

# VILLAGE OF ELM GROVE

13600 Juneau Boulevard  
Elm Grove, WI 53122

## BUILDING BOARD

Tuesday, November 1, 2016 \* 5:30 PM \* Park View Room

### AGENDA

**1. Adjournment**

**2. Review and act on meeting minutes dated 10/18/16.**

*Documents:*

[\*BB101816dm.pdf\*](#)

**3. Item 3. Review and act on a request by Edward and Amy Zosel, 2075 Elm Tree Court, for a new home.**

*Documents:*

[\*2075 Elm Tree Court Grading Plan 10.27.16.pdf\*](#)

[\*Harrigan-20161020-2075 Elm Tree Court Redevelopment Plan Review.pdf\*](#)

[\*La Bella Building PLANS 10.7.16.pdf\*](#)

[\*Landscaping Plan 9.7.16.pdf\*](#)

**4. Other Business**

**5. Adjournment**

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

**DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD**

**BUILDING BOARD  
MEETING MINUTES  
Tuesday, October 18, 2016**

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Meeting was called to order at 5:31 p.m. by Mr. Olson.

**1. Roll Call.**

Present: Mr. Olson, Mr. Liechty, Mr. Matola, Mr. Schoenecker, Mr. Domaszek, Ms. Steindorf, and Mr. Janusz.

Absent: Mr. Wollersheim (excused).

Also Present: Mr. Harrigan, Ms. Nelson, Applicants.

**2. Review and act on meeting minutes dated October 4, 2016.**

Mr. Liechty stated that on page one, item three, paragraph four, the first sentence should read “Mr. Liechty asked if the basement egress would be finished flush at grade level.”

Mr. Liechty stated that on page two, item four, paragraph nine, the word “of” should be changed to “on” and Mr. Schoenecker stated that the phrase “of the submitted plans” should be inserted so that it reads “... the third page of the submitted plans...”.

Mr. Liechty stated that on page three, item six, third paragraph, “Ms. Larson” should be changed to “Mrs. Larson.”

Mr. Matola stated that adjournment should be changed to item number 9.

Mr. Matola motioned and Mr. Schoenecker seconded to approve the meeting minutes as amended. Motion carried 6-0.

**3. Consideration, public hearing, and action on a fence variance request by Joseph and Joni McDevitt at 15150 Irene Court.**

Joseph and Joni McDevitt were present before the board.

Mr. Olson opened the public hearing at 5:35 p.m.

Mr. Olson stated that the board has received two letters in opposition to the fence from neighboring properties.

Mr. McDevitt stated that the letters are actually from the same developer. He stated that the developer is an absentee landlord and his property is very ill-kempt. In the winter, they have a direct view from their patio into the pool house of that neighboring

property. The pool house is a mess and has wildlife living in it and they would like something to block that view. Mr. McDevitt said that they had looked into alternative screening methods but arborvitae will not grow in that area.

Mr. Schoenecker asked if the fence will be 70 feet in length from the north property line. Mr. McDevitt said yes.

Mr. Olson closed the public hearing at 5:39 p.m.

Ms. Steindorf joined the meeting at 5:40 p.m.

Mr. Matola stated that although he is generally opposed to fences, he does see the need for a fence in this situation.

Mr. Schoenecker voiced concern that there may be access issues for maintenance if the fence is located only two feet off the property line. Mr. Liechty agreed but stated that the fence is the best option in that location since arborvitae will not grow in that area and the goal is two block the view of the neighboring pool house and equipment that is left out all year.

Mr. Domaszek stated that the board should also take into consideration that this fence will act as a barrier between a single family property and a multi-family property.

Mr. Matola asked if the applicant would be willing to move the fence so that it is located three feet from the property line, instead of two. Mr. McDevitt stated that he would prefer to keep it at two feet since that part of the property slopes down and the fence would not block as much of the view if it was moved to three feet.

Mr. Schoenecker asked if the western red cedar would be natural or stained. Mr. McDevitt stated he would be leaving it natural.

Mr. Domaszek motioned and Mr. Schoenecker seconded to approve the plans as submitted. Motion carried 7-0.

#### **4. Review and act on a request by Tadeo Balderrama at 920 Katherine Drive for a building alteration.**

Mr. Balderrama was present before the board.

Mr. Balderrama stated that the reason they wish to remove the window is to create privacy and to have the option to put in a fireplace in the future.

Mr. Matola asked if the new siding will be consistent with the existing siding. Mr. Balderrama said yes.

Mr. Schoenecker asked for clarification on the submitted plans as to whether another window was being removed. Mr. Balderrama stated that only one window is going to be removed.

Mr. Liechty motioned and Mr. Matola seconded to approve the plans as submitted. Motion carried 7-0.

**5. Review and act on a request by Daniel and Judy Quigley at 15030 Westover road for a building alteration.**

Dan Johnson, the builder, was present before the board.

Mr. Liechty asked if the opening was expanding to the West only. Mr. Johnson said yes.

Mr. Liechty asked for clarification on the dimensions on the submitted plans and asked if there would be enough space for an 18" shutter. Mr. Johnson stated that the shutters would be narrower and stated that they can be eliminated since they will not be the same size as the other shutters on the home.

Mr. Liechty asked if the trim color is the same as the rest of the house. Mr. Johnson said yes.

Mr. Liechty asked if the window will have divided lites. Mr. Johnson said yes.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve plans with the modification that the shutters will be eliminated and with the notation that the window will have divided lites. Motion carried 7-0.

Mr. Domaszek recused himself from the meeting at 5:54 p.m.

**6. Review and act on a request by Linda and Ben Bolton at 13700 Watertown Plank Road for a monument property entrance feature.**

Linda and Ben Bolton were present before the board.

Mr. Liechty asked how far back from the pathway the monument would be located. Ms. Bolton said about five feet back and said she wanted it far enough back so that it would not be knocked over by the snow plows. She stated it would be incorporated with the landscaping.

Mr. Liechty asked if there will be any power to the monument. Ms. Bolton stated that they will not have any power but may install a small solar light above the house numbers.

Mr. Liechty asked if the brick would match the home. Ms. Bolton said yes.

Mr. Liechty motioned to approve the plans with the notation that the monument will be located five feet off the walking path. Mr. Schoenecker seconded.

Mr. Matola asked if they would need to resubmit plans. Mr. Harrigan said no, that the notation will be made on the survey.

Motion carried 6-0.

Mr. Domaszek rejoined the meeting at 5:57 p.m.

### **7. Review and act on a request by John and Mary Riemer at 14325 Hillside Road for a retaining wall.**

Mary Riemer was present before the board.

Mr. Olson stated that the board was not sure if a fence would be required with the retaining wall. Mr. Harrigan stated that the building inspector would be reviewing it.

Mr. Matola stated that the intent was to create as much usable yard space as possible and that it appears the wall will need to be five feet at its highest point.

Ms. Riemer stated that if they had kept the wall under four feet that they would lose a large portion of the yard space.

Mr. Matola stated that they may need a fence if any portion of the wall is over three feet.

Mr. Domaszek stated that an engineer would be required if the retaining wall was four feet or higher.

Mr. Liechty asked if there was going to be new paving. Ms. Riemer said yes, that they will be replacing the existing patio. Mr. Liechty asked about impervious surface requirements. Mr. Harrigan stated that the applicant would need to come back when the patio plans were finalized and they could look at the impervious surface calculations.

Mr. Liechty asked if the three yard drains were going to remain. Ms. Riemer stated that she believed new drains were going to be installed. Mr. Liechty stated that the plans indicated a swale but not a drain. Ms. Riemer stated that she and her husband were concerned about water drainage and will clarify with the landscaper whether or not new drains will be added.

Mr. Matola asked for clarification on what the board would need to approve. Mr. Domaszek stated that the board can approve a wall up to four feet in height but anything above that would need to have an engineer design the plans.

Ms. Riemer asked if they decided to do two tiers, would each wall have to be four feet. Mr. Liechty said that they could have two walls at two feet each.

Ms. Riemer asked how much space they would need to have between the two walls. Mr. Liechty said three feet.

Mr. Olson stated that the board was just approving the aesthetics. Mr. Domaszek stated that the ordinance states the building board also approves structural integrity. Mr. Olson said he was not sure that the board had ever reviewed structural integrity and that possibly they could approve it contingent on the approval of a structural engineer.

Ms. Reimer stated that she would like to go back and confer with her landscaper to see what the options were.

Mr. Domaszek said that the board can still vote on the submitted plans and if the applicants do decide to change, they can resubmit to Mr. Harrigan.

Mr. Matola motioned and Mr. Schoenecker seconded to approve plans on the condition that any portion of the wall exceeding four feet in height will be designed by a structural engineer and if the applicants decide to use two tiers, each wall will not exceed four feet.

Ms. Riemer asked to confirm that if they decide to tier the walls they do not need to resubmit for approval. Mr. Olson said yes.

Motion carried 7-0.

**8. Review and act on a request by Richard and Rosalind Wakefield at 15240 Cascade Drive for an accessory structure (garage).**

Rosalind Wakefield was present before the board.

Ms. Wakefield presented sample colors and materials.

Mr. Domaszek and Mr. Schoenecker asked for confirmation that the siding will match the style and color of the house. Ms. Wakefield said yes.

Mr. Liechty and Mr. Matola voiced concerns that the covered portico roof would not match the existing pitch of the roof of the home. Ms. Wakefield asked if an arbor connecting the garage to the house would work better instead. Mr. Harrigan said he did not believe that would meet the requirements that the garage have a covered attachment to the house.

Mr. Matola and Mr. Olson agreed that a flat roof on the portico would be preferable. Ms. Wakefield said that would be fine.

Mr. Matola confirmed with Mr. Harrigan that the garage met all the village requirements. Mr. Harrigan said yes it needs to be covered and attached to the home. A detached garage would need a variance.

Mr. Liechty asked if the new garage door will match the existing door. Ms. Wakefield said yes.

Mr. Liechty asked if the lighting would be consistent with the rest of the home. Ms. Wakefield said yes that they will match the lights on the front of the house.

Mr. Matola motioned and Ms. Steindorf seconded to approve the plans noting that the siding will match the existing siding on the home and that the covered portico would have a flat roof. Motion carried 7-0.

### **9. Other Business**

Mr. Harrigan distributed the proposed 2017 meeting calendar to the board.

Board discussed possible dates for a Christmas party.

### **10. Adjournment**

Mr. Schoenecker motioned and Mr. Matola seconded to adjourn the meeting. Motion carried 7-0.

Meeting adjourned at 6:37 p.m.

Respectfully Submitted,

Carey Nelson  
Administrative Assistant

FOR: BARENZ BUILDERS RE:ZOSEL  
 LEGAL DESCRIPTION: Lot 12, Block A, ELM GROVE HIGHLANDS, part of the NW & NE 1/4's of the NE 1/4 Section 23, Town 7 North, Range 20 East, City of Brookfield & Village of Elm Grove, Waukesha County, Wisconsin.  
 Bench Mark 810.61 (USGS) Top of concrete monument found at the northwest corner of the Northeast 1/4 of Sec. 23-7-20.  
 Iron pipes found. No pipes set as part of survey.  
 REFERENCE BEARING: West line of Northeast 1/4 of Section 23-7-20 platted as Due South.  
 NO TITLE POLICY FURNISHED THEREFORE COMPLETENESS OF LEGAL DESCRIPTION AND EASEMENTS ARE NOT WARRANTED

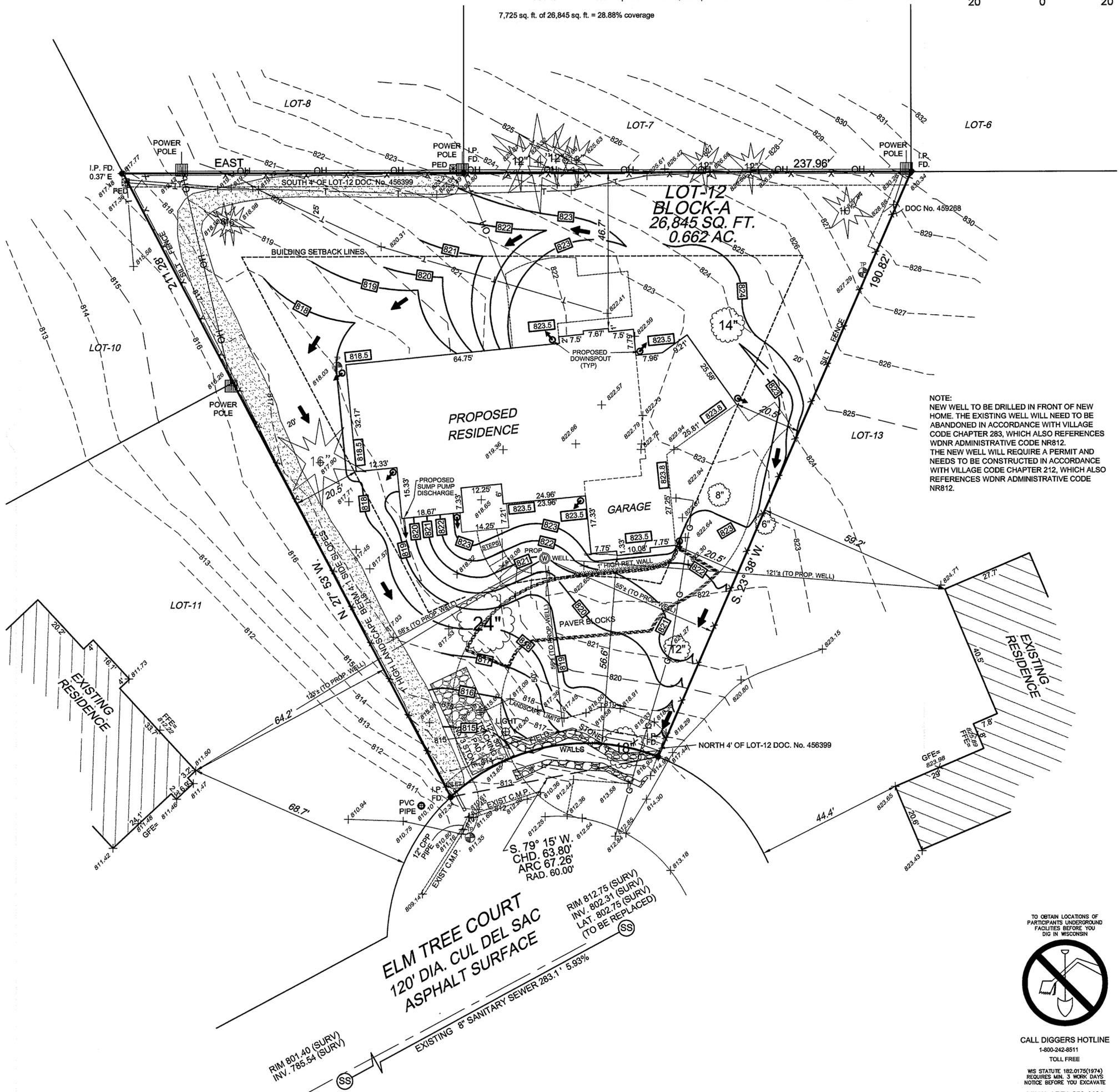
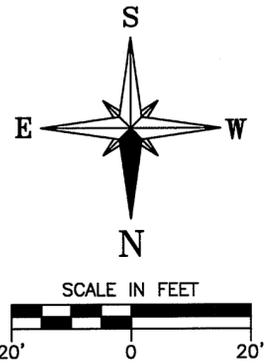
suggested grades

FIRST FLOOR: 825.8  
 TOP OF FOUNDATION: 824.2

**AREA CALCULATION:**

PROPOSED RESIDENCE 5,054 sq. ft.  
 DRIVE 2,705 sq. ft. OF WHICH 1,210 sq. ft. IS PAVER BLOCKS  
 STOOP 175 sq. ft.  
 FRONT WALK 151 sq. ft.  
 REAR WALK & PATIOS 772 sq. ft.  
 TOTAL 8857 sq. ft. OF WHICH 7,725 sq. ft. IS CONSIDERED FOR AREA COVERAGE.

7,725 sq. ft. of 26,845 sq. ft. = 28.88% coverage



STATE OF WISCONSIN  
 COUNTY OF WAUKESHA  
 We Jahnke & Jahnke Associates Inc. do hereby certify that we have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof.  
 JOHN W. JAHNKE, Wis. Reg. No. S-917

REVISION DATE: 9-15-16  
 REVISION DATE: 10-6-16 (REVISED GRADING PLAN, ADD WELL, DOWNSPOUTS, PUMP DISCHARGE & BERM)  
 REVISION DATE: 10-26-16 (COMMENTS)  
 REVISION DATE: 10-27-16 (PROPOSED IMPROVEMENTS)

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.  
 Contact Diggers Hotline, Inc., Etc.

**PLAT OF SURVEY/GRADING PLAN**  
 FOR: BARENZ BUILDERS RE:ZOSEL  
 LOT-12 BLOCK-A ELM GROVE HIGHLANDS  
 VILLAGE OF ELM GROVE, WAUKESHA COUNTY, WISCONSIN

**JAHNKE & JAHNKE ASSOCIATES INC.**  
 PLANNERS & PROFESSIONAL ENGINEERS  
 711 W. MORELAND BLVD.-WAUKESHA, WI. 53188  
 TEL.No.(262) 542-5797 FAX (262) 542-7698 (E-MAIL pmuehl@jahnkeandjahnke.com)

SCALE: 1"= 20'	DATE: MAY 6, 2016
DRAWN BY: P.M.	CHECKED BY: J.W.J.
BOOK NO.: BROOKFIELD-62 pg 25	FILE NO.: BROOKFIELD-470
16-04-042	SHEET 2 OF 2

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WS STATUTE 182.0175(1974)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

FILE NAME: S:\PROJECTS\BROOKFIELD 470\*.dwg

October 20, 2016

Mr. Thomas Harrigan  
Zoning and Planning Administrator  
Village of Elm Grove  
13600 Juneau Boulevard  
Elm Grove, WI 53122-0906

Re: 2075 Elm Tree Court  
Redevelopment Plan Review

Dear Mr. Harrigan:

As requested, we have reviewed the documents submitted to the Village for the construction of a new single family home at 2075 Elm Tree Court. These documents were submitted to meet the requirements of the Village Code. A site visit was held before our review of the application to demolish the existing home on August 31, 2016 with yourself, Richard Paul and I in attendance. Our findings and recommendations for various utility, grading, and restoration elements of the proposed new construction are as follows:

1. The following information must be added to the Plat of Survey:
  - a. Proposed garage floor elevation.
  - b. Label the existing sanitary sewer main as an 8-inch diameter pipe in accordance with record drawing.
  - c. Distances from proposed well to adjacent structures and lot lines.
  - d. Direction of discharge from proposed downspouts.
  - e. Proposed sanitary lateral, gas, electric and telephone utilities that will serve the new home.
  - f. Impervious area calculations of the existing site development and as proposed.

2. Sanitary Lateral:

Record drawings indicate the property is served by an existing 8-inch diameter clay sanitary sewer located within the public right-of-way with the lateral for this property connected to the dead end sanitary manhole. The demolition application indicates the sanitary sewer lateral will be replaced with a new PVC lateral. Since the existing lateral is connected to the manhole, a new lateral connection will be required. The new lateral

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Re: 2075 Elm Tree Court Redevelopment Plan Review  
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connection may be made anywhere along the sewer main except the new lateral may not be directly connected to the sewer manhole or within 5 feet of the manhole structure.

Per Section 232-8 of the Village Code, the existing sanitary lateral will need to be severed from the main and a watertight seal placed at the main connection. The abandonment will need to be inspected and tested to the satisfaction of the Director of Public Works.

The new sanitary lateral will need to be separated from the new potable well in accordance with WDNR Administrative Code NR812, which prescribes differing separation distances depending upon the pipe material used for the lateral.

Cement slurry backfill will be required for excavations under the road pavement with pavement replacement in kind.

3. Water: The Plat of Survey shows a new well to be drilled in front of the new home. The existing potable well will need to be abandoned in accordance with Village Code Chapter 283, which references WDNR Administrative Code NR812.

The new well will require a permit and needs to be constructed in accordance with Village Code Chapter 212, which also references WDNR Administrative Code NR812.

4. If there is a delay between demolition of the existing home and construction of a new home, then a barrier fence should be installed around any open excavation.
5. Erosion Control:

The Erosion Control plan provided with the demolition application shows silt fence to be installed around the perimeter of the property. The silt fence cannot be installed within the public right-of-way and should be moved south to the property line.

A 30-foot long tracking pad consisting of 3-inch breaker run stone in the new driveway near the road must be added to the Erosion Control plan.

If any disturbance is necessary in the public right-of-way, then temporary manufactured erosion log ditch checks and/or other perimeter control devices other than silt fencing conforming to DNR Technical Standards 1062 and/or 1071, respectively must be used downstream across un-stabilized ditches and swales. This item can be addressed in the field by Village Staff.

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All erosion controls must be in place prior to beginning land disturbing activities.

6. Driveway Culvert:

The existing driveway culvert is assumed to be left in place. During our site visit it was determined that the existing culvert is in fair condition but may need to be replaced due to construction traffic.

If the existing culvert pipe is replaced, then details of the replacement will need to be coordinated with Village Staff. The Village Department of Public Works will install a new culvert at the property owner's expense and complete any necessary ditch grading work. If a new culvert is necessary, the applicant will need to schedule the installation with the Village and stake the culvert location in the field.

7. Storm Drainage/Grading:

Existing topography of the property generally slopes toward the northeast.

Impervious area calculations and gross lot size were not provided with the submittal. It is unknown if the proposed redevelopment plan meets building footprint and impervious area limitations set by Chapter 335 of the Village Code.

The Plat of Survey shows the proposed driveway having slopes in excess of 14% and up to 20% in one location. Driveways with slopes greater than 10% are considered steep and in general undesirable. The applicant should consider revising the grading plan to make driveway slopes more desirable.

The Plat of Survey shows the proposed sidewalk leading up to the front door having a slope of 20%. Sidewalk ramps as defined by ADA are typically limited to a slope of 8.33% (1:12). ADA accessible sidewalk runs are limited to a 5% slope unless proper landings are provided. Even though revisions may not make the sidewalk ADA accessible, the applicant should consider revising the grading plan to make the sidewalk slope more desirable.

Topographic contours show that storm water runoff from the southwest part of the lot is directed onto the neighboring property to the west. Since the proposed redevelopment is likely to direct more runoff toward the neighboring property than under existing conditions, the grading plan must be revised to keep storm water runoff on the applicant's property.

The Plat of Survey shows a swale to be constructed around the south side of the proposed house directing storm water runoff toward the east. The Plat of Survey also

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shows a landscape berm will be constructed along the east property line. The grading plan must be revised to show the height of the berm will be adequate to intercept the runoff from the swale and direct the flow to the Elm Tree Court right-of-way. The berm will also need to be extended at both ends so that runoff does not flow onto the neighboring property. An inlet should be provided between the two driveways to allow the runoff to enter the culvert rather than flow across the neighboring driveway.

The Plat of Survey shows some proposed contours having slopes that are 3:1. We recommend vegetated slopes be 4:1 slope or flatter to make initial restoration and future maintenance by the home owner easier. Therefore, we recommend the grading plan be revised to provide slopes that are 4:1 or flatter when possible.

8. Sump Pump Discharge: Section 212-23 of the Village Code states all sump pumps discharging clear water shall discharge at least three feet out from the building. The preferred location of the sump discharge pipe shall be to the front of the building when practicable. The Plat of Survey shows a sump pump discharge directed toward the east lot line. We recommend the proposed sump pump discharge line be redirected toward the cul-de-sac.
9. House Setback: The Plat of Survey shows the proposed new home will meet minimum setback requirements for front, side and rear yards for RS-1 zoning.
10. House Grade:

The Plat of Survey shows the first floor elevation of the new house will be at elevation 825.8. The first floor elevation of the new home:

- is approximately 1.7 feet higher than the first floor elevation of the existing home on the lot.
- is approximately 13.5 feet higher than the edge of pavement in the cul-de-sac.
- is approximately level with the first floor elevation of the neighboring home to the west.
- is approximately 13.5 feet higher than the first floor elevation of the neighboring home to the east.

The first floor elevation is set at an elevation that will provide a 7 foot lower-level exposure on the east side of the new home. The first floor elevation may need to be lowered to resolve sidewalk/driveway slope and drainage issues discussed in other comments. Regardless, the Building Board will need to review the house grade from an aesthetic point of view.

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11. Landscaping: A landscape plan will need to be submitted to the Village at a later date as required by Village Code.

Based upon the above issues, we recommend the Plat of Survey and Erosion Control plan be revised and resubmitted before it is approved by the Village. Please contact our office with any questions regarding this matter. Thank you for allowing us to be of service to the Village of Elm Grove.

Very truly yours,

RUEKERT & MIELKE, INC.



Anthony D. Petersen, P.E. (WI, IA)  
Senior Project Manager  
[apetersen@ruekert-mielke.com](mailto:apetersen@ruekert-mielke.com)

ADP:crp  
cc: David De Angelis, Village of Elm Grove  
Richard Paul, Jr., Village of Elm Grove  
File

GENERAL NOTES:

1. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL GENERAL AND SPECIFIC REQUIREMENTS
2. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED, NOTIFY ARCHITECT IMMEDIATELY, FOR WRITTEN CLARIFICATION.
3. EACH SUB-CONTRACTOR SHALL CAREFULLY EXAMINE DRAWINGS AND SITE PRIOR TO BIDDING TO ASCERTAIN EXTENT OF NEW CONSTRUCTION REQUIRED. EXISTING CONDITIONS ARE SHOWN BASED ON ORIGINAL DRAWINGS AND FIELD OBSERVATIONS AND MAY VARY. ANY DISCREPANCIES FOUND IN THE DRAWINGS OR EXISTING CONDITIONS ARE TO BE REPORTED TO HOM\_DEZIGN LLC IMMEDIATELY. ALL DISCREPANCIES WILL BE CLARIFIED IN WRITING.
4. IT SHOULD BE UNDERSTOOD BY ALL CONTRACTORS THAT THE OLD CONSTRUCTION MAY NOT BE COMPLETELY SQUARE, PLUMB OR TRUE, AND THAT ALL DIMENSIONS SHALL BE FIELD-VERIFIED AND ADJUSTED AS REQUIRED. FAILURE TO DO SO WILL IN NO WAY RELIEVE CONTRACTOR OF COMPLETING HIS WORK ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS AT NO ADDITIONAL COST. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL REQUESTS FOR INFORMATION, INTERPRETATION, INTENT, ETC. MUST BE MADE AT LEAST (1) DAYS PRIOR TO BID DUE DATE. RESPONSES WILL BE CONFIRMED IN WRITING. HOM\_DEZIGN LLC. WILL NOT BE RESPONSIBLE FOR FOR ANY VERBAL INFORMATION.
6. VERIFY ALL DIMENSIONS AND UTILITY REQUIREMENTS OF ALL EQUIPMENT SUPPLIED BY OWNER PRIOR TO CONSTRUCTION RELATED TO THE PLACEMENT OF THE OWNERS EQUIPMENT. NOTIFY HOM\_DEZIGN LLC. OF DISCREPANCY PRIOR TO CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME KNOWLEDGEABLE OF THE CONSTRUCTION REQUIREMENTS OF THE OWNER AND/OR OPERATOR. ALL CONDITIONS RELATIVE TO THE CONTRACTOR COMPLETING WORK WITHIN THE BUILDING TIME FRAME MUST BE ADHERED TO.
8. ALL WORK IS TO BE COMPLETED USING GOOD AND ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF MATERIALS ARE NOT SPECIFIED AND SPECIFICS ARE REQUIRED, THE CONTRACTOR MAY SUGGEST MATERIALS TO THE OWNER AND THE DESIGNER FOR THEIR REVIEW AND APPROVAL. THE GENERAL CONTRACTOR HAS THE RIGHT AND RESPONSIBILITY TO REJECT WORK OR MATERIALS THAT DO NOT CONFORM TO THE INTENT OF THE PROJECT OR ARE NOT ACCEPTABLE QUALITY.
9. CONTRACTORS WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.
10. CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS INCLUDED WITHIN THE LIMITS OF THEIR CONTRACT. INCLUDE ALL LABOR TAXES, PERMIT FEES, MATERIALS, BLOCKING, EQUIPMENT, AND/OR ITEMS REQUIRED FOR THEIR COMPLETION.
11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE OWNER/ CONSTRUCTION MANAGER AND OTHER CONTRACTORS. WORK BY ANOTHER CONTRACTOR WHICH WOULD CHANGE OR ALTER WORK OF THE CONTRACTOR IN ANY WAY OR WHICH WOULD PREVENT THE CONTRACTOR FROM COMPLETING HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS MUST BE REPORT IMMEDIATELY TO HOM\_DEZIGN LLC.
12. CONTRACTORS SHALL PROVIDE SHOP DRAWINGS, MATERIALS SAMPLES, RELEVANT TECHNICAL DATA, FINISH SAMPLES, CATALOG CUTS, ETC. FOR GENERAL CONTRACTOR'S REVIEW AND ACTION PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS TO INCLUDE BUT ARE NOT LIMITED TO CABINETRY, SIGNAGE, DOORS, HARDWARE, STEEL, ETC.,
13. CONTRACTORS SHALL COORDINATE THEIR SCHEDULES WITH THE GENERAL CONTRACTOR.
14. CONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEMSELVES DAILY.
15. CONTRACTORS SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PORTIONS DAMAGES DURING CONSTRUCTION.
16. ALL CONTRACTORS SHALL GUARANTEE ALL THEIR WORK UNDER CONTRACT AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF RECEIVING OCCUPANCY.CON
17. ALL CONTRACTOR SHALL PROVIDE ALL NECESSARY INSURANCE, PROGRESS SCHEDULES, PERMITS, AND OTHER PROVISIONS REQUIRED IN ACCORDANCE WITH AIA GENERAL CONDITION OF THE CONTRACT AND FOR CONSTRUCTION AND AS REQUIRED BY OWNER.
19. EACH CONTRACTOR MUST COMPLY FULLY WITH OSHA REGULATIONS FOR CONSTRUCTION.
20. OWNER SHALL FURNISH TEMPORARY SANITARY FACILITIES, WATER, AND ELECTRICAL. GENERAL CONTRACTOR SHALL MAINTAIN THE SAME TO BE IN GOOD WORKING ORDER.
21. ALL PLUMBING, HVAC, AND ELECTRICAL WORK SHALL BE COMPLETED AS A "DESIGN/BUILD" PROCESS. THESE CONTRACTORS SHALL PROVIDE ALL DESIGN DRAWINGS, CALCULATIONS, FEES, ETC. TO SECURE ALL REQUIRED PERMITS. THEY SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS, LABOR, ETC. TO COMPLETE THEIR WORK AS SHOWN ON THEIR DRAWINGS AND AS NOTED ON ARCHITECTURAL DRAWINGS. ALLOW FOR THE COST OF COORDINATION WITH OTHER TRADES. ALL WORK SHALL MEET ALL STATE AND LOCAL CODES, ETC.



NOTE: NTS  
 "Conceptual" Rendering is for Reference Only. Please refer to Exterior Elevations for accurate depiction

**PROJECT:**  
**Zosel Residence**

**Address:**  
 2075 Elm Tree Court  
 Elm Grove, WI

**BUILDING DATA:**

First Floor	3,653 s.f.
Second Floor	1,515 s.f.
<b>Total</b>	<b>5,155 s.f.</b>
<b>Lower Level Area (fin.)</b>	<b>2,147 s.f.</b>
<b>Garage</b>	<b>1,240 s.f.</b>

**GENERAL NOTES:**

- Foundation Ht. 10'-0"
- First Floor Ht. 9'-0"
- Second Floor Ht. 8'-0"

**INDEX OF DRAWINGS**

- 1 Index of Drawings
- 2 Foundation Plan
- 3 Lower Level Plan, Stair Details
- 4 First Floor Plan
- 5 Second Floor Plan
- 6 Roof Plan
- 7 Front Elevation
- 8 Left Side & Right Side Elevations
- 9 Rear Elevation, Truss Details
- 10 Interior Elevations
- 11 Building Cross Section
- 12 Wall Sections, Details
- 13 Electrical Layout - 1st Floor
- 14 Electrical Layout - 2nd Floor
- 15 Electrical Layout - Lower Level



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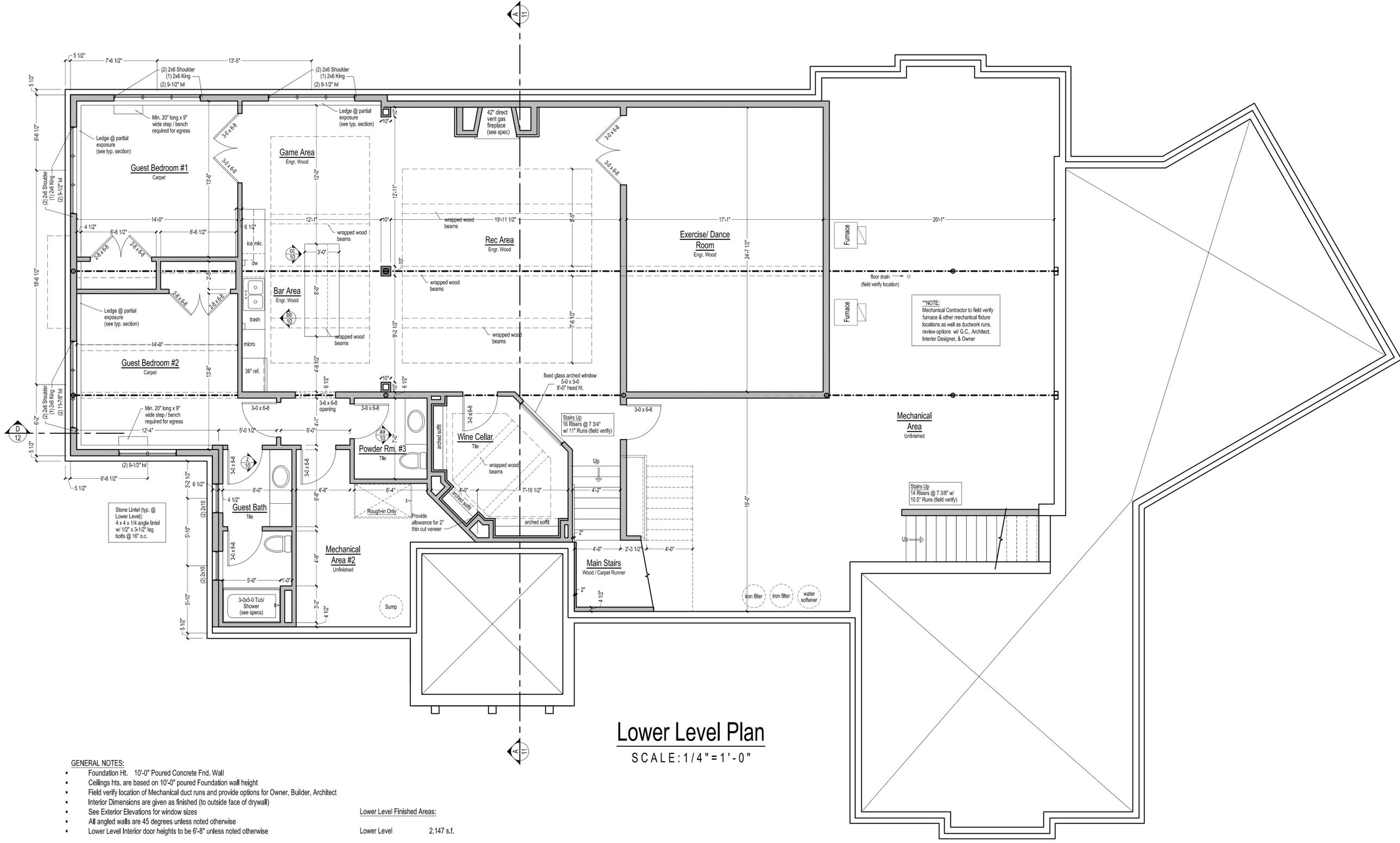
"La Bella"

PROJECT	New Residence
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**1**





- GENERAL NOTES:**
- Foundation Ht. 10'-0" Poured Concrete Fnd. Wall
  - Ceilings hts. are based on 10'-0" poured Foundation wall height
  - Field verify location of Mechanical duct runs and provide options for Owner, Builder, Architect
  - Interior Dimensions are given as finished (to outside face of drywall)
  - See Exterior Elevations for window sizes
  - All angled walls are 45 degrees unless noted otherwise
  - Lower Level Interior door heights to be 6'-8" unless noted otherwise

Lower Level Finished Areas:  
 Lower Level 2,147 s.f.

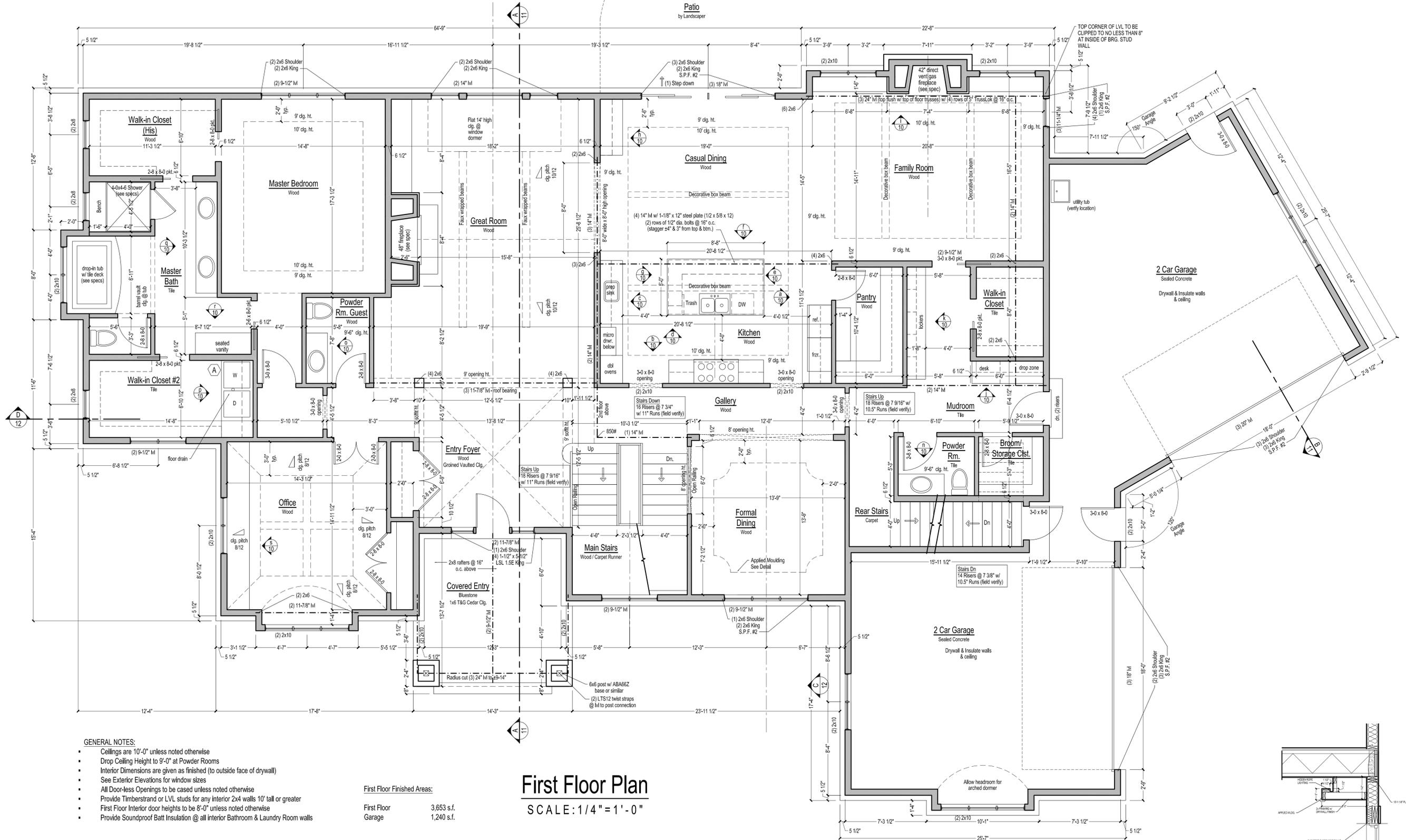
**Lower Level Plan**  
 SCALE: 1/4" = 1'-0"

**\*\*NOTE:**  
 Mechanical Contractor to field verify furnace & other mechanical fixture locations as well as ductwork runs; review options w/ G.C., Architect, Interior Designer, & Owner

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**GENERAL NOTES:**

- Ceilings are 10'-0" unless noted otherwise
- Drop Ceiling Height to 9'-0" at Powder Rooms
- Interior Dimensions are given as finished (to outside face of drywall)
- See Exterior Elevations for window sizes
- All Door-less Openings to be cased unless noted otherwise
- Provide Timberstrand or LVL studs for any interior 2x4 walls 10' tall or greater
- First Floor Interior door heights to be 8'-0" unless noted otherwise
- Provide Soundproof Batt Insulation @ all interior Bathroom & Laundry Room walls

**First Floor Finished Areas:**

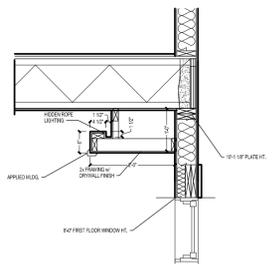
First Floor	3,653 s.f.
Garage	1,240 s.f.

**First Floor Plan**

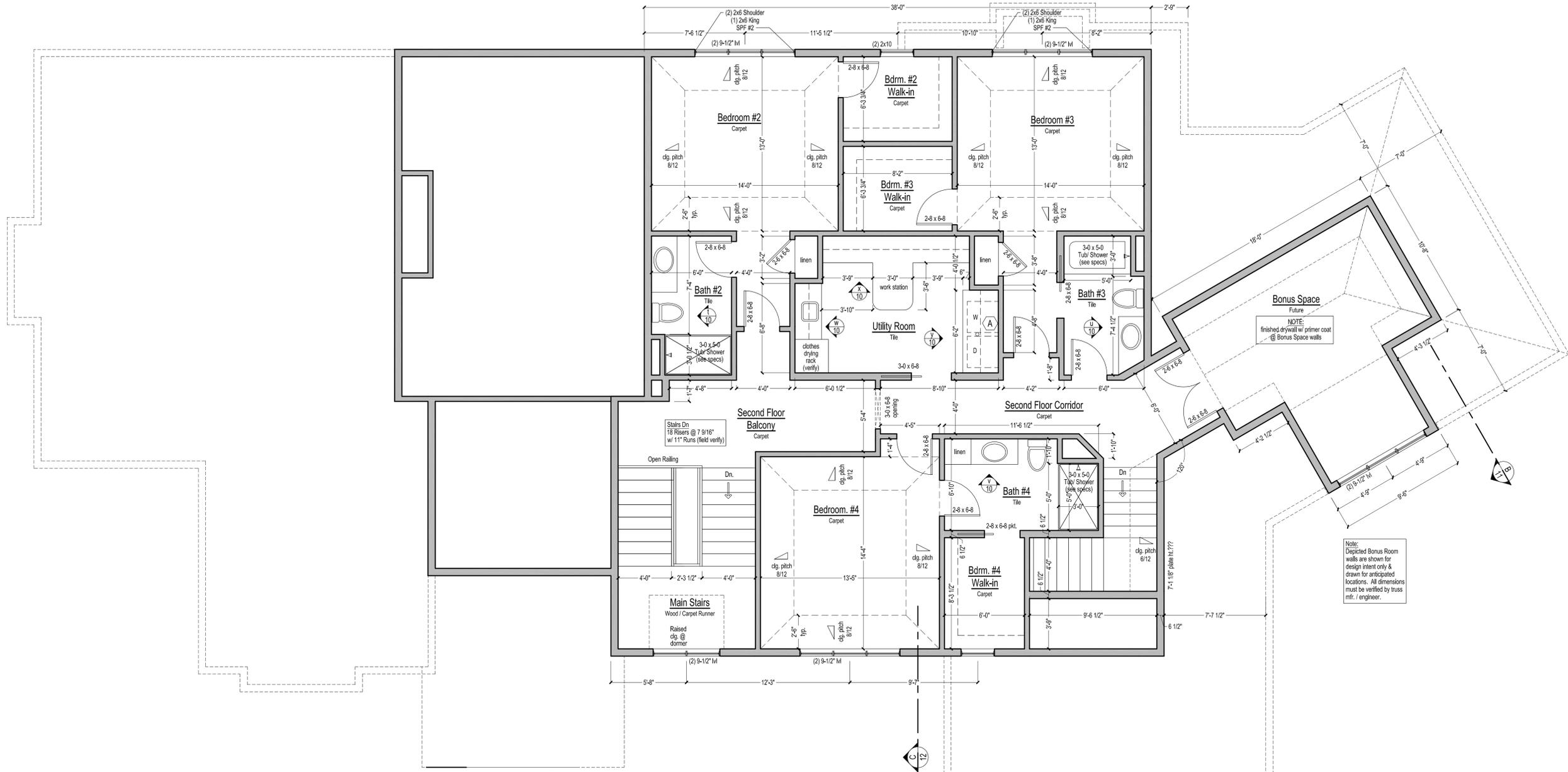
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES KEY:**

- (A) Provide "Hook-up" for Washer and Dryer as well as Floor Drain



Formal Dining Ceiling Detail (Verify)  
SCALE: 1" = 1'-0"



## Second Floor Plan

SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- Ceilings are 8'-0" unless noted otherwise
- Interior Dimensions are given as finished (to outside face of drywall)
- See Exterior Elevations for window sizes
- All Door-less Openings to be drywalled unless noted otherwise
- Provide Sound Insulation @ ALL Bedrooms & Bathrooms
- Second Floor Interior door heights to be 6'-8" unless noted otherwise

**Second Floor Finished Areas:**

Second Floor	1,515 s.f.
Bonus Room (as drawn)	258 s.f.

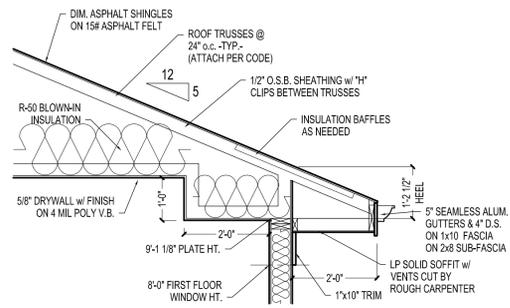
**FLOOR PLAN NOTES KEY:**

- (A) Provide "hook-up" for Washer and Dryer as well as Floor Drain

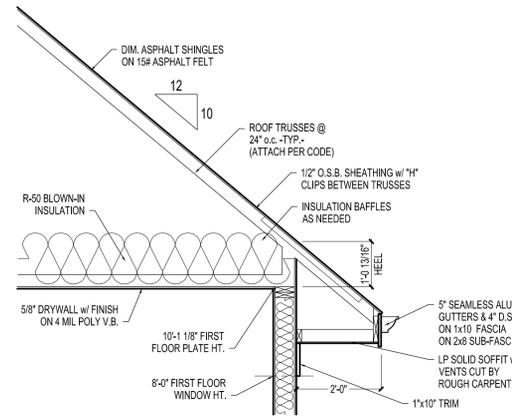
Note:  
 Depicted Bonus Room walls are shown for design intent only & drawn for anticipated locations. All dimensions must be verified by truss mfr. / engineer.

# Truss Heel Details

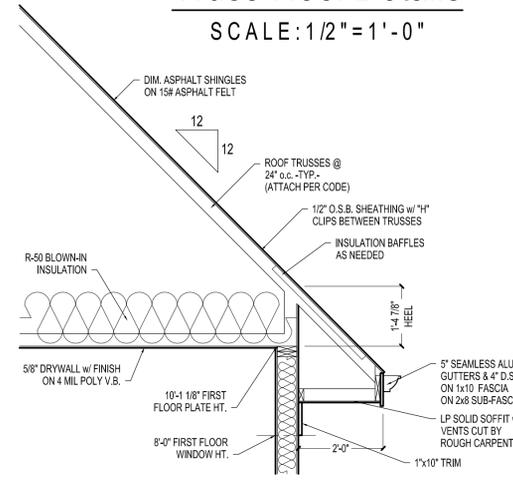
SCALE: 1/2" = 1'-0"



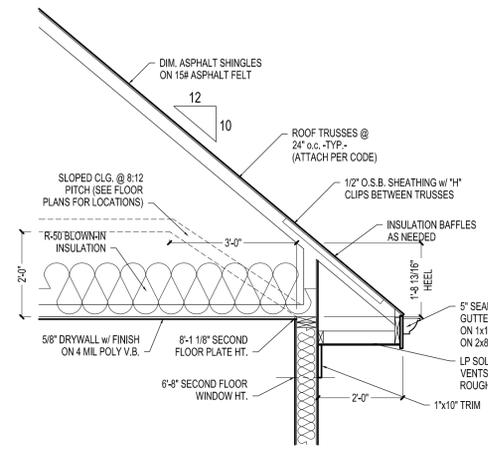
1st Floor - 5:12 Pitch  
@ Family Room



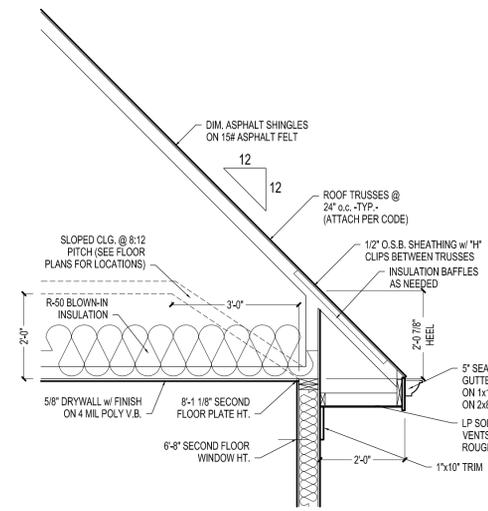
1st Floor - 10:12 Pitch



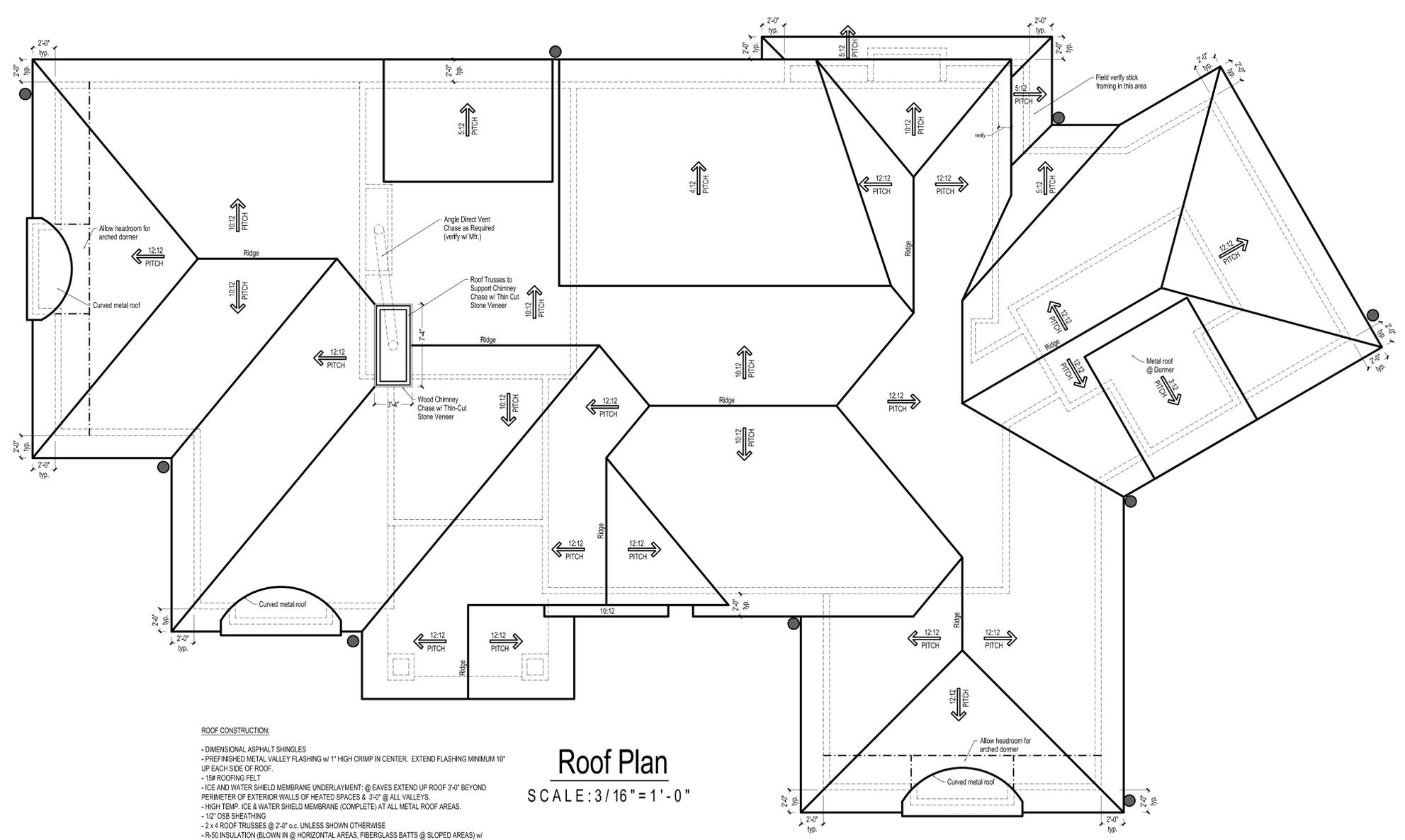
1st Floor - 12:12 Pitch



2nd Floor - 10:12 Pitch



2nd Floor - 12:12 Pitch



- ROOF CONSTRUCTION:**
- DIMENSIONAL ASPHALT SHINGLES
  - PREFINISHED METAL VALLEY FLASHING w/ 1" HIGH CRIMP IN CENTER. EXTEND FLASHING MINIMUM 10" UP EACH SIDE OF ROOF.
  - 15# ROOFING FELT
  - ICE AND WATER SHIELD MEMBRANE UNDERLAYMENT. @ EAVES EXTEND UP ROOF 3'-0" BEYOND PERIMETER OF EXTERIOR WALLS OF HEATED SPACES & 3'-0" @ ALL VALLEYS.
  - HIGH TEMP. ICE & WATER SHIELD MEMBRANE (COMPLETE) AT ALL METAL ROOF AREAS.
  - 1/2" O.S.B. SHEATHING
  - 2x4 ROOF TRUSSES @ 24" o.c. UNLESS SHOWN OTHERWISE
  - R-50 INSULATION (BLOWN IN @ HORIZONTAL AREAS. FIBERGLASS BATTS @ SLOPED AREAS) w/ VENTILATION BAFFLES @ SOFFITS. - 6 MIL VAPOR BARRIER
  - 5/8" DRYWALL.

Roof Plan  
SCALE: 3/16" = 1'-0"



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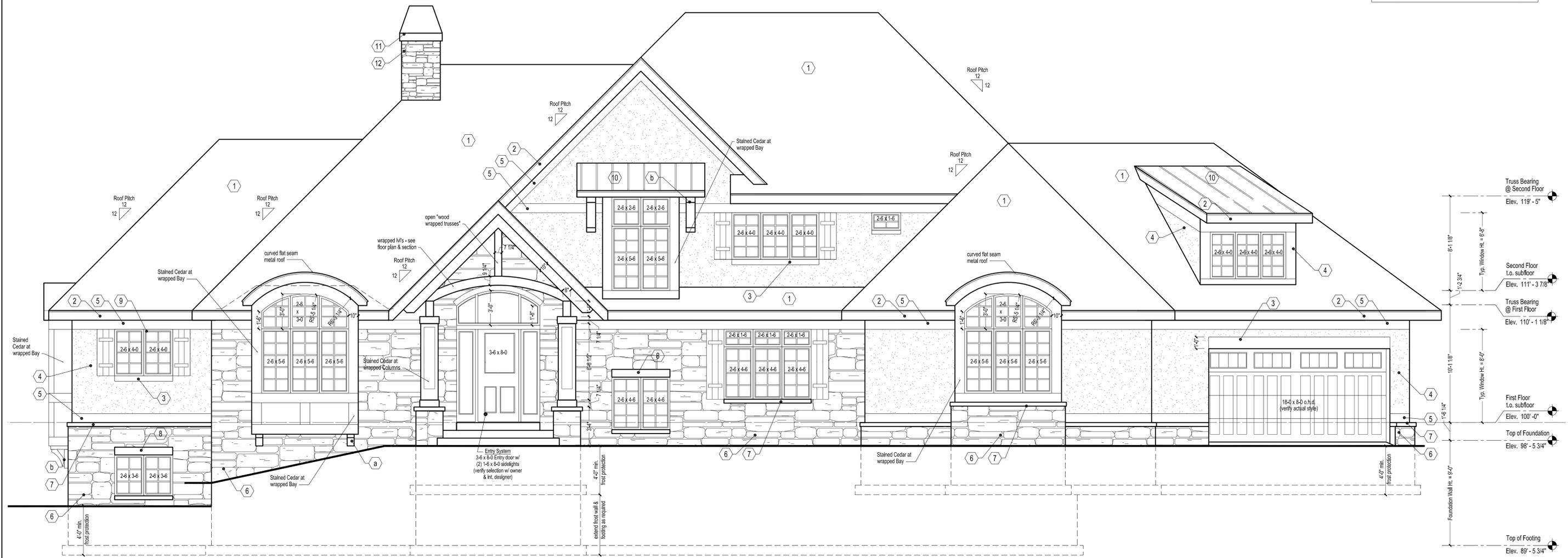
PROJECT	New Residence
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**6**

### Material Key

- ① Dimensional Asphalt Roof Shingles
- ② 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- ③ Stucco Trim (Project 1")
- ④ Masonry Stucco (over metal lath)
- ⑤ 10" Stucco Trim (Project 1")
- ⑥ 4" Stone Veneer (as selected)
- ⑦ 4" Rock Faced Bedford Stone Sill
- ⑧ 8" Bedford Stone Header
- ⑨ Metal Clad Wood Window
- ⑩ Flat Seam Metal Roof
- ⑪ Decorative Metal Shroud / Chimney Cap
- ⑫ 2" Thin Stone Veneer Over Wood Chase

\*\*\*Note: verify locations of all masonry stucco control joints (review options w/ owner, builder, architect)



**Front Elevation**  
 SCALE: 1/4" = 1'-0"

# "La Bella"

PROJECT	New Residence
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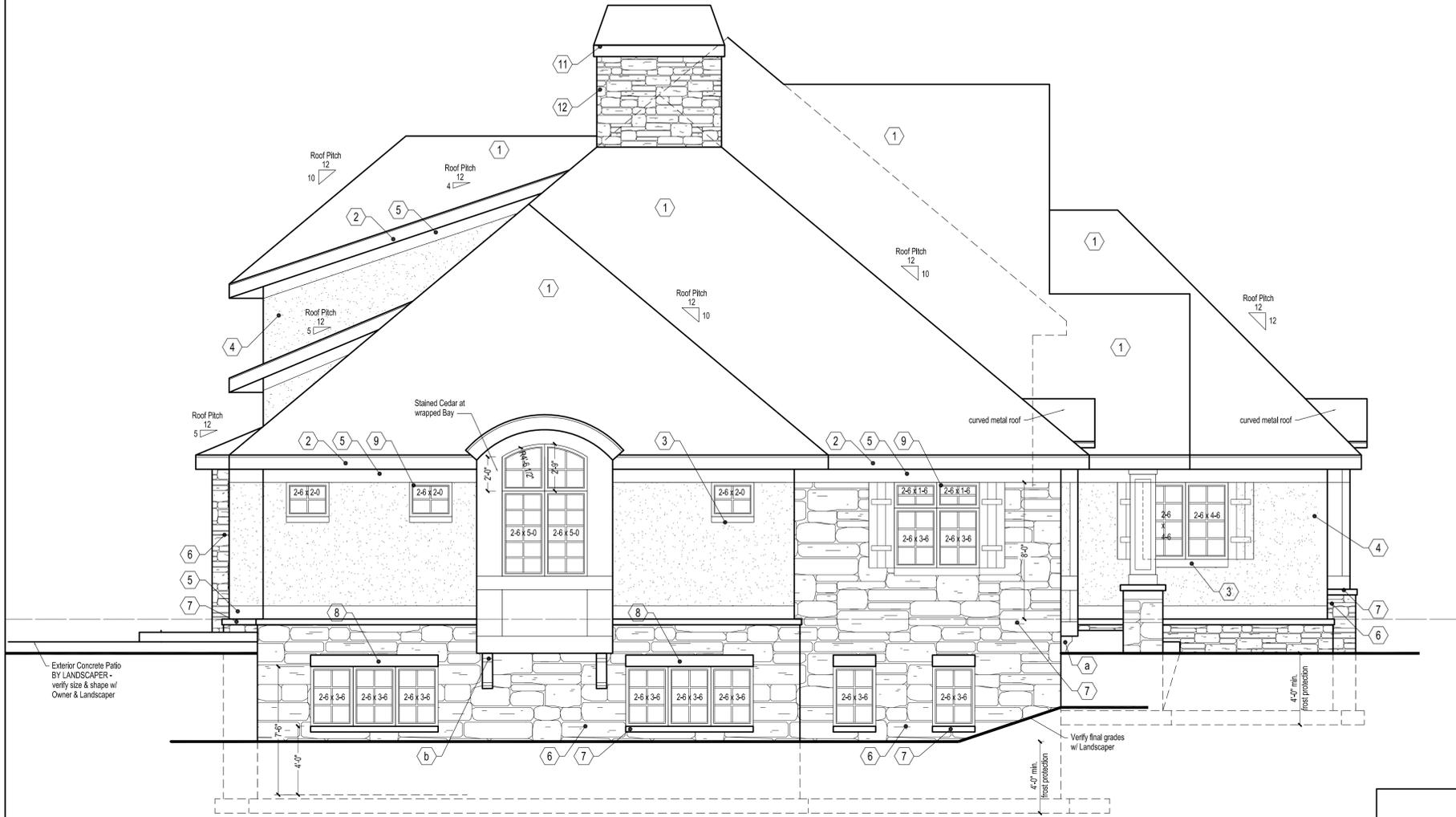
SHEET:

**7**

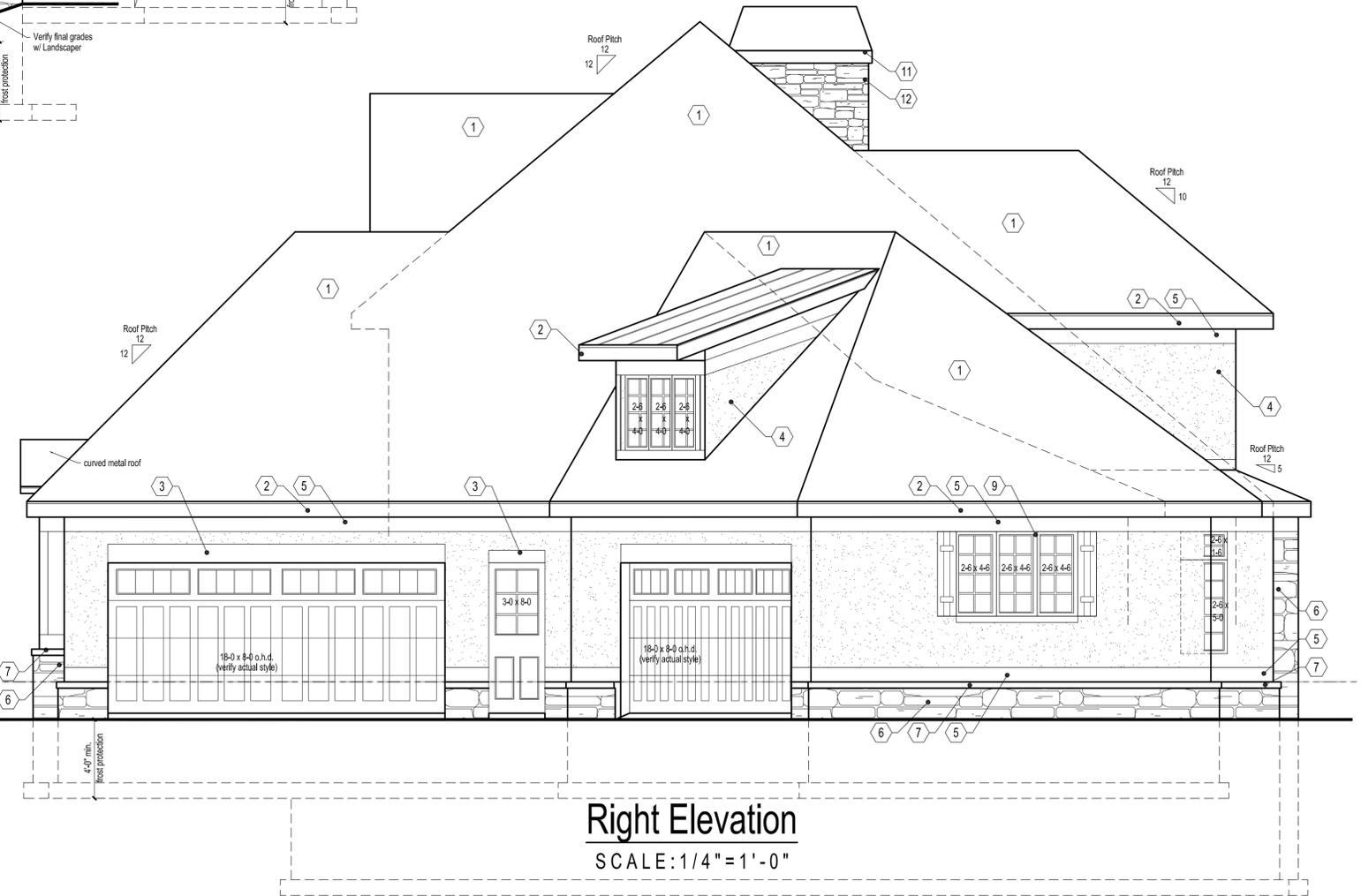
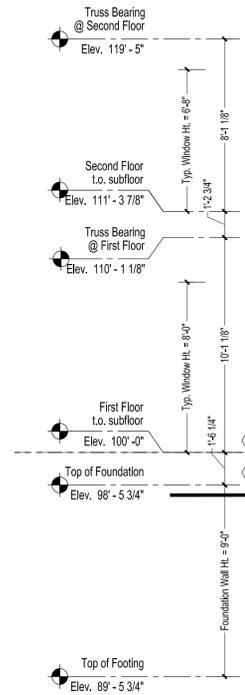
### Material Key

- ① Dimensional Asphalt Roof Shingles
- ② 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- ③ Stucco Trim ( Project 1")
- ④ Masonry Stucco ( over metal lath)
- ⑤ 10" Stucco Trim ( Project 1")
- ⑥ 4" Stone Veneer (as selected)
- ⑦ 4" Rock Faced Bedford Stone Sill
- ⑧ 8" Bedford Stone Header
- ⑨ Metal Clad Wood Window
- ⑩ Flat Seam Metal Roof
- ⑪ Decorative Metal Shroud / Chimney Cap
- ⑫ 2" Thin Stone Veneer Over Wood Chase

\*\*\*Note: verify locations of all masonry stucco control joints (review options w/ owner, builder, architect)



**Left Elevation**  
 SCALE: 1/4" = 1'-0"

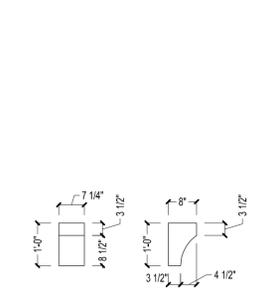


**Right Elevation**  
 SCALE: 1/4" = 1'-0"

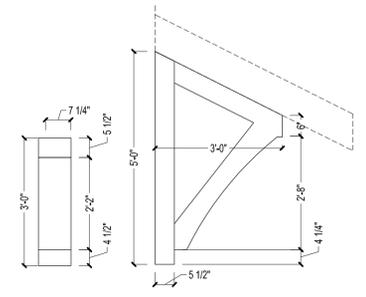
### Material Key

- ① Dimensional Asphalt Roof Shingles
- ② 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- ③ Stucco Trim ( Project 1")
- ④ Masonry Stucco ( over metal lath)
- ⑤ 10" Stucco Trim ( Project 1")
- ⑥ 4" Stone Veneer (as selected)
- ⑦ 4" Rock Faced Bedford Stone Sill
- ⑧ 8" Bedford Stone Header
- ⑨ Metal Clad Wood Window
- ⑩ Flat Seam Metal Roof
- ⑪ Decorative Metal Shroud / Chimney Cap
- ⑫ 2" Thin Stone Veneer Over Wood Chase

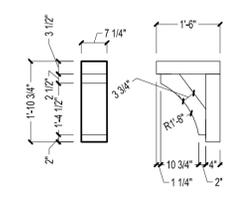
\*\*\*Note: verify locations of all masonry stucco control joints (review options w/ owner, builder, architect)



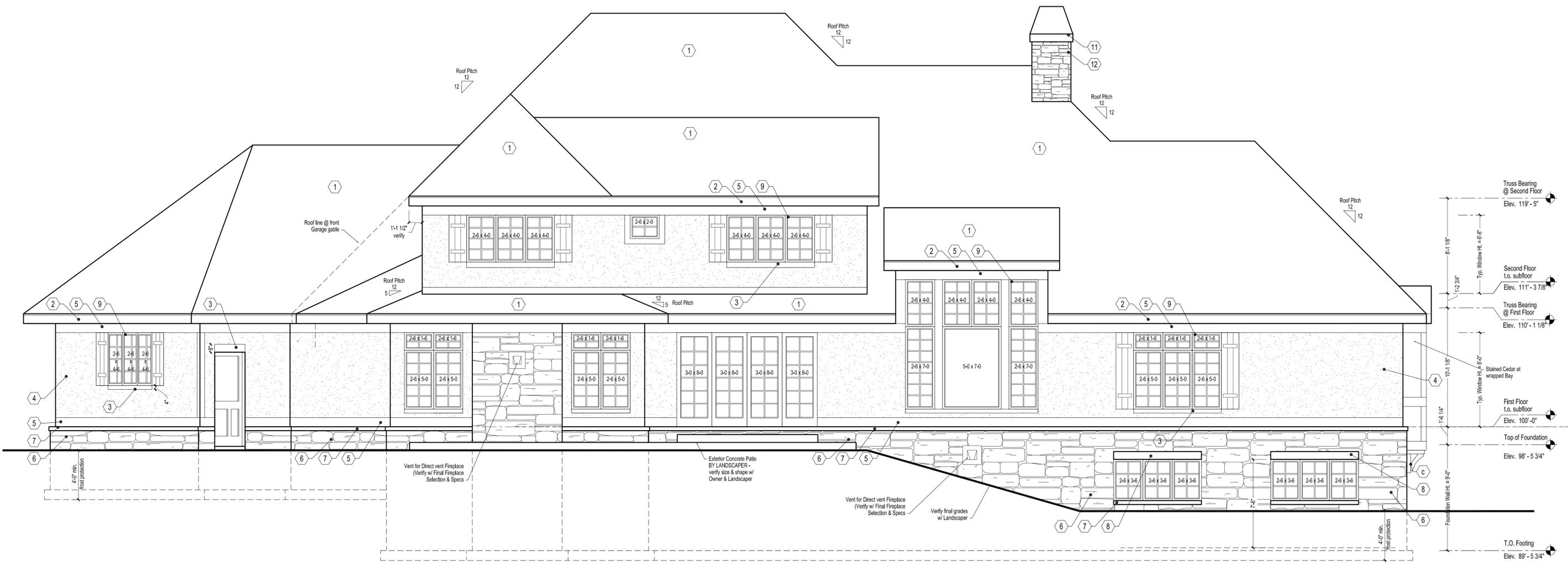
**Bracket - "a"**  
 SCALE: 1/2" = 1'-0"



**Bracket - "b"**  
 SCALE: 1/2" = 1'-0"



**Bracket - "c"**  
 SCALE: 1/2" = 1'-0"



**Rear Elevation**  
 SCALE: 1/4" = 1'-0"

# "La Bella"

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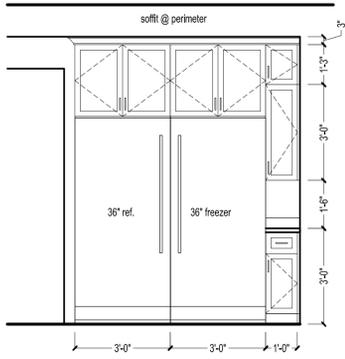
SHEET:

**9**

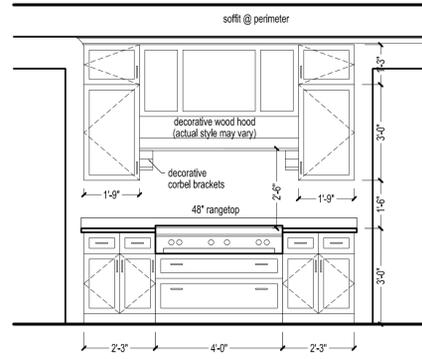


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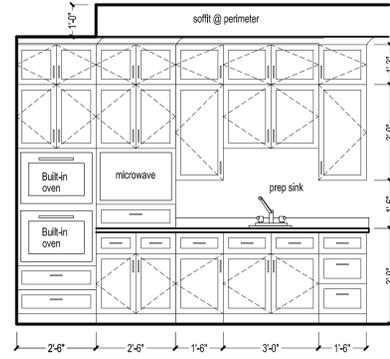
"La Bella"



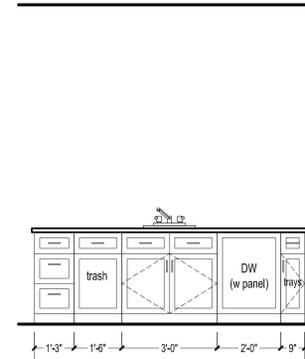
**a** Kitchen - Ref. Wall  
SCALE: 3/8" = 1'-0"



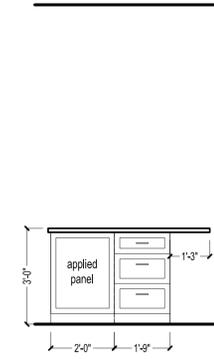
**b** Kitchen - Cooktop Wall  
SCALE: 3/8" = 1'-0"



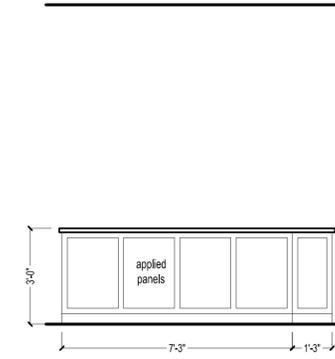
**c** Kitchen - Ovens Wall  
SCALE: 3/8" = 1'-0"



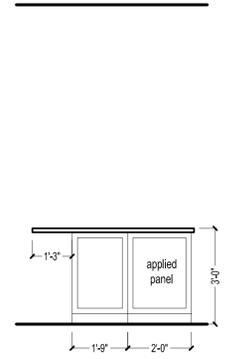
**d** Kitchen Island - Sink  
SCALE: 3/8" = 1'-0"



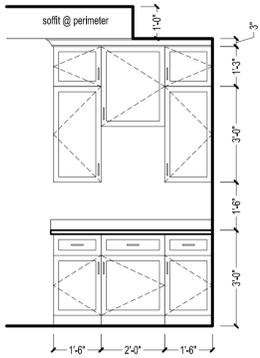
**e** Kitchen Island - Side  
SCALE: 3/8" = 1'-0"



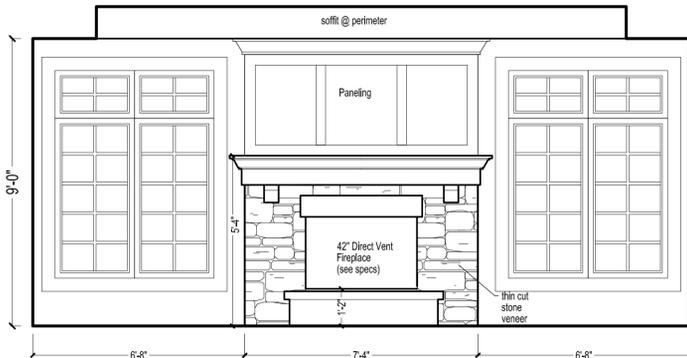
**f** Kitchen Island - Back  
SCALE: 3/8" = 1'-0"



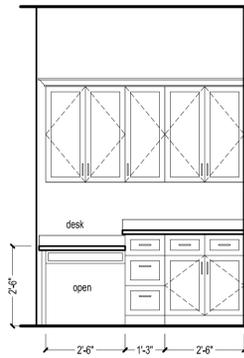
**g** Kitchen Island - Side  
SCALE: 3/8" = 1'-0"



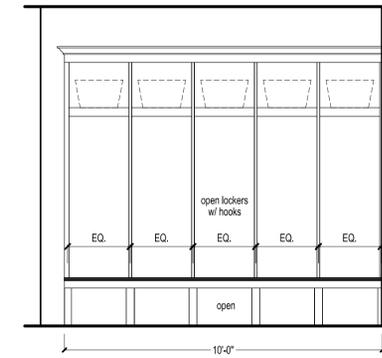
**h** Casual Dining - Dry Bar  
SCALE: 3/8" = 1'-0"



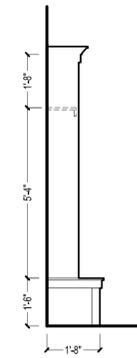
**i** Family Room - Fireplace  
SCALE: 3/8" = 1'-0"



**j** Mudroom - Drop Zone  
SCALE: 3/8" = 1'-0"



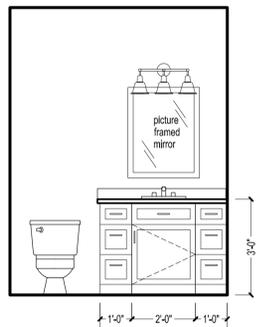
**k** Mudroom - Lockers  
SCALE: 3/8" = 1'-0"



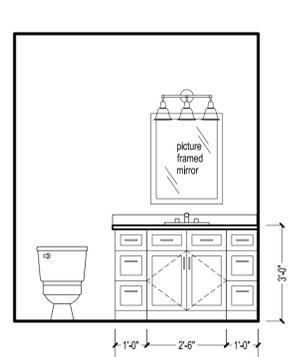
**l** Omitted



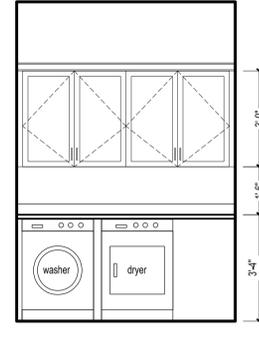
**m** Omitted



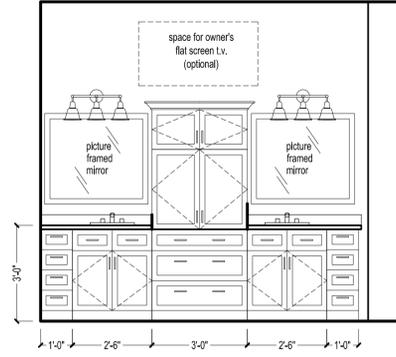
**n** Powder Room #1  
SCALE: 3/8" = 1'-0"



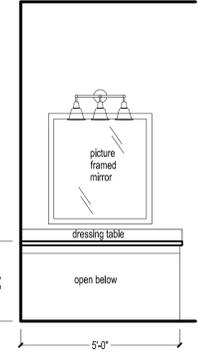
**o** Powder Room #2  
SCALE: 3/8" = 1'-0"



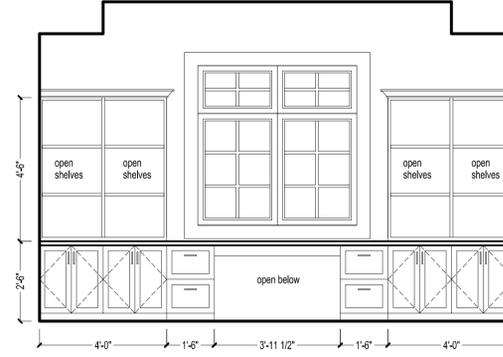
**p** WIC - Laundry  
SCALE: 3/8" = 1'-0"



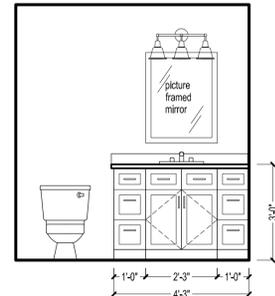
**q** Master Bath - Vanities  
SCALE: 3/8" = 1'-0"



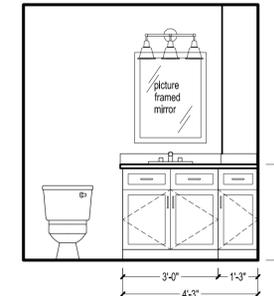
**r** Master Bath - Seated Vanity  
SCALE: 3/8" = 1'-0"



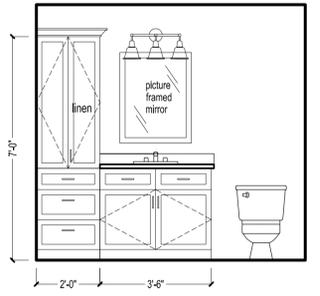
**s** Office  
SCALE: 3/8" = 1'-0"



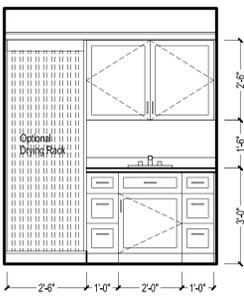
**t** Bath #2  
SCALE: 3/8" = 1'-0"



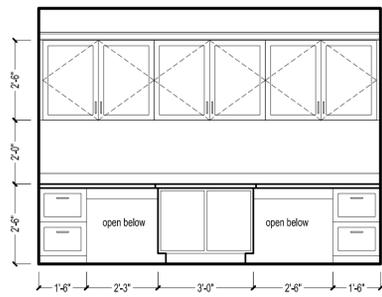
**u** Bath #3  
SCALE: 3/8" = 1'-0"



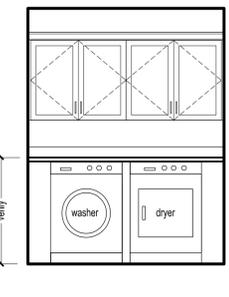
**v** Bath #4  
SCALE: 3/8" = 1'-0"



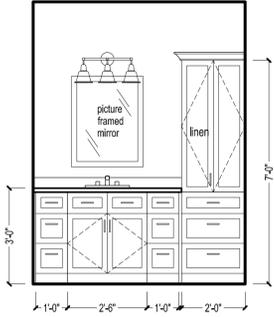
**w** Laundry #2  
SCALE: 3/8" = 1'-0"



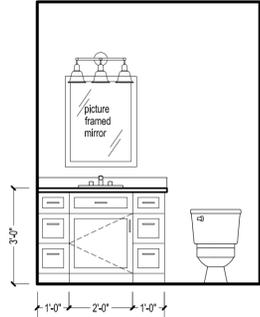
**x** Laundry #2  
SCALE: 3/8" = 1'-0"



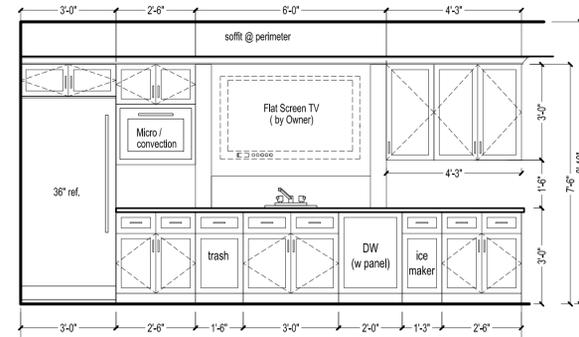
**y** Laundry #2  
SCALE: 3/8" = 1'-0"



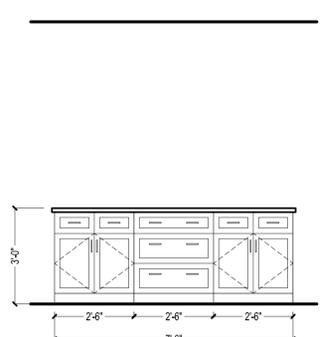
**z** Guest Bath  
SCALE: 3/8" = 1'-0"



**aa** Powder Room #3  
SCALE: 3/8" = 1'-0"



**bb** Lower Level Bar  
SCALE: 3/8" = 1'-0"



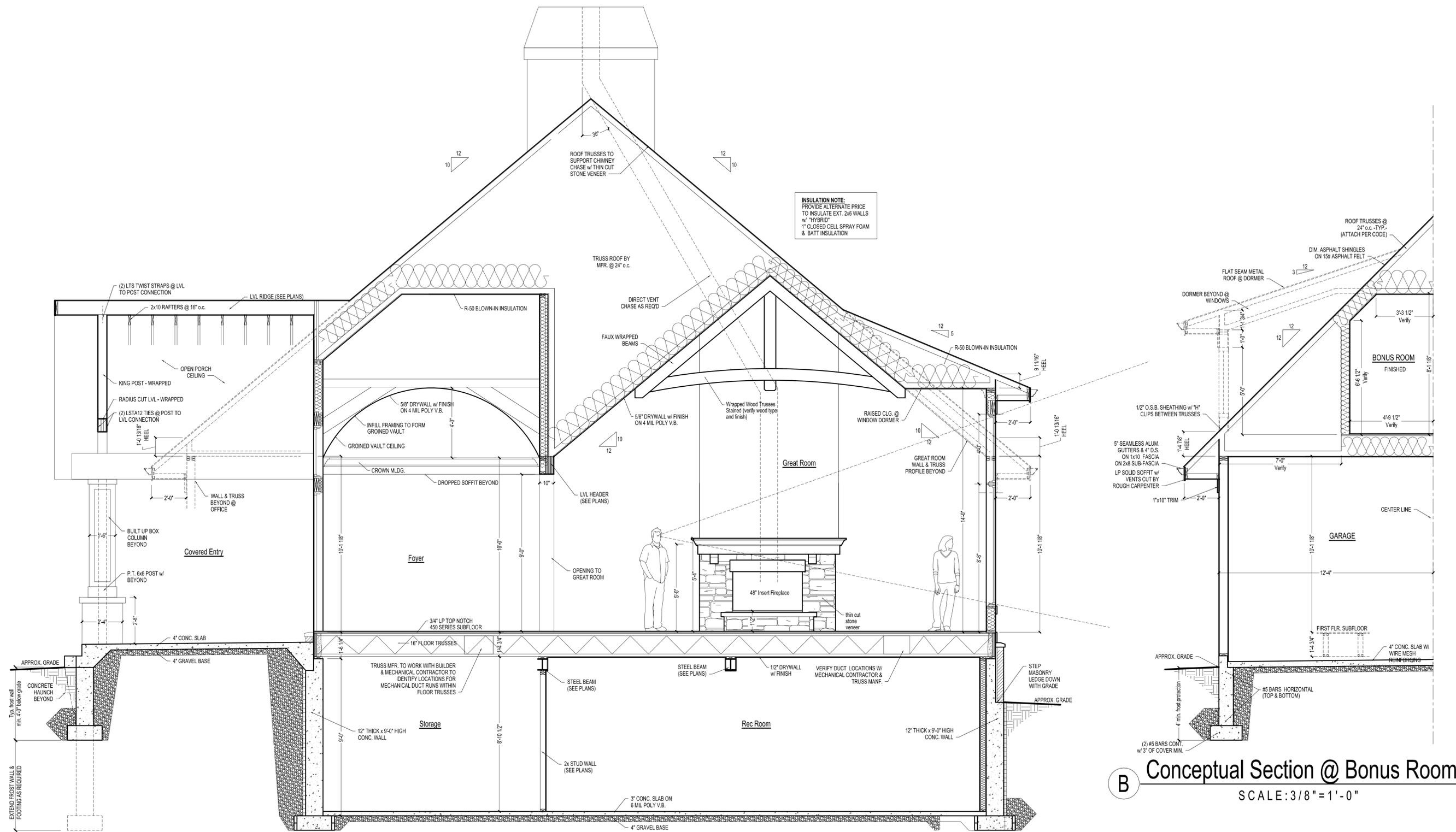
**cc** Lower Level Bar - Island  
SCALE: 3/8" = 1'-0"

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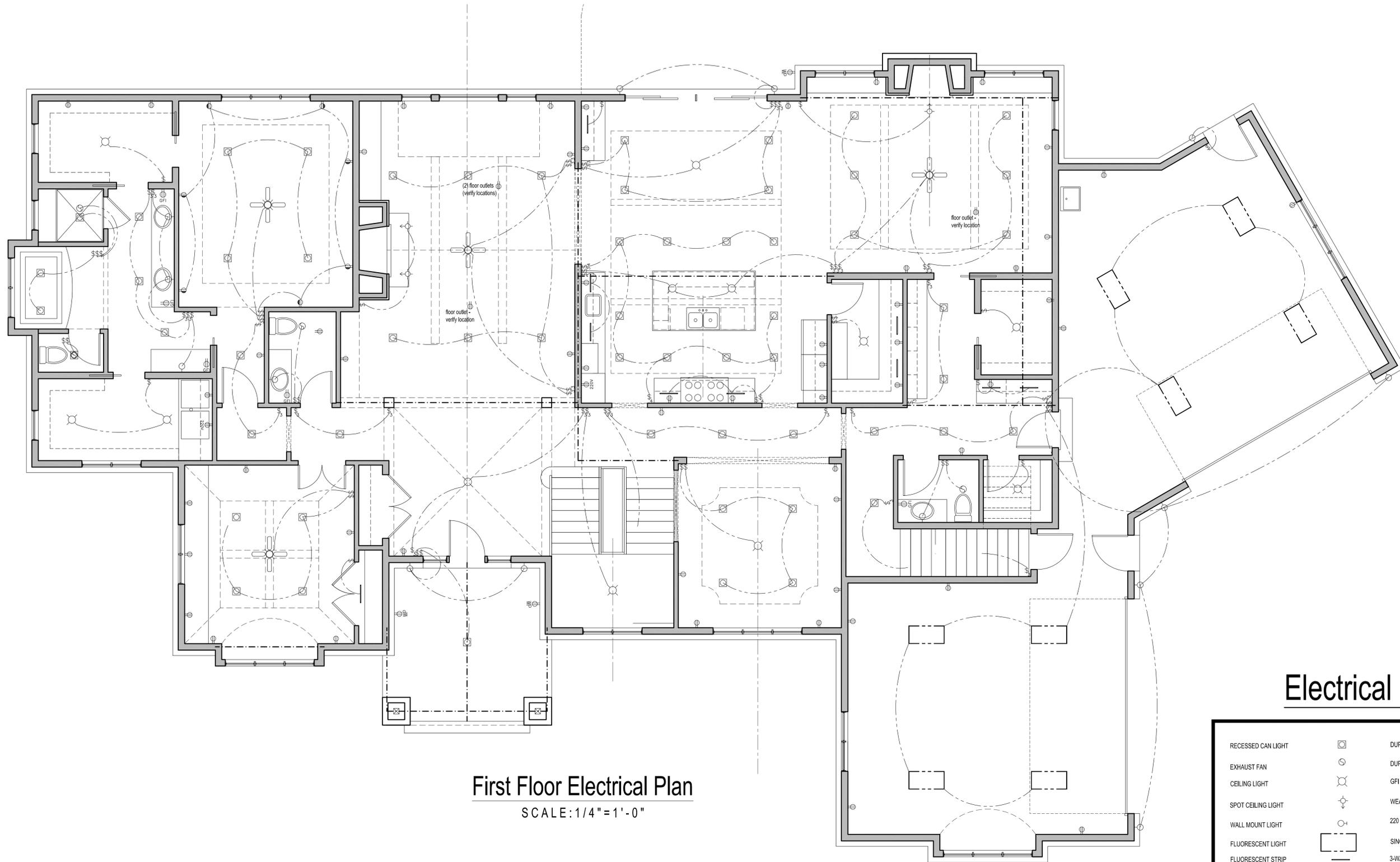
10 OF 15



**A** Building Section @ Foyer / Great Room  
 SCALE: 3/8" = 1'-0"

**B** Conceptual Section @ Bonus Room  
 SCALE: 3/8" = 1'-0"





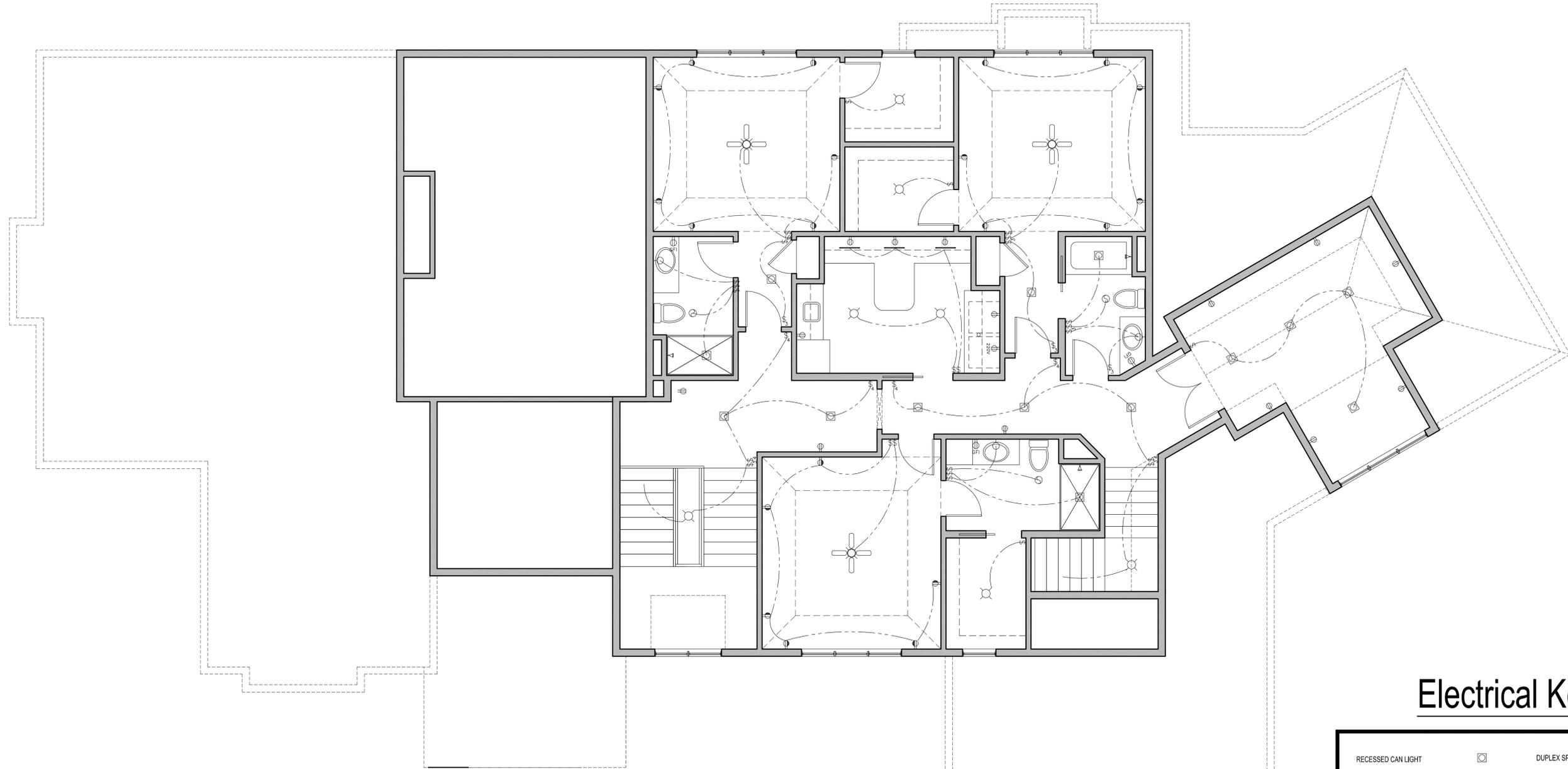
### First Floor Electrical Plan

SCALE: 1/4" = 1'-0"

### Electrical Key

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		WEATHERPROOF RECEPTACLE	
WALL MOUNT LIGHT		220 RECEPTACLE	
FLUORESCENT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT STRIP		3-WAY SWITCH	
PHONE		4-WAY SWITCH	
SMOKE DETECTOR		CEILING FAN	
CARBON MONOXIDE DETECTOR		CABLE	
CENTRAL VAC		SPEAKER	
THERMOSTAT			

NOTES:  
 - PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)  
 - VERIFY SWITCH LOCATION w/ OWNER



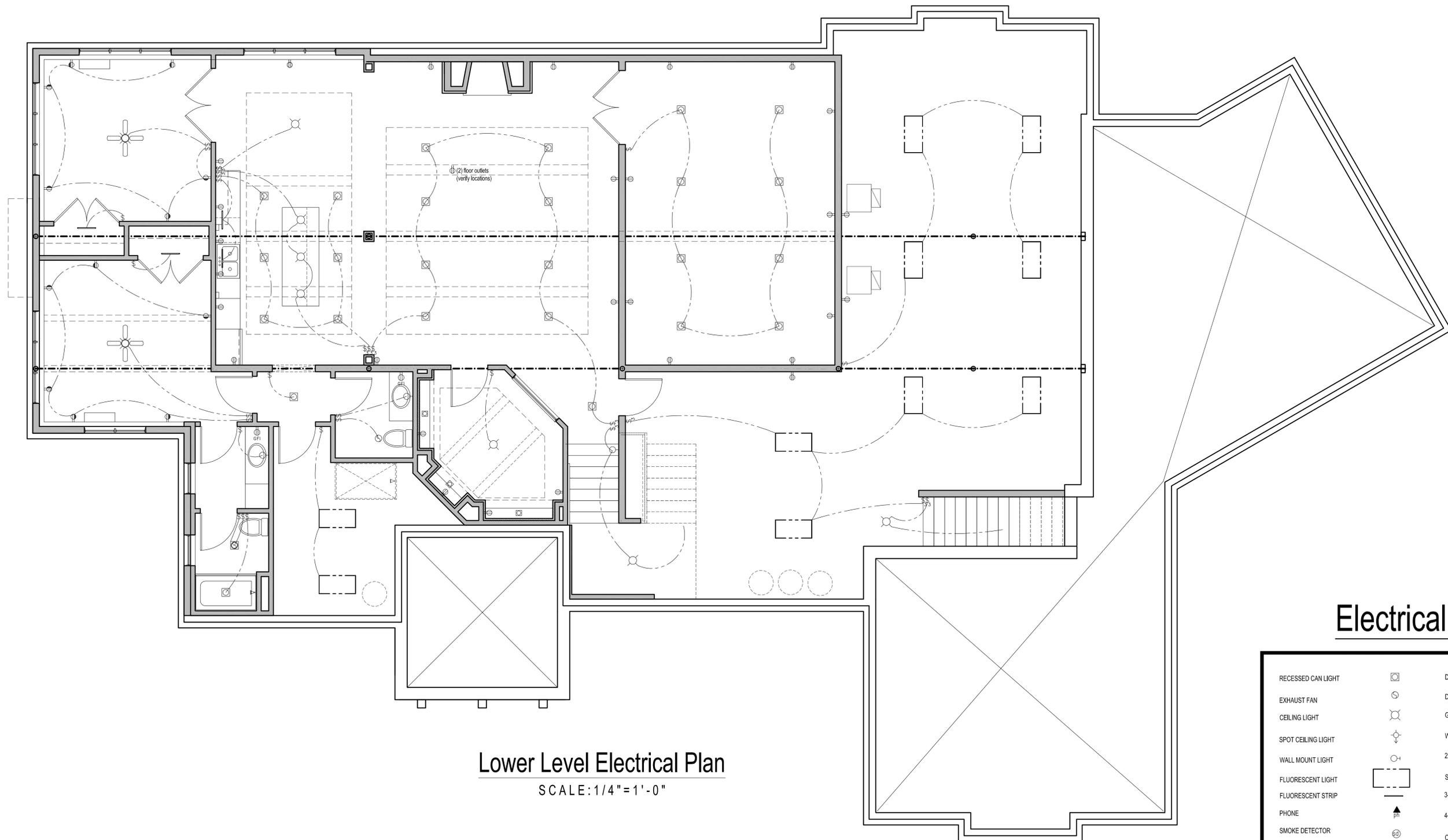
**Second Floor Electrical Plan**

SCALE: 1/4" = 1'-0"

**Electrical Key**

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		WEATHERPROOF RECEPTACLE	
WALL MOUNT LIGHT		220 RECEPTACLE	
FLUORESCENT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT STRIP		3-WAY SWITCH	
PHONE		4-WAY SWITCH	
SMOKE DETECTOR		CEILING FAN	
CARBON MONOXIDE DETECTOR		CABLE	
CENTRAL VAC		SPEAKER	
THERMOSTAT			

NOTES:  
 - PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)  
 - VERIFY SWITCH LOCATION w/ OWNER

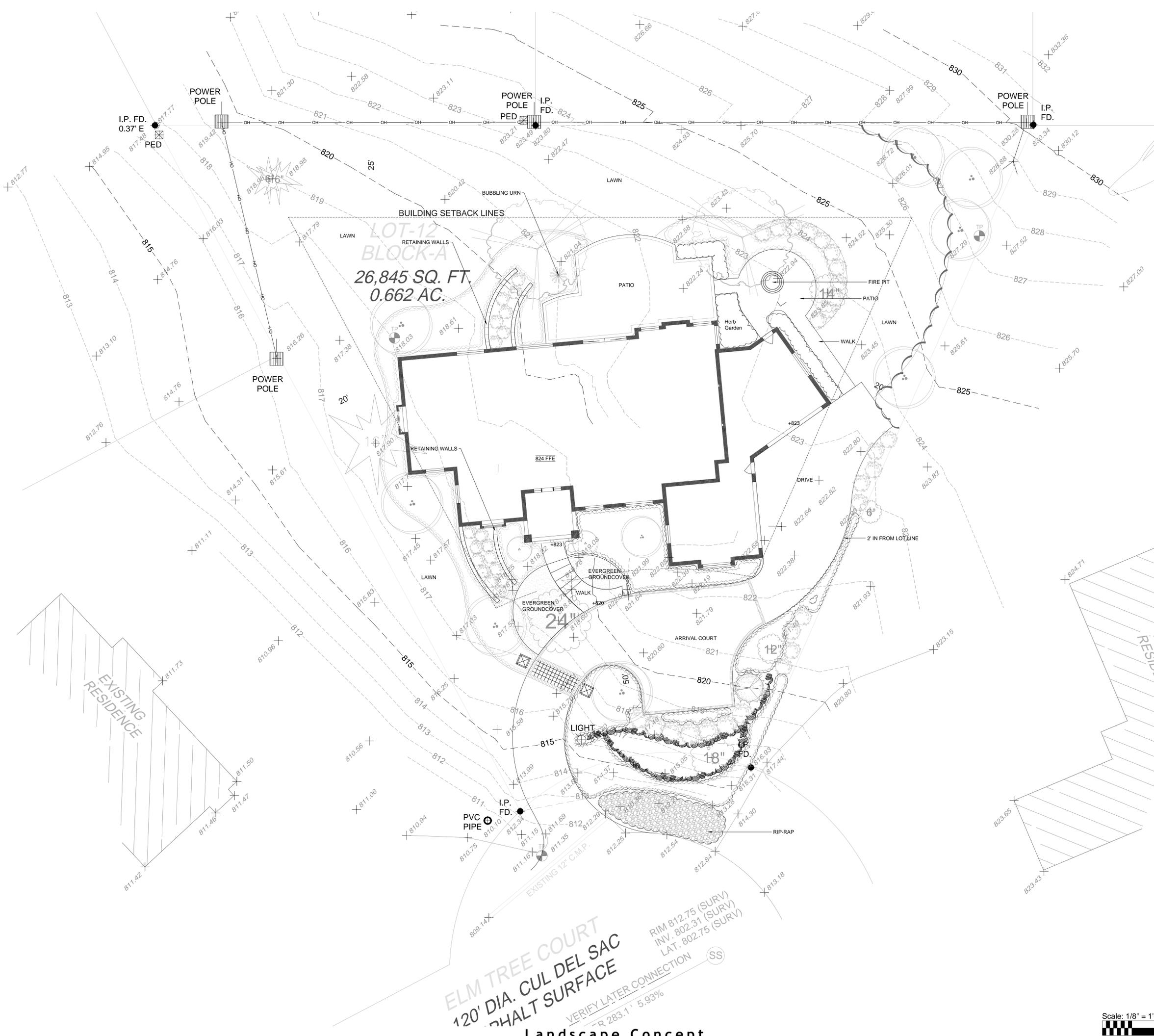


**Lower Level Electrical Plan**  
 SCALE: 1/4" = 1'-0"

### Electrical Key

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		WEATHERPROOF RECEPTACLE	
WALL MOUNT LIGHT		220 RECEPTACLE	
FLUORESCENT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT STRIP		3-WAY SWITCH	
PHONE		4-WAY SWITCH	
SMOKE DETECTOR		CEILING FAN	
CARBON MONOXIDE DETECTOR		CABLE	
CENTRAL VAC		SPEAKER	
THERMOSTAT			

NOTES:  
 - PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)  
 - VERIFY SWITCH LOCATION w/ OWNER

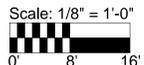


**LOT-12  
BLOCK-A**  
26,845 SQ. FT.  
0.662 AC.

**Zosel Residence**  
Elm Tree Court  
Elm Grove, WI

Chris Miracle, PLA, ASLA  
August 2016  
September 7, 2016

**ELM TREE COURT**  
120' DIA. CUL DEL SAC  
HALT SURFACE  
VERIFY LATER CONNECTION  
FOR 283.1' 5.93%



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