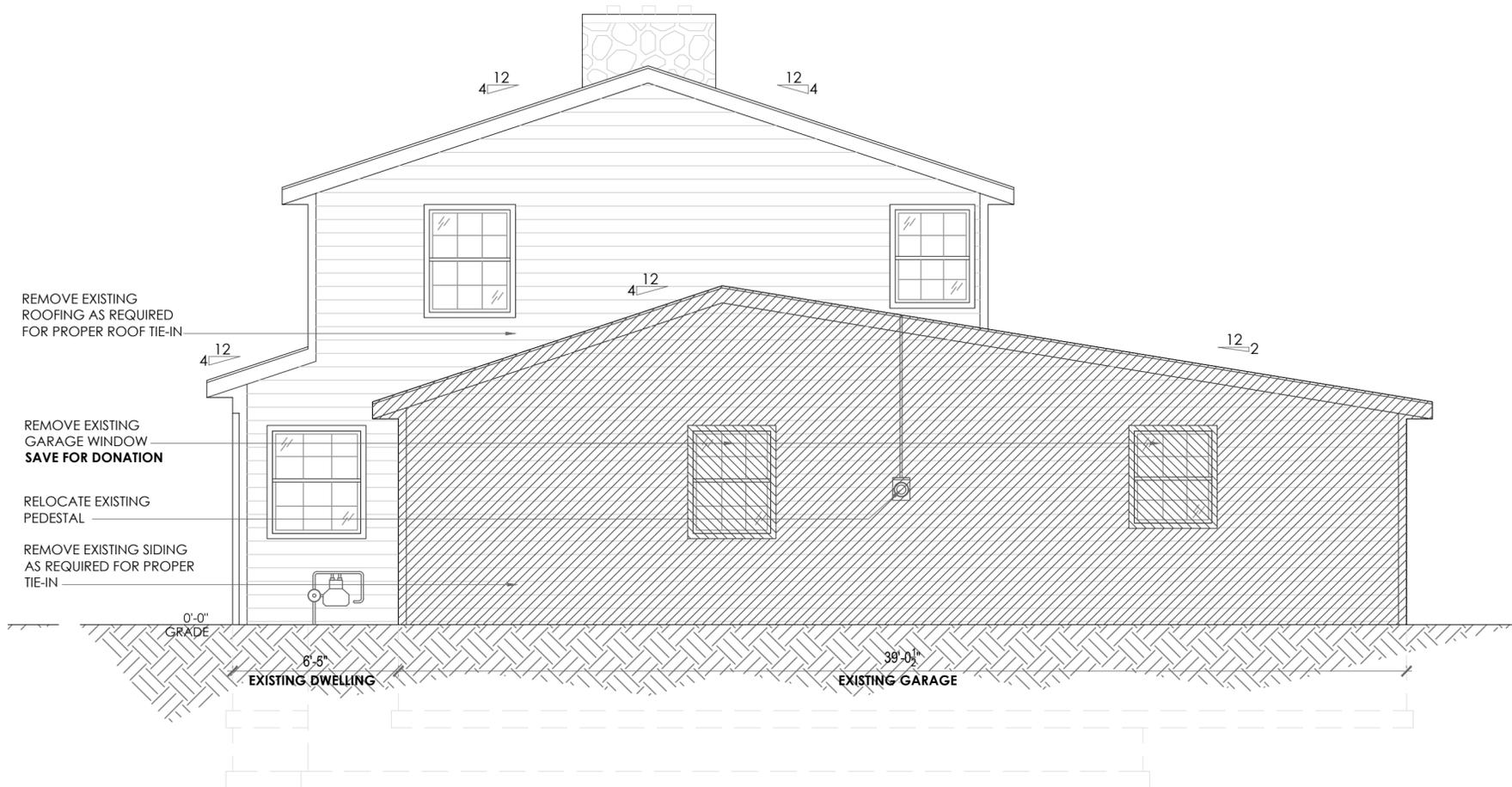
SCALE 1/4" = 1'-0" SHEET 5 OF 6

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**1**  
**6** DEMO ELEVATION FRONT SCALE: 1/4"=1'-0"

**2**  
**6** DEMO ELEVATION REAR SCALE: 1/4"=1'-0"



**3**  
**6** DEMO ELEVATION SIDE SCALE: 1/4"=1'-0"

CUSTOMER INFORMATION

**George and Colleen Alex**

1055 Highland Gove Elm Grove, WI. 53122

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# Plat of Survey

Property Description: Document No. 4520892  
 LOT 11 AND THE NORTH 1/2 OF LOT 12, BLOCK 4, PLYMOUTH HEIGHTS,  
 BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 26,  
 TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE VILLAGE OF ELM GROVE,  
 COUNTY OF WAUKESHA, STATE OF WISCONSIN.

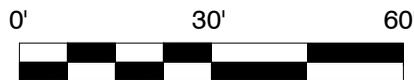
**Notes:**

1. A title commitment has not been provided and this parcel may be subject to, or benefit from, easements or agreements, written or otherwise, not shown hereon.
2. Outside diameter measured on all monuments. Set monuments are 1.50Lbs/Lineal Foot.
3. ( ) Indicates recorded as bearings and dimensions.
4. Field work completed on 12-09-25.
5. Due to snow cover present at the time of survey, certain hard surface features may be obscured and therefore may not have been located or may not be located accurately.

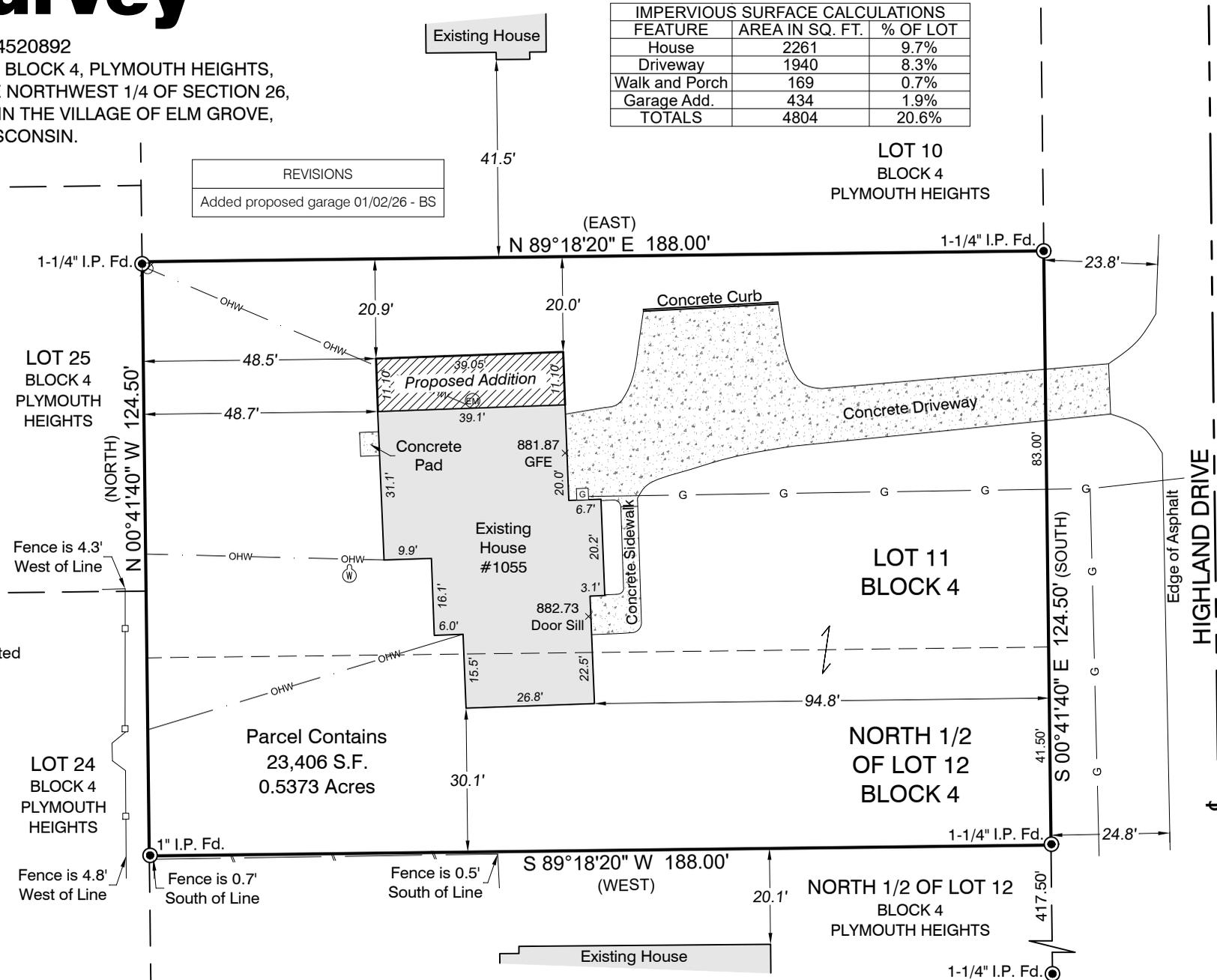
**LEGEND**

- Monument Found as Noted
- 3/4"x18" Iron Rod Set
- ⊗ Utility Pole
- ⊕ Well
- ⊠ Gas Meter
- ⊞ Electric Meter
- Aluminum Fence
- Board Fence
- Existing Gas Line
- OHW Existing Overhead Wires

Graphic Scale 1" = 30'



IMPERVIOUS SURFACE CALCULATIONS		
FEATURE	AREA IN SQ. FT.	% OF LOT
House	2261	9.7%
Driveway	1940	8.3%
Walk and Porch	169	0.7%
Garage Add.	434	1.9%
<b>TOTALS</b>	<b>4804</b>	<b>20.6%</b>



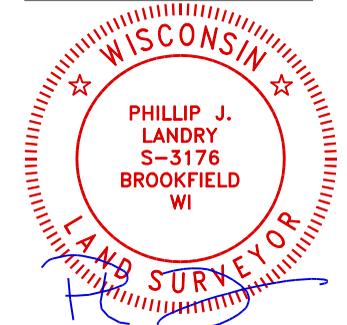
REVISIONS	
Added proposed garage	01/02/26 - BS



21005 Watertown Rd. Suite A2  
 Waukesha, WI 53186 (262) 312-1034  
 landsurveysinc.com

**SURVEYOR'S CERTIFICATE**

I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, its exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.



Dated this 24th Day of December, 2025: Phillip J. Landry S-3176

PREPARED FOR:  
 Skirrow Design Build  
 245 North Columbia Boulevard  
 JOB SITE:  
 Alex Living Trust  
 1055 Highland Drive  
 Elm Grove, WI 53122

BEARINGS ARE REFERENCED TO WI STATE PLANE COORD. SYS. SOUTH ZONE NAD 83 (2011) WEST LINE OF HIGHLAND DRIVE BEARS S 00°41'40" E (NORTH)

Drawn By: BS Job# 25685  
 Sheet 1 of 1

Revised 01-02-26 to depict addition









# CC AESTHETIC BOUTIQUE

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13386 WATERTOWN PLANK RD, ELM GROVE, WI 53122



21700 DORAL ROAD  
WAUKESHA WI 53186  
262.432.1330  
[www.innovative-signs.com](http://www.innovative-signs.com)



Qty: 1

24 in.



72 in.

Customer

**CC Aesthetic Boutique**

Date Project Manager

11/3/2025 Dylan B.

Order # Designer

ISI - 16068 Ashlee K.

Materials & Specifics

Storefront Sign  
 - 1/8" White Dibond  
 - Cut vinyl graphics w/ lam

Colors

- Oracal 751-070 Black
- Oracal 751-081 Light Brown

Revisions

- Revision 1:
- Revision 2:
- Revision 3:
- Revision 4:

Before:



After:





Sign

53" x 123" w

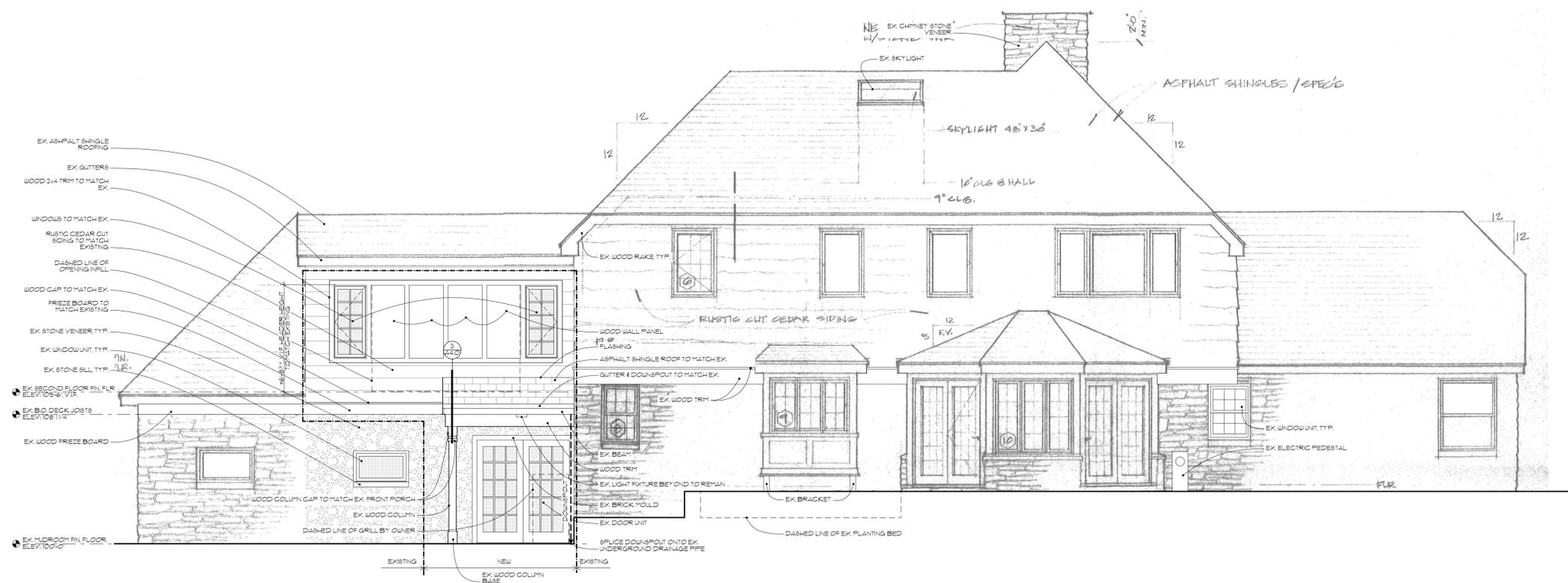
14" H |

Wine & Ovens

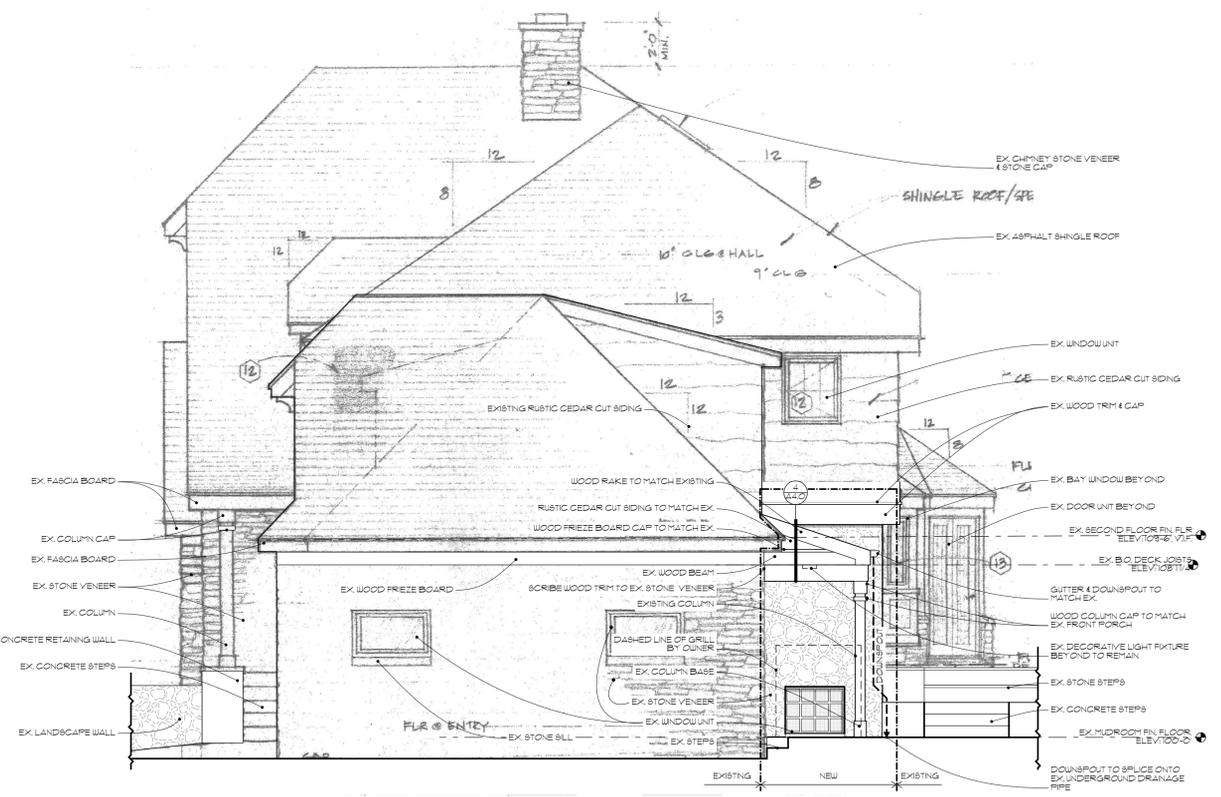
31' 10"

240 N. Milwaukee Street  
Suite #400  
Milwaukee, WI 53202  
  
(414) 276.8550  
deep-river.com

NOTE:  
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE CONTRACT DOCUMENTS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. THE CONTRACT DOCUMENTS UTILIZE A PROCESS CALLED FREE DESIGN OR DESIGN/BUILD FOR ROOF, WINDOW, PLUMBING, ELECTRICAL, HVAC DETAILS, AND AS DESIGNATED IN THE SPECIFICATION AS TO BE COMPLETED ON A DESIGN/BUILD BASIS. THIS MEANS THAT THE CONTRACT DOCUMENTS DO NOT INCLUDE ALL REQUIRED DETAILS, AND THAT THE CONTRACTORS SHALL, USING THEIR OWN STAFF OR QUALIFIED SUBCONTRACTORS, DESIGN AND BUILD THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE WORK. THE CLIENT IS DIRECTLY CONTRACTING WITH THE CONTRACTORS AND THEREFORE THE CLIENT AND THE CONTRACTORS ARE ASSUMING THE DESIGN AND BUILD RESPONSIBILITY FOR THE FREE DESIGN AND DESIGN/BUILD PORTIONS OF THE PROJECT. DEEP RIVER PARTNERS, LTD. IS NOT RESPONSIBLE FOR INSPECTING ANY ASPECT OF THE CONTRACTORS' WORK, OR FOR OBSERVATION OF THE CONTRACTORS' WORK FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS	
1. EXTERIOR AND INTERIOR PARTITIONS AND MSC BLOCKING, SLEEPERS & DROPS TO BE SPECIALLY ORDERED STANDARD AND BETTER.	EXTERIOR ENVELOPE/ CLADDING:
2. EXTERIOR WALL SHEATHING TO BE 1/2" 5-PLY EXTERIOR GRADE DOUGLAS FIR PLYWOOD UNO.	1. RUSTIC CUT CEDAR SIDING TO MATCH EXISTING. PROVIDE INNER CORNER BOARD TO MATCH EXISTING.
3. AIR AND WATER INFILTRATION BARRIER SYSTEM TO BE COMPLETE WARRANTED TYVEK COMMERCIAL WRAP SYSTEM UNO.	2. WALL PANEL 3/4" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
4. FASTENERS TO BE SIZE AND TYPE AS INDICATED AND / OR AS REQUIRED FOR THE INTENDED USE.	3. RAKE FRIEZE BOARD & CAP, FASCIA BOARD, COLUMN CAP & TRIM TO MATCH EXISTING.
5. COORDINATE LOCATION OF FURRING, BLOCKING AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER CONSTRUCTION SUCH AS HANGING FIXTURES, MSC HARDWARE, WALL MOUNT TV'S, AND BATH ACCESSORIES.	4. CEILING PANEL 3/4" EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
6. PROVIDE A COMPLETE INSULATION SYSTEM AS REQUIRED TO MEET LOCAL & STATE CODE INCLUDING BUT NOT LIMITED TO: A R-19 FIBERGLASS BATT INSULATION IN 2x6 EXTERIOR WALLS.	ROOF SYSTEM:
7. VAPOR BARRIER POLYETHYLENE 6 MIL THICK 4" BURY SIDE OF EXTERIOR WALLS & CEILING.	1. ROOF SHEATHING: APART-RATED STRUCTURAL 5/8" OSB.
	2. ASPHALT SHINGLES: ROOF TO MATCH EXISTING (WATERPROOF UNDERLAYMENT PER MFR RECOMMENDATIONS).
	3. GUTTER: TO MATCH EXISTING. DOWNSPOUT TO MATCH EXISTING.
	4. FLASHING: PREFINISHED STEEL FLASHING TO MATCH FINISH OF EXISTING AT NEW FRIEZE BOARD CAP INTERSECTION OF WALL AND ROOF AND MSC FLASHING AS SHOWN.
	LANDSCAPE PAVERS TO MATCH EXISTING.
	EXTERIOR PAINT:
	1. PAINT ALL NEW SIDING, TRIM, RAKE, FRIEZE BOARD & CAP, CEILING PANEL & COLUMN CAP TO MATCH EXISTING SIDING & TRIM.
	2. PAINT EXISTING COLUMN, COLUMN BASE AND BEAMS TO MATCH EXISTING SIDING & TRIM.
	3. NOTE: PROVIDE SAMPLE OF PAINT ON EXIST. TRIM TO DEEP RIVER PARTNERS FOR VERIFICATION BEFORE PAINTING.

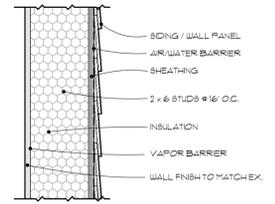
Project 2521  
MORNINGSIDE REMODEL  
865 MORNINGSIDE LANE  
ELM GROVE, WI 53211

ISSUE DESCRIPTION	DATE
BID ISSUE	12/15/2025
BUILDING BOARD	01/06/2026

EXTERIOR ELEVATIONS & DETAILS

**A4.0**

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**WALL TYPE A**  
SCALE: 1/2" = 1'-0"

**1 WALL TYPES**  
SCALE: 1/2" = 1'-0"

**Notes** Contractor shall verify unit size shown with model numbers and installation method  
See Exterior Elevations for operable window swing direction  
See Interior/Exterior Elevations for divided lite pattern

**General Information**

Manufacturer	Kolbe Ultra to match existing
Glass Type	Standard insulated clear, Low E-272, argon filled with Stainless Steel Perimeter to match existing
Sticking	Match Existing
Divided Lites	7/8" Beveled simulated divided lite on interior to match existing
Interior Finish	Bare wood Pine
Exterior Finish	Clad to match existing

**Window Information**

Hardware Type	Crank-Out Nesting Handles, Traditional Locking Lever to match existing
Hardware Finish	Clay to match existing
Screen Type	Aluminum Screen Frame with Mesh to match existing
Screen Frame Color	Match existing

No.	Callout	Jamb Depth	Unit Width	Unit Height	Note
01	KUW146	6'-9 1/16"	2'-0 1/2"	4'-6 1/2"	
02	KUW 146	6'-9 1/16"	2'-0 1/2"	4'-6 1/2"	

**2 WINDOW SCHEDULE**

**INTERIOR MATERIALS**

FINISH CARPENTRY: ALL CABINETS AND INTERIOR FINISH MILLWORK TO BE PROVIDED BY OTHERS.

GYPSUM BOARD.

GYPSUM WALL BOARD (ASTM C36) 1/2" THICKNESS EXCEPT AS REQUIRED BY FIRE CODES OR MANUFACTURERS STANDARD EDGES. TEXTURE TO MATCH EXISTING.

INTERIOR PAINT: WALLS - BENJAMIN MOORE PALE OAK  
FAMILY ROOM CEILING AND BASE - BENJAMIN MOORE WHITE DOVE  
CABINETS - STAN COLOR TBD

CABINET HARDWARE TO BE PROVIDED AND INSTALLED BY OTHERS.

**ELECTRICAL KEY**

**FIXTURES**

- CEILING-MOUNTED LIGHT
- WALL-MOUNTED LIGHT
- RECESSED DOWNLIGHT

**CIRCUITRY**

- SINGLE POLE SWITCH
- CIRCUITRY

**POWER**

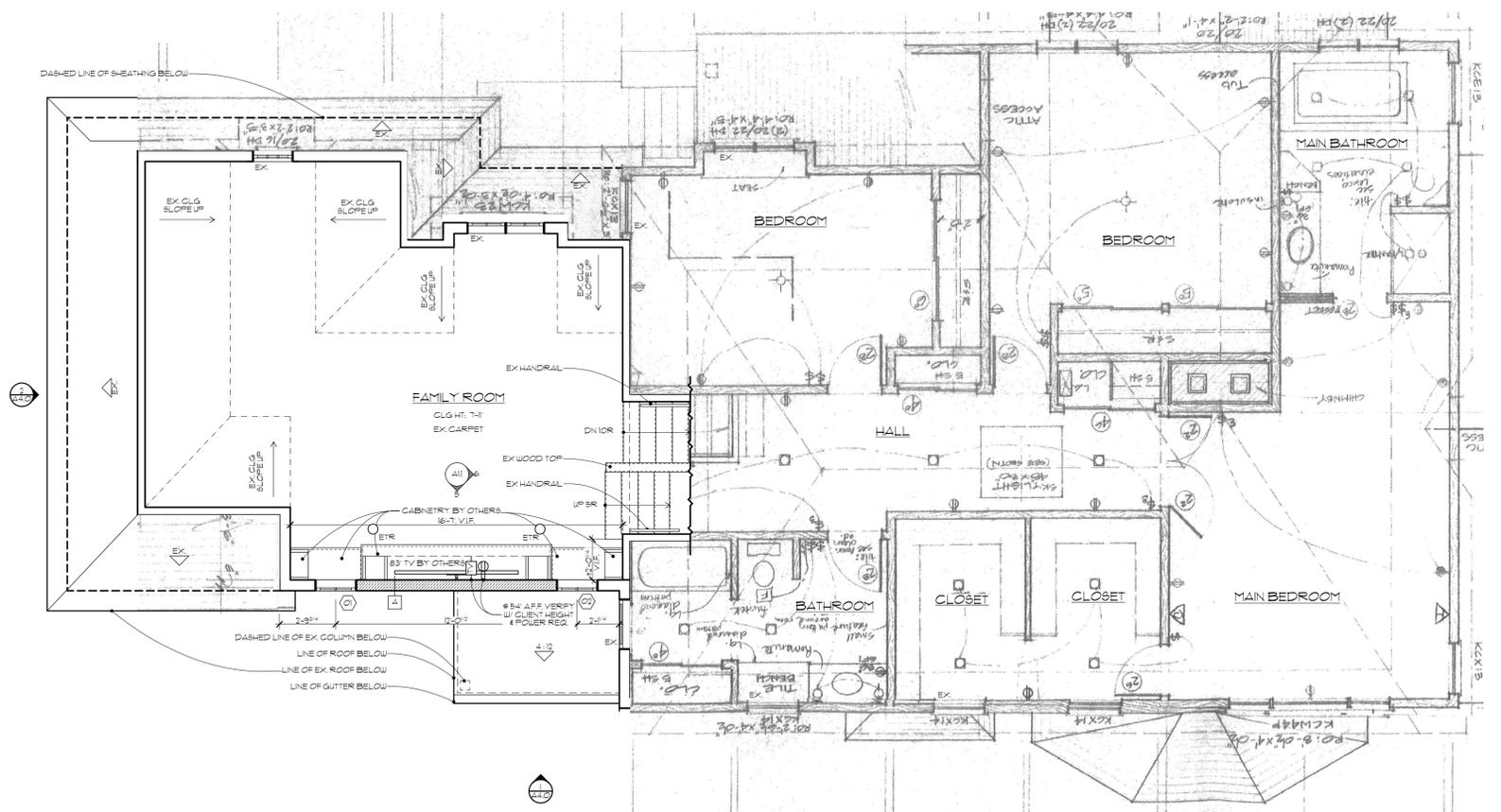
- DUPLEX RECEPTACLE
- WEATHER-RATED DUPLEX RECEPTACLE
- WEATHER-PROOF BOX BEZEL
- ETR - EXISTING TO REMAIN

**LOW VOLTAGE**

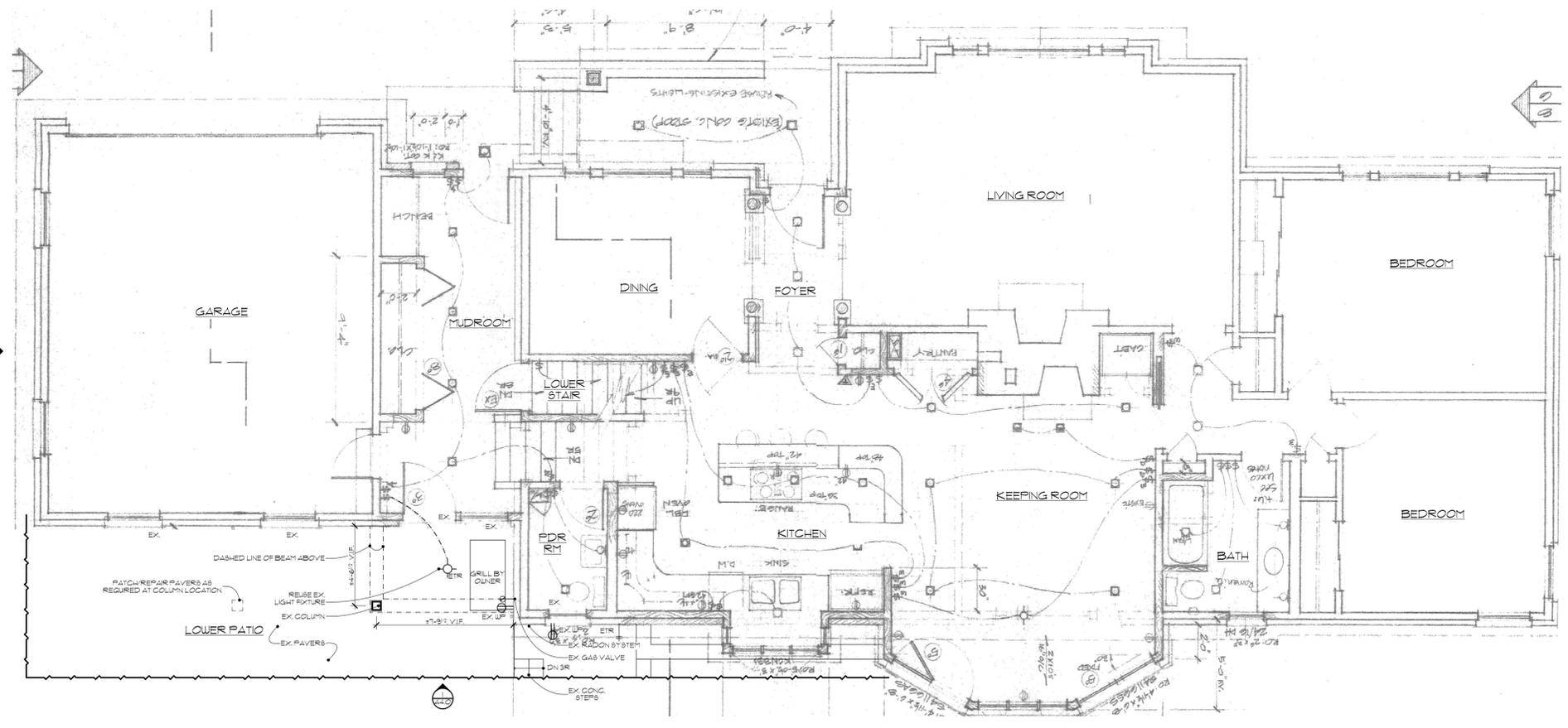
- TELEVISION JACK (BY MECHANICAL CONTRACTOR)
- TELEPHONE JACK (BY LOW VOLTAGE CONTRACTOR)

**NOTES:**

- ELECTRICAL KEY SYMBOLS ARE GENERAL LOCATIONS TO LOCATE POWER SUPPLIES & REMOTE TRANSFORMERS FOR LIGHT FIXTURES THAT REQUIRE THEM.
- THE FOLLOWING WORK TO BE COMPLETED ON A DESIGN/BUILD BASIS TO MEET ALL APPLICABLE REQUIREMENTS.
- ALL LIGHT LOAD HOME RUNS TO BE APPROPRIATE GAUGE WIRE FOR FIXTURES AND CIRCUITS.
- DESIGN CIRCUITS AND LOAD DISTRIBUTION TO PROPERLY HANDLE ELECTRICAL REQUIREMENTS.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION AS REQUIRED BY APPLICABLE CODES.
- WIRING AT OUTLETS: INSTALL WITH AT LEAST 1/2 INCHES OF BLACK COULOR AT EACH OUTLET.
- LOW VOLTAGE WIRES TO BE BY LOW VOLTAGE CONTRACTOR.
- NOT ALL SYMBOLS MAY APPLY.
- COORDINATE LIGHT FIXTURES WITH CEILING & WALL CONSTRUCTION. MECHANICAL WORK & SECURITY & FIRE PREVENTION FEATURES. CONTRACTOR TO VERIFY EXISTING CONDITIONS & DETERMINE APPLICATION & FIT OF SPECIFIED FIXTURES WITH EXISTING BUILDING COMPONENTS & NOTIFY DEEP RIVER PARTNERS OF ANY CONFLICTS THAT NEED RESOLUTION.
- ALL NEW SWITCHES AND RECEPTACLES TO MATCH EXISTING & EXISTING COLOR.



**3 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

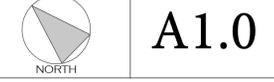


**4 PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

Project 2521  
MORNINGSIDE REMODEL  
865 MORNINGSIDE LANE  
ELM GROVE, WI 53211

ISSUE DESCRIPTION	DATE
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**BUILDING BOARD FLOORPLANS**



MATCHING EXISTING GUTTER

MATCHING EXISTING WINDOWS

MATCHING EXISTING SIDING & COLOR

EXISTING GUTTERS TO REMAIN

MATCHING EXISTING TRIM & COLOR

EXISTING STONE TO REMAIN

MATCHING EXISTING SHINGLE ROOF

EXISTING BEAM PAINTED TO MATCH SIDING COLOR

EXISTING LIGHT TO REMAIN

EXISTING COLUMN PAINTED TO MATCH SIDING COLOR

EXISTING DOOR TO REMAIN

EXISTING PATIO TO REMAIN



