

VILLAGE OF ELM GROVE

13600 Juneau Boulevard
Elm Grove, WI 53122

BUILDING BOARD

Tuesday, September 6, 2016 * 5:30 PM * Park View Room

AGENDA

1. Roll Call

Documents:

[090616 BBmemo.pdf](#)

2. Review and act on meeting minutes dated August 16, 2016.

Documents:

[BB081616dm.pdf](#)

3. Consideration, public hearing, and action on a variance request by Michael Paskov at 13200 W. Bluemound Road for a fence.

Documents:

[13200 W. Bluemound Rd. Fence Plan.pdf](#)
[13200 W. Bluemound Rd. Fence Color.pdf](#)

4. Review and act on a request by Troy and Ruth Flanagan at 600 Kurtis Drive for a building addition and alteration.

Documents:

[600 Kurtis _ REScheck-Web_compliance_reportpdf.pdf](#)
[600 Kurtis Addition Plans.pdf](#)
[SAI Plat of Survey.pdf](#)
[IMG_2876.pdf](#)
[IMG_2877.pdf](#)
[IMG_2878.pdf](#)
[IMG_2879.pdf](#)
[IMG_2887.pdf](#)
[IMG_2891.pdf](#)
[IMG_2892.pdf](#)
[IMG_2895.pdf](#)
[IMG_2896.pdf](#)
[IMG_2897.pdf](#)
[IMG_2951.pdf](#)
[IMG_2952.pdf](#)
[IMG_2953.pdf](#)

5. **Review and act on a request by Mike Wolak at 575 Terrace Drive for a building alteration.**

Documents:

575 Terrace (Building Alteration).pdf

6. **Review and act on a request by Miles Green and Bree Heffner at 14875 Froedert Drive for a landscape plan.**

Documents:

14875 Froedert Dr (Landscape Plan).pdf

7. **Review and act on a request by Mary Klamecki at 1755 San Fernando Drive for a landscape plan, accessory structure, and fence.**

Documents:

1755 San Fernando Dr. Landscape_Fence_Accessory Structure.pdf

8. **Review and act on a request by Bob Olson at 675 Meadow Lane for a swimming pool and accessory structure.**

Documents:

675 Meadow Ln. Accessory Structure.pdf

675 Meadow Ln. Fence Spec.pdf

675 Meadow Ln. pool plan.pdf

675 Meadow Ln. Survey_Impervious Surface Calc..pdf

9. **Review and act on a request by Brad Crotty at 1455 Victoria Circle North for a new home.**

Documents:

1455 Victoria Cr. N. New Home Design.pdf

1455 Victoria Cr. N. Driveway Work Permit.pdf

1455 Victoria Cr. N. Plat of Survey.pdf

1455 Victoria Cr. N. Public Way Disturbance Permit.pdf

1455 Victoria Cr. N. R_M Review Letter EDITS.pdf

10. **Review and act on a request by Susan Bruk at 13160 Lee Court for a shed.**

Documents:

13160 Lee Ct. Accessory Structure.pdf

11. **Other Business**

12. **Adjournment**

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

Memo

To: Building Board

From: Thomas Harrigan, Zoning & Planning Administrator / Assistant to the Village Manager

Date: September 1, 2016

Re: Review of Agenda for Tuesday – September 6, 2016

Item 3. Consideration, public hearing, and action on a variance request by Michael Paskov, 13200 W. Bluemound Road, for a fence.

Applicant proposes to erect an architectural screening device that would be constructed as a solid fence and create an enclosure on the west side of the existing garage. The property is zoned Rm-1 and is adjacent to properties zoned B-3. Property owners within 100 feet of 13200 W. Bluemound Road have been notified of the variance request and public hearing. Applicant is requesting the following variances from the Village of Elm Grove Code of Ordinances:

1. A variance from §335-88D(8)(g)[3][d] of the Village of Elm Grove Code of Ordinances to allow for a fence to project forward of the rear line of the principal building. The proposed fence would project approximately six feet forward of the principal building.
2. A variance from §335-88D(8)(g)[3][a] of the Village of Elm Grove Code of Ordinances which states any fence located closer to a property line than the required setback and other yard requirements for the district in which they are located shall not exceed four feet in height. The applicant is requesting the proposed fence be seven feet in height and located within one foot of the property line at the closest point.

Please see the enclosed plan set and sample of materials for review.

Item 4. Review and act on a request by Troy & Ruth Flanagan, 600 Kurtis Drive, for building addition and alteration.

The building footprint of 600 Kurtis Dr. currently occupies two parcels. As a result, an addition cannot take place on the properties unless a Certified Survey Map (CSM) combines the two parcels. The property owners have submitted a CSM that will be reviewed by the Plan Commission on September 12th and reviewed by the Board of Trustees on September 26th.

Applicants have submitted design plans which include an addition on the southwest corner of the property and several architectural alterations to the existing home. A Corner Lot Development Agreement has been executed, and the proposed addition satisfies the side yard setback requirement for Rs-3 zoning. Please see the enclosed plan set review.

Item 5. Review and act on a request by Mike Wolak, 575 Terrace Drive, for a building alteration.

Applicant is proposing several alterations in order to improve the functionality of the property. Applicant proposes to create access to the rear yard of the property by removing an existing window and replacing it with a door. The existing garage service door would be relocated to the location of an existing garage window. Please see the attached outline of the scope of work to be performed with supporting materials and elevations.

Item 6. Review and act on a request by Miles Green and Bree Heffner, 14875 Froedtert Drive, for a landscape plan.

Applicants are submitting a landscape plan that was not previously included in the new home construction plan, approved September 15, 2015. The entire square footage of impervious surface on the property, including the landscape plan, would be 26% (30% is the maximum allowable). Additionally, the proposed fire feature is approximately 13 feet from the nearest structure (10 foot minimum distance). Please see the enclosed landscape plan for review.

Item 7. Review and act on a request by Mary Klamecki, 1755 San Fernando Drive, for a landscape plan, accessory structure, and fence.

Applicant is submitting a landscape plan that correlates to the new home construction at 1755 San Fernando Drive. The landscape plan includes a fireplace accessory structure and fence. The total percentage of impervious surface on the lot including the landscape plan and accessory structure is 7.8% (30% is the maximum allowable). The fireplace structure satisfies all accessory structure requirements. The fence is proposed to be located inside of the side yard setback, and satisfies the 4 foot maximum height requirement. No portion of the landscape plan encroaches into the floodplain. Please see the enclosed landscape plan, accessory structure elevations, and fence specifications for your review.

Item 8. Review and act on a request by Bob Olson, 675 Meadow Lane, for a swimming pool and accessory structure.

Applicants have submitted plans for a swimming pool and cabana accessory structure. The total impervious surface percentage of the property including the proposed patio, and accessory structure would be 26% (30% is the maximum allowable). The pool plan demonstrates an unobstructed areaway at least three feet in width. The pool mechanicals are located 32 feet to the nearest lot line (20 foot minimum). The proposed fence would be of a wrought iron design and remain a consistent four feet in height. The proposed accessory structure satisfies the accessory structure requirements of the Village. The proposed fire pit would be approximately 13 feet to the nearest structure. Please see the enclosed plan set for review.

Item 9. Review and act on a request by Brad Crotty, 1455 Victoria Circle North, for a new home.

Applicant is requesting approval for a new home. The proposed home is under the maximum allowable height requirements and meets the minimum living area requirements for the Rs-1 Single Family Residential District. Proposed setbacks for the new home are 51 feet from the western street yard right of way, 59.11 feet from the northern street yard right of way, 40.15 feet from the eastern property line, and 28 feet from the southern property line. The proposed 51 foot street yard setback will be reviewed by the Board of Appeals on September 8, 2016. Per the Village Code of Ordinances, a Corner Lot Development agreement is required to be completed prior to the issuance of an occupancy permit. The proposed finished grade of the home is 839.6 at the first floor elevation. Enclosed with the application materials is a letter from Andy Petersen of Ruckert & Mielke. Responses to Mr. Petersen's comments are noted on the letter by LandTech Surveying. Please review the enclosed new home plans, and Review letter from Ruckert & Mielke.

Item 10. Review and act on a request by Susan Bruk, 13160 Lee Court, for a shed.

Applicant has resubmitted an accessory structure application for a shed. This item was tabled at the July 12, 2016 Building Board meeting. The newly proposed shed satisfies all the accessory structure requirements, and would be positioned in the same location as the previous submission. Please see the enclosed plan set for review.

DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD

**BUILDING BOARD
MEETING MINUTES
Tuesday, August 16, 2016**

Meeting was called to order at 5:30 p.m. by Mr. Olson.

1. Roll Call.

Present: Mr. Olson, Mr. Matola, Mr. Schoenecker, Mr. Wollersheim, and Mr. Janusz.
Absent: Mr. Domaszek, Ms. Steindorf, and Mr. Liechty (all excused).
Also Present: Mr. Harrigan, Ms. Nelson, Applicants.

2. Review and act on meeting minutes dated August 2, 2016.

Mr. Matola motioned and Mr. Schoenecker seconded to approve the meeting minutes as submitted. Motion carried 5-0.

3. Review and act on a request by Frank and Lydia LoCoco at 1655 Berkshire Drive for a building alteration.

A representative from Kelmann Restoration was present before the board.

Mr. Wollersheim asked if the window proportions will match the existing windows. Applicant stated yes, that the proposed window will be the same size as the window next to it.

Mr. Wollersheim asked about the size of the patio door. Applicant stated it would be five feet. Mr. Wollersheim stated that he would be fine approving the plans with a five foot or six foot door.

Mr. Schoenecker asked if they will be putting in a new deck. Applicant stated that the deck will be done in the future but it is not currently in the contract. Mr. Matola said he would like it to be noted that there is not an existing deck on the property even though there is a deck shown on the submitted plans.

Mr. Matola asked about electrical service. Applicant stated that WE Energies will be coming out to the property to bury the lines.

Mr. Wollersheim motioned and Mr. Schoenecker seconded to approve the plans as submitted with the option of a five foot or six foot patio door. Motion carried 5-0.

4. Other Business

No other business.

5. Adjournment

Mr. Matola motioned and Mr. Schoenecker seconded to adjourn the meeting. Motion carried 5-0.

Meeting adjourned at 5:36 p.m.

Respectfully Submitted,

Carey Nelson
Administrative Assistant

DRAFT

Overview of application for variance.

- Applicant - Michael Paskov
- Address - 13200 W. Bluemound Rd.

- Type of activity on property.
 - Zoned Rm-1
 - Maintenance and repair of grounds and building.

- Findings required to grant variance.
 - Preservation of intent.
 - Upkeep of property.
 - Security of property.
 - Exceptional circumstances.
 - Adjacent to State Highway 18
 - Adjacent to property zoned B-3 Midrise Office and Professional District.
 - There has been theft of a car, bicycles, and other personal property.
 - Preservation of property rights.
 - Only neighbor with sight of the fence is approximately 20' above grade of the fence.
 - Absence of detriment.
 - Only neighbor with sight of the fence is approximately 20' above grade of the fence.

- Nature of variance from an "architectural fence."
 - 3-sided open enclosure, attached to existing garage.
 - Odd shaped to accommodate slope on lot line.
 - 7' high to match existing garage eaves.
 - Stockade style.

ZONING

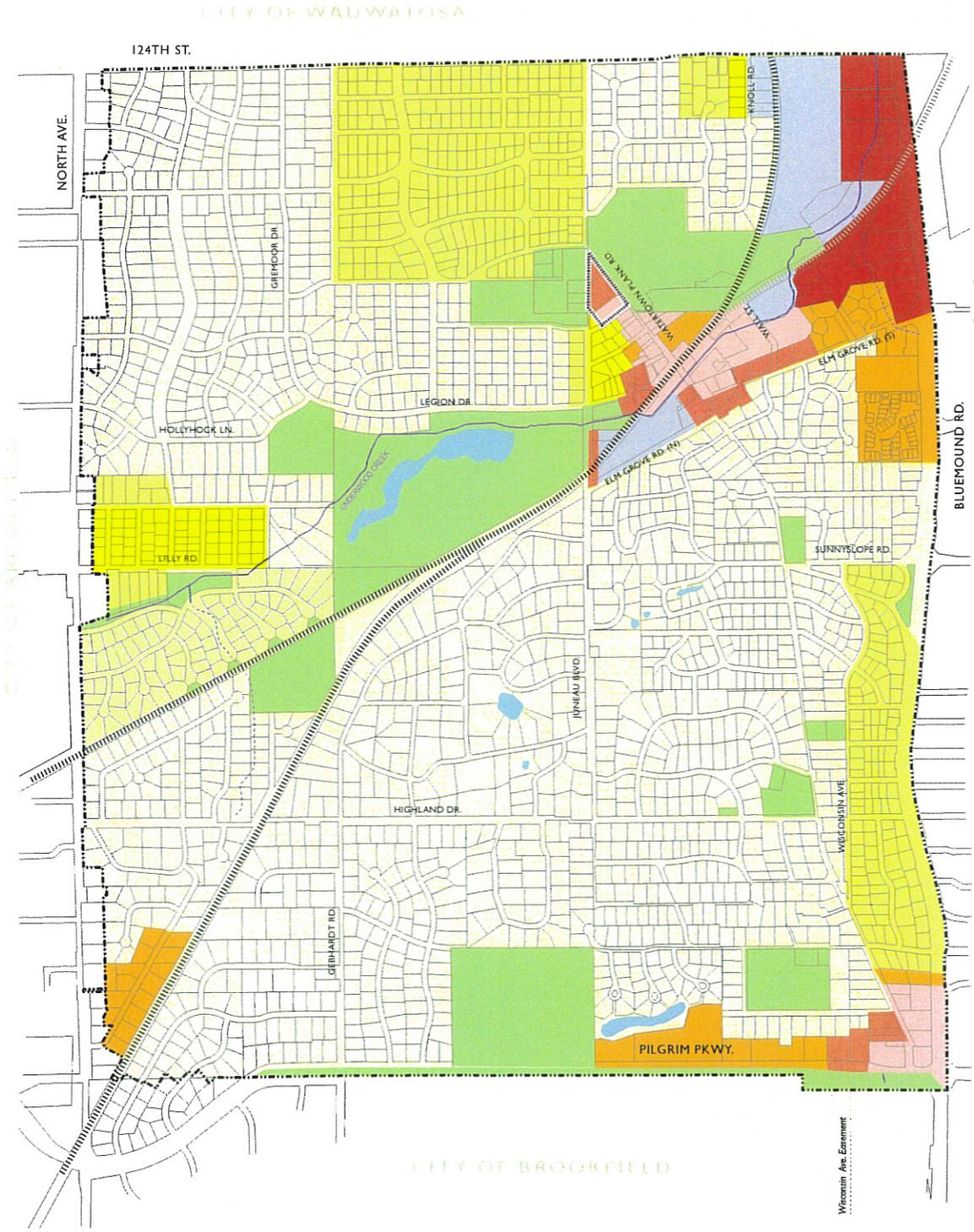
Adopted Village Zoning Map, April 9, 2001

Village Boundary

- Rs-1 Single Family Residential District
- Rs-2 Single Family Residential District
- Rs-3 Single Family Residential District
- Rs-4 Single Family Residential District
- Rm-1 Multi-Family Residential District
- B-1 Local Business District
- B-2 Office Business District
- B-3 Midrise Office and Professional District
- M-1 Limited Manufacturing District
- I-1 Institutional District

Zoning Amendment
per Ordinance Revision, 2006

This map illustrates zoning districts relevant to permitted and conditional land use types. Zoning overlay districts are not portrayed on this map.



Wisconsin Ave. Eminent
www.elmgrove.com



PLAT OF SURVEY

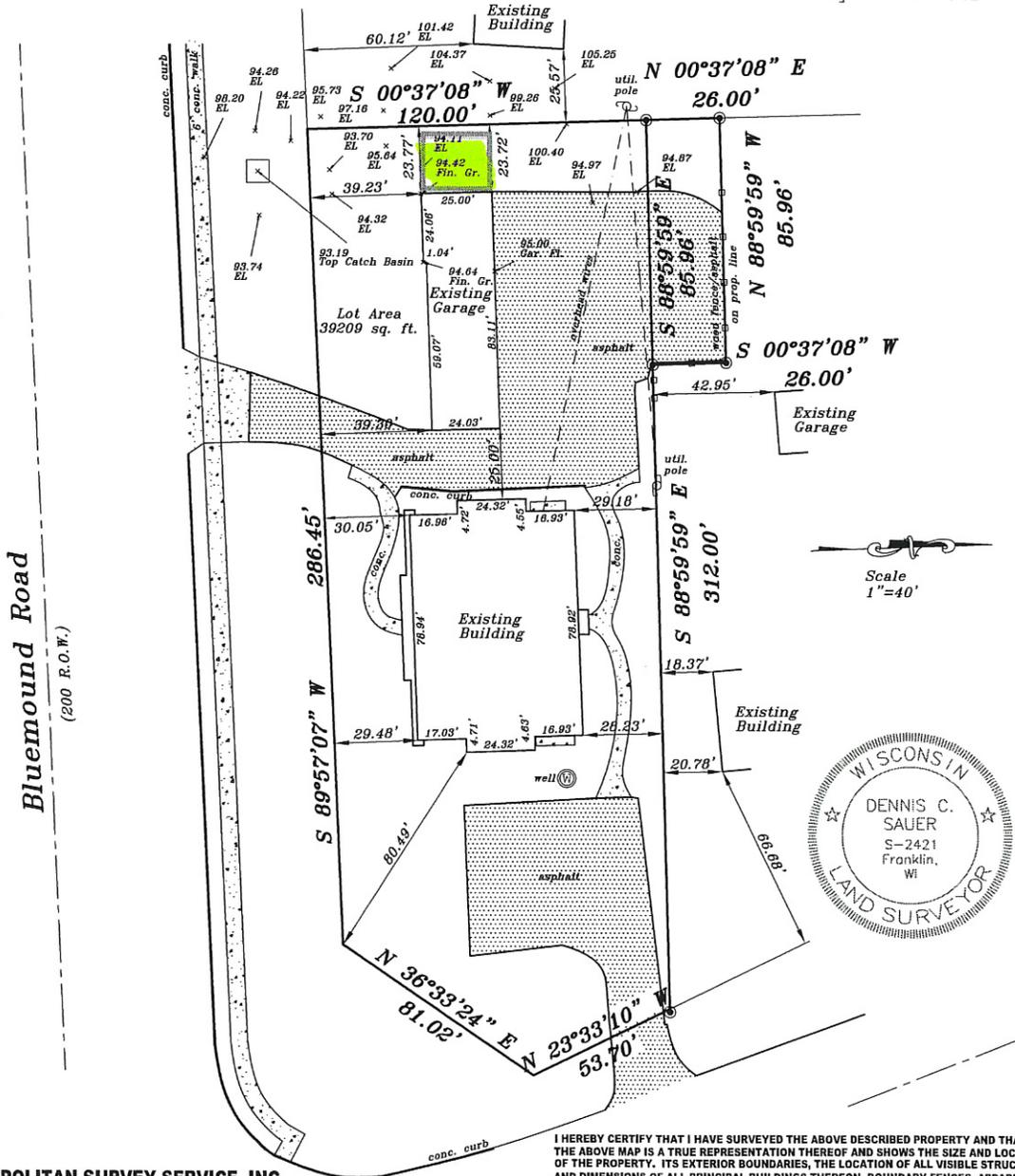
LOCATION: 13200 West Bluemound Road, Brookfield, Wisconsin

LEGAL DESCRIPTION:

Commencing at a point which is 2149.41 feet East of the Northwest corner of the Southwest 1/4 of Section 25, Town 7 North, Range 20 East, and 669.15 feet South of the North line of aforesaid 1/4 Section; running thence South and parallel to the West line of said 1/4 section, 120.00 feet to a point in the North line of Bluemound Road, thence North 89° and 26 East along the North line of said road, 286.45 feet to a point; thence North 24° and 1 East on a line 81.02 feet to a point in the Westerly line of Elm Grove Road; thence North 21° and 24 West along said Westerly line of Elm Grove Road; 53.70 feet to a point; thence West on a line, 312.00 feet to the point of beginning. That part of the Southwest 1/4 of Section 25, Township 7 North, Range 20 East, Village of Elm Grove, Waukesha County, Wisconsin, bounded and described as follows, to-wit: Commencing at a point which is 2149.41 feet East of the Northwest corner of said 1/4 Section and 643.15 feet South of the North line of said 1/4 Section; thence running East at right angles to the West line of said 1/4 Section 86.00 feet to a point, thence South and parallel with the West line of said 1/4 Section, 26.00 feet to a point; thence West 86.00 feet to a point; thence North and parallel with the West line of said 1/4 Section, 26.00 feet to a point of beginning.

April 2, 2014

Survey No. 104642



Scale
1"=40'

WISCONSIN
DENNIS C. SAUER
S-2421
Franklin, WI
LAND SURVEYOR

METROPOLITAN SURVEY SERVICE, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
5800 Broad Street, Greendale, Wisconsin 53129
PH. (414) 529-5380 FAX (414) 529-9787
email address: survey@metropolitansurvey.com

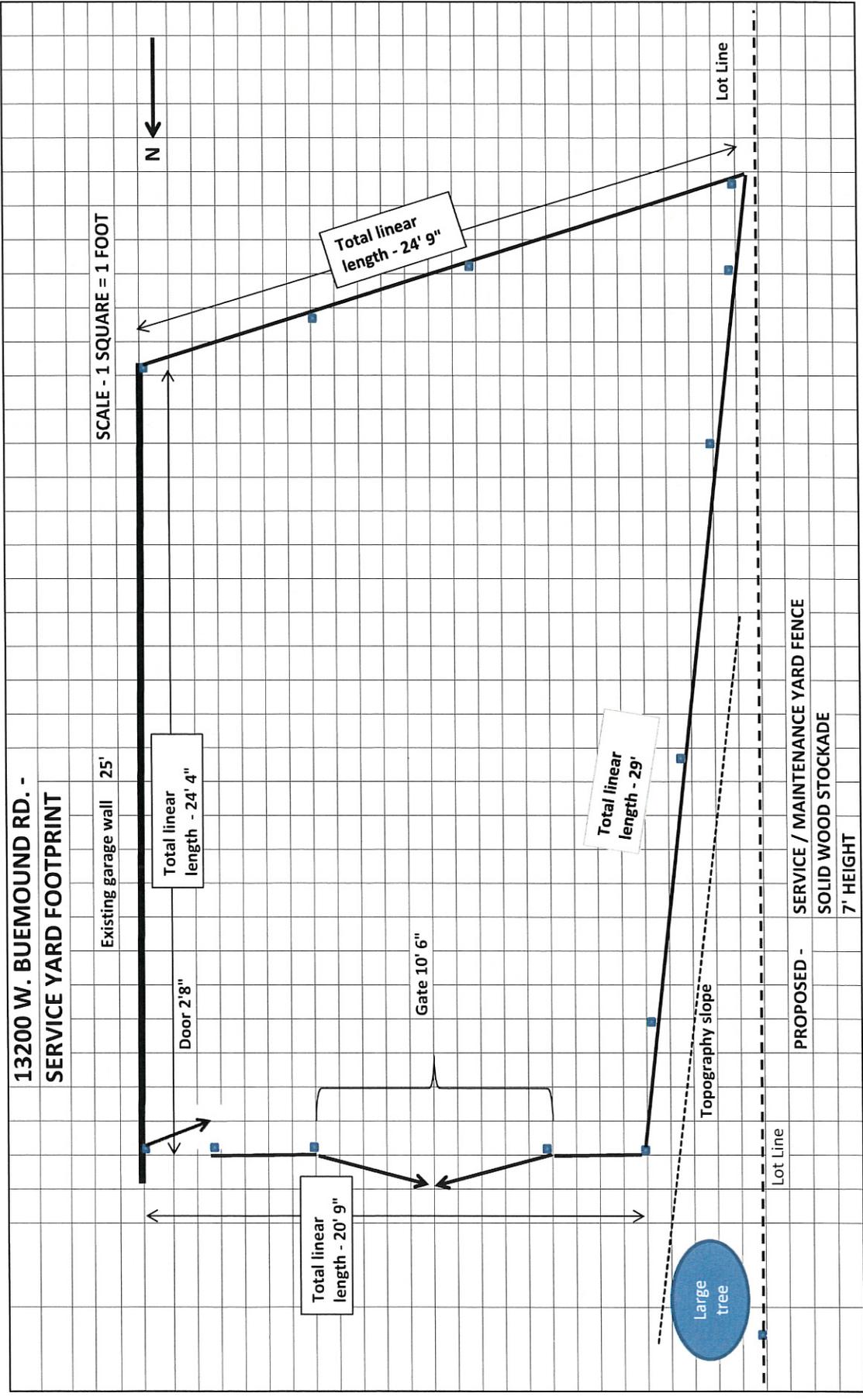
Elm Grove Road
(R.O.W. Varies)

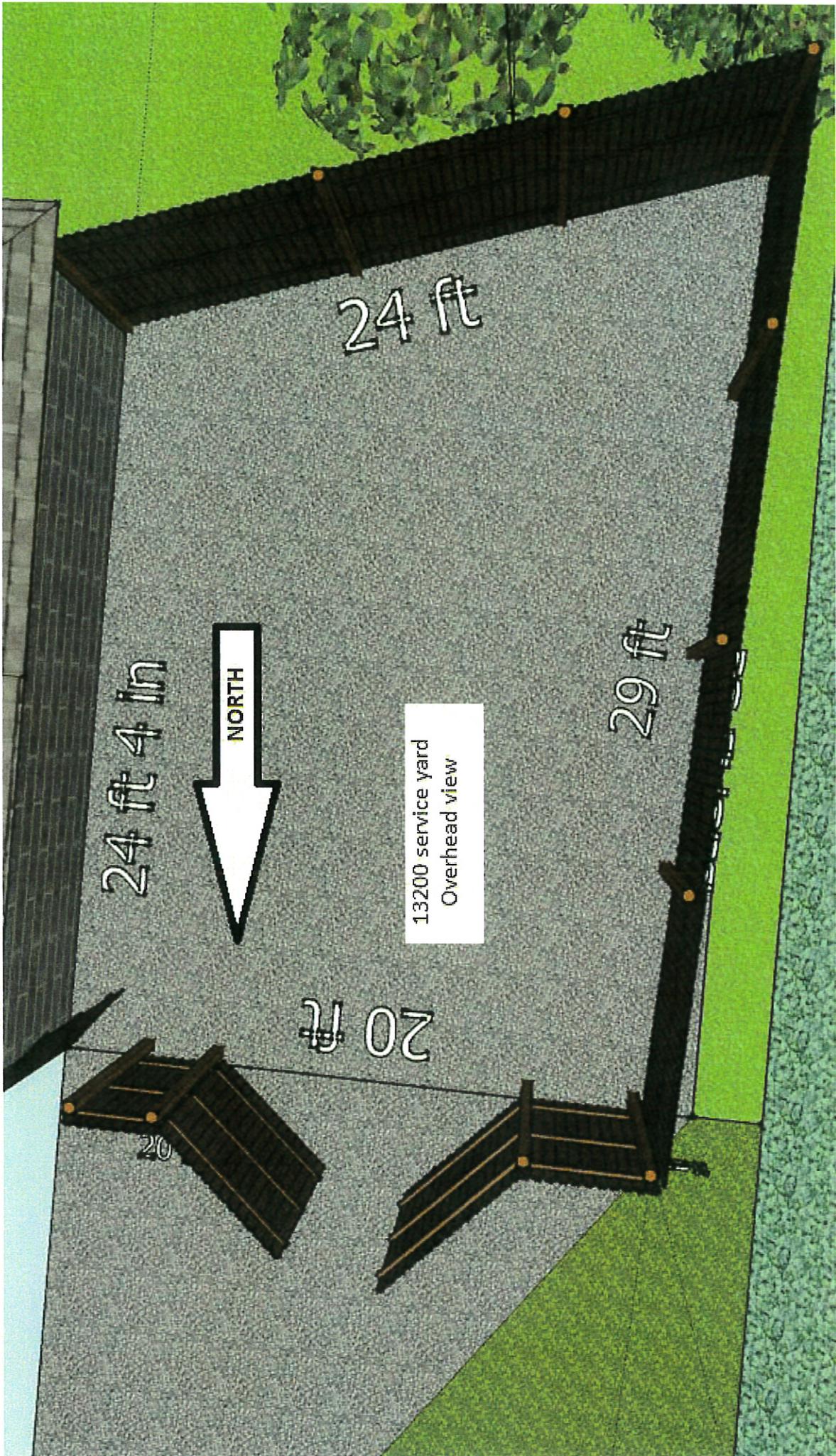
- ⊙ — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED _____
Dennis C. Sauer
Registered Land Surveyor S-2421





24 ft

24 ft 4 in



13200 service yard
Overhead view

29 ft

20 ft

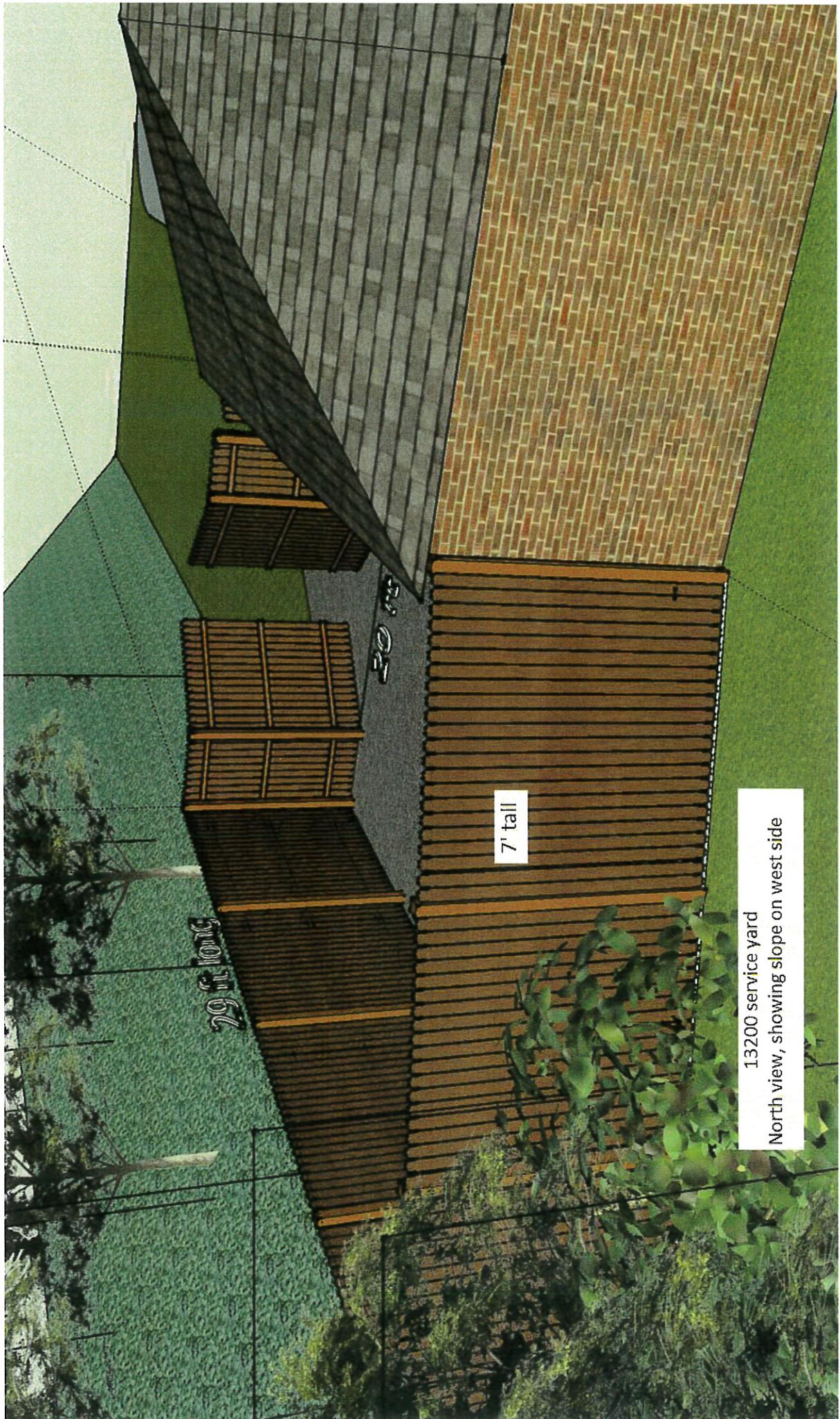
20 ft



7' tall

13200 service yard
South view

20th Street



7' tall

13200 service yard
North view, showing slope on west side

29 ft long



13200 service yard
North view of garage, showing west lot line slope up to neighbor property



13200 service yard -
west view of slope up to neighbor

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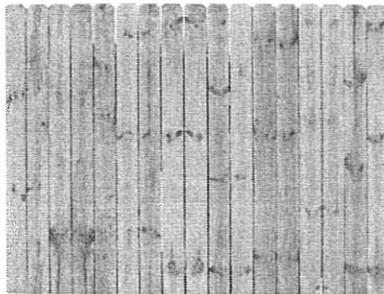
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Severe Weather Natural Pressure Treated Spruce Privacy Fence Panel (Common: 8-ft x 6-ft; Actual: 8-ft x 6-ft)

Item # 156656 Model # 160275

★★★★★ (12 Reviews)



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\$44.80

Quantity selector: - 1 +

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In-Store Map

CHECK OTHER STORES



Delivery

✓ Delivery available as soon as tomorrow!



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Minimum Purchase Required. Subject to credit approval

GET DETAILS

Product Information

Description

- Pre-assembled panel for a quicker and easier installation
- Double-nailed pickets for a durable, sturdy fence panel
- Naturally resistant to rot and decay

Specifications

Series Name	N/A	Post and Accessories Included	×
Collection Name	N/A	Can Contain Deer	×
Metal Type	N/A (not metal)	Can Contain Cattle	×
Actual Panel Height (Feet)	6	Can Contain Goats	×
Actual Panel Width (Feet)	8	Can Contain Sheep	×
Actual End Picket Thickness (Inches)	0.625	Can Contain Hogs	×
Common Panel Height (Feet)	6	Can Contain Horses	×
Common Panel Width (Feet)	8	Can Contain Dogs	×
Common Picket Thickness (Inches)	1	Can Contain Rabbits	×
Common Picket Width (Inches)	6	Can Contain Birds	×
Weight (lbs.)	25	Can Contain Chickens	×
Actual Picket Thickness (Inches)	0.625	Assembly Required	×
Actual Picket Width (Inches)	5.56	Manufacturer Color/Finish	Natural
Actual End Picket Width (Inches)	5.56	Above-ground Use	✓
Gauge	0	Ground Contact	✓
		Package Quantity	1
		Warranty	1-year limited
		Color/Finish Family	Brown
		Fence Top Style	Dog ear

Retention in Pounds per Cubic Foot	0.06	Fence Style	N/A
Number of Pickets	17	Primary Recommended Use	N/A
Woodgrain Finish	×	Privacy Style	Privacy
Number of Backer Rails	3	Wood Species	Spruce
Actual Backer Rail Thickness (Inches)	2	Primary Material	Wood
Actual Backer Rail Width (Inches)	3	For Use With	Wood fence
Double Nailed	✓		
Finish	N/A		
Pressure Treated	✓		
Pressure Treatment Type	Micronized copper azole (MCA)		

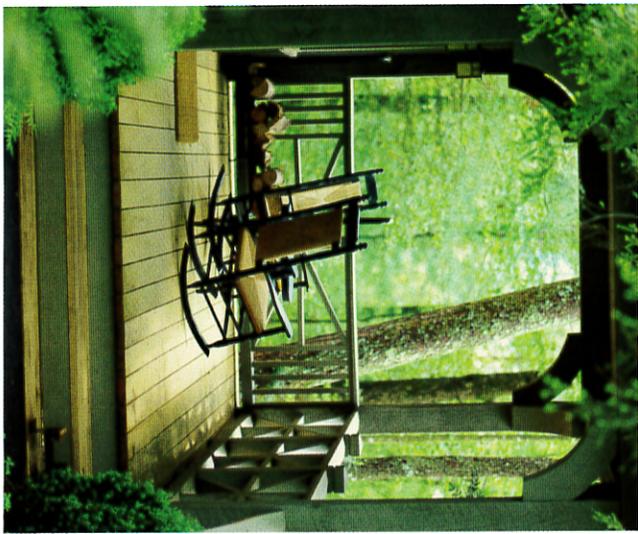
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Deck: 919 Beige Gray Railing: 908 Smoke Blue



901 White Birch



900 Outside White



919 Beige Gray



917 Weathered Barnboard



723 Avocado



910 Mushroom



Storm Gray



River's Run



Desert Sand



718 Fir/Pine Naturaltone



700 Sierra



708 Walnut



714 Dark Tahoe



711 Coffee



716 Cedar Naturaltone*



717 Redwood Naturaltone*



728 Rosewood



729 Dark Mahogany



730 Teak



707 Tobacco



705 Russet



727 Cinnamon



704 Redwood



725 Dark Oak



709 Black Walnut



714 Dark Tahoe



Espresso





Generated by REScheck-Web Software
Compliance Certificate

Project Flanagan Residence

Energy Code: **2009 IECC**
 Location: **Waukesha County, Wisconsin**
 Construction Type: **Single-family**
 Project Type: **Addition**
 Climate Zone: **6 (8499 HDD)**
 Permit Date:
 Permit Number:

Construction Site:
 600 Kurtis
 Elm Grove, Wisconsin 53122

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **24.0% Better Than Code** Maximum UA: **242** Your UA: **184**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat or Scissor Truss	765	20.0	20.0	0.025	19
Wall: Wood Frame, 16in. o.c.	1,165	13.0	13.0	0.038	33
Window: Wood Frame, 2 Pane w/ Low-E	252			0.300	76
Door: Solid	40			0.210	8
Basement: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 7.0' Insulation depth: 8.0'	1,328	12.0	12.0	0.035	46
Crawl: Solid Concrete or Masonry Wall height: 4.0' Depth below grade: 3.0' Insulation depth: 4.0'	72	12.0	12.0	0.041	2

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 5.5.0 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

 Name - Title

 Signature

 Date



Inspection Checklist

Energy Code: 2009 IECC

Requirements: 100.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.2 [PR1] ¹ 	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
103.2, 403.7 [PR3] ¹ 	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the commercial code.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.6 [PR2] ² 	Heating and cooling equipment is sized per ACCA Manual S based on loads per ACCA Manual J or other approved methods.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 [FO4] ¹	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO5] ¹	Conditioned basement wall insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.7 [FO6] ¹	Conditioned basement wall insulation depth of burial or distance from top of wall.	_____ ft	_____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.2.9 [FO7] ¹	Unvented crawl space wall insulation R-value.	R-_____ R-_____	R-_____ R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO8] ¹	Unvented crawl space wall insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.9 [FO9] ¹	Unvented crawl space continuous vapor retarder installed over exposed earth, joints overlapped by 6 in. and sealed, extending at least 6 in. up and attached to the wall.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.9 [FO10] ¹	Unvented crawl space wall insulation depth of burial or distance from top of wall.	_____ in.	_____ in.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.8 [FO12] ²	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.4 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2.1 [FR12] ¹	Supply ducts in attics are insulated to ≥R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to ≥R-6.	R-____ R-____	R-____ R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2.2 [FR13] ¹	All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2.3 [FR15] ³	Building cavities are not used for supply ducts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.4 [FR18] ²	Circulating service hot water pipes are insulated to R-2.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.5 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
------------------------	--------------------------	-----------------------

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1.1, 402.2.4, 402.2.5 [IN3] ¹ 	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies.	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ¹ 	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2 [FI1] ¹	Ceiling insulation R-value. Where > R-30 is required, R-30 can be used if insulation is not compressed at eaves. R-30 may be used for 500 ft ² or 20% (whichever is less) where sufficient space is not available.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.3 [FI3] ¹	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.2, 402.4.2.1 [FI17] ¹	Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during Insulation Inspection.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.3 [FI8] ²	Wood-burning fireplaces have gasketed doors and outdoor combustion air.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2.2 [FI4] ¹	Post construction duct tightness test result of ≤8 cfm to outdoors, or ≤12 cfm across systems. Or, rough-in test result of ≤6 cfm across systems or ≤4 cfm without air handler. Rough-in test verification may need to occur during Framing Inspection.	____ cfm	____ cfm	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.1.1 [FI9] ²	Programmable thermostats installed on forced air furnaces.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.4 [FI11] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
404.1 [FI6] ¹	50% of lamps in permanent fixtures are high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
401.3 [FI7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [FI18] ³ 	Manufacturer manuals for mechanical and water heating equipment have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------



2009 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
-------------------	---------

Above-Grade Wall	26.00
Below-Grade Wall	24.00
Floor	0.00
Ceiling / Roof	40.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
---------------------	----------	------

Window	0.30	
Door	0.21	

Heating & Cooling Equipment	Efficiency
-----------------------------	------------

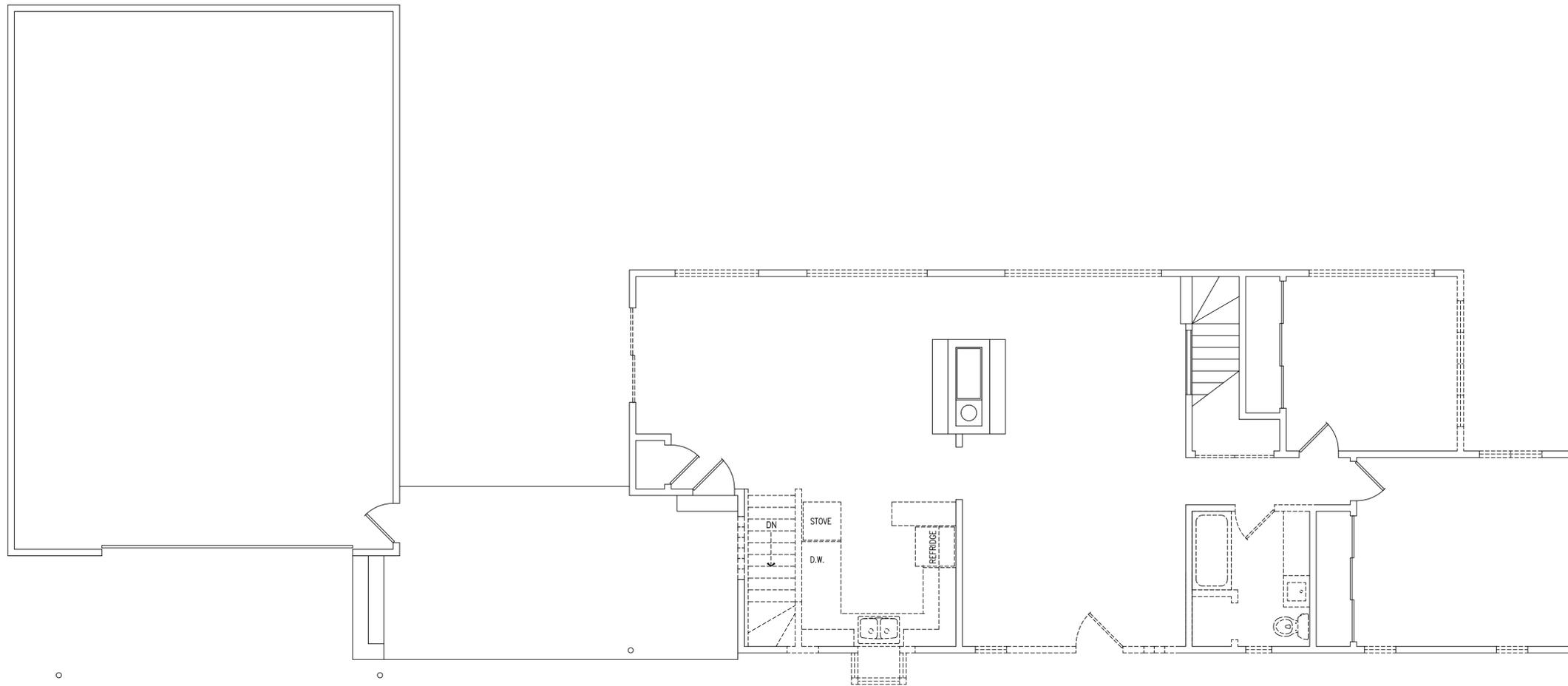
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: _____ **Date:** _____

Comments

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

REVISION HISTORY - THIS SHEET

design smith
forming ideas

5916 North Shoreland Avenue
Whitefish Bay, Wisconsin 53217
414.403.8042
www.design-smith.net

ARCHITECTURE | DESIGN | DIRECTION

DEMOLITION PLAN



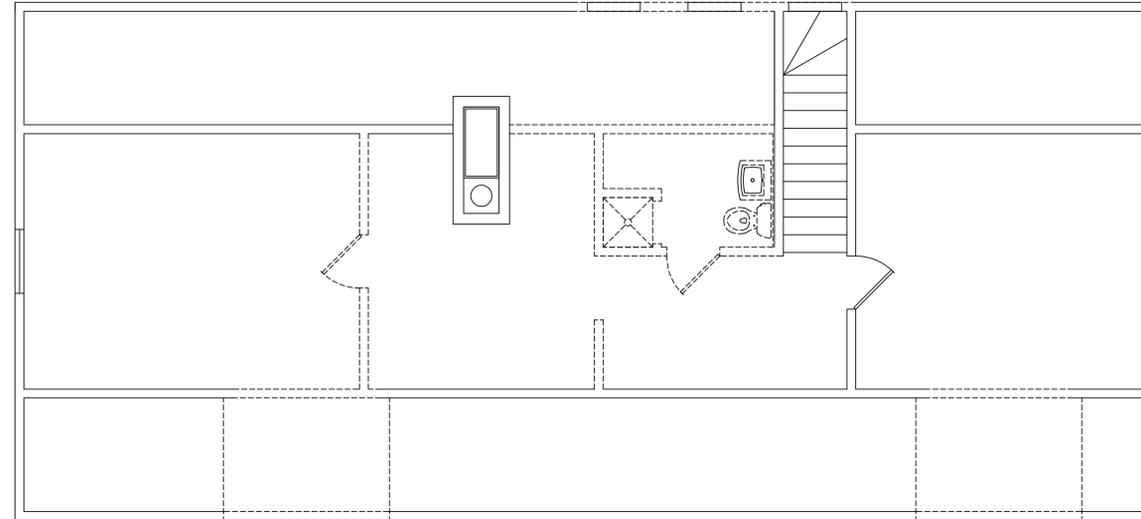
PROJECT NUMBER:	16102
SCALE:	AS NOTED
DATE:	August 28, 2016
DRAWN:	PJS

DESIGN DEVELOPMENT

AD101

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



1 SECOND DEMOLITION FLOOR PLAN
1/4" = 1'-0"

REVISION HISTORY - THIS SHEET

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Whitefish Bay, Wisconsin 53217
414.403.8042
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ARCHITECTURE | DESIGN | DIRECTION

DEMOLITION SECOND FLOOR PLAN



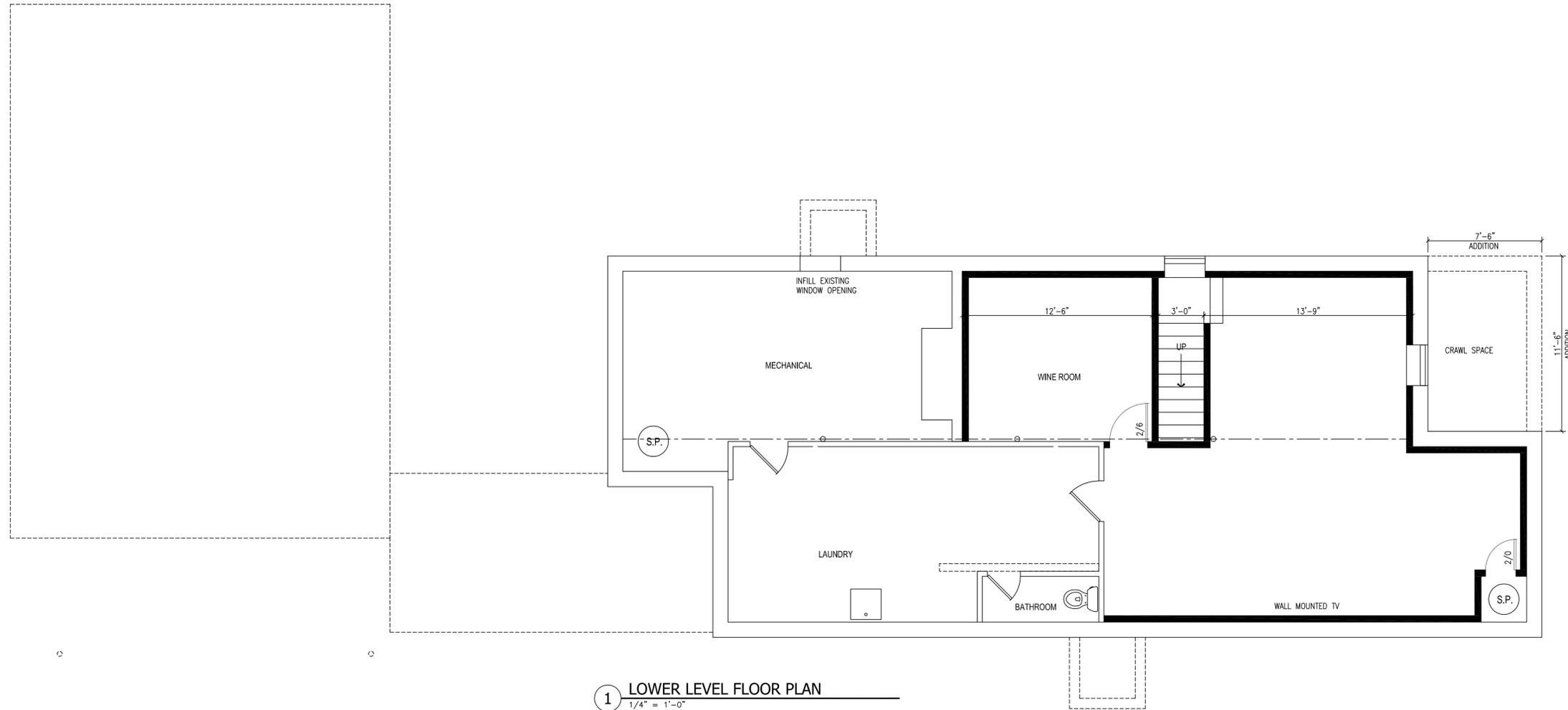
PROJECT NUMBER:	16102
SCALE:	AS NOTED
DATE:	August 28, 2016
DRAWN:	PJS

DESIGN DEVELOPMENT

AD102

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



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ARCHITECTURE | DESIGN | DIRECTION

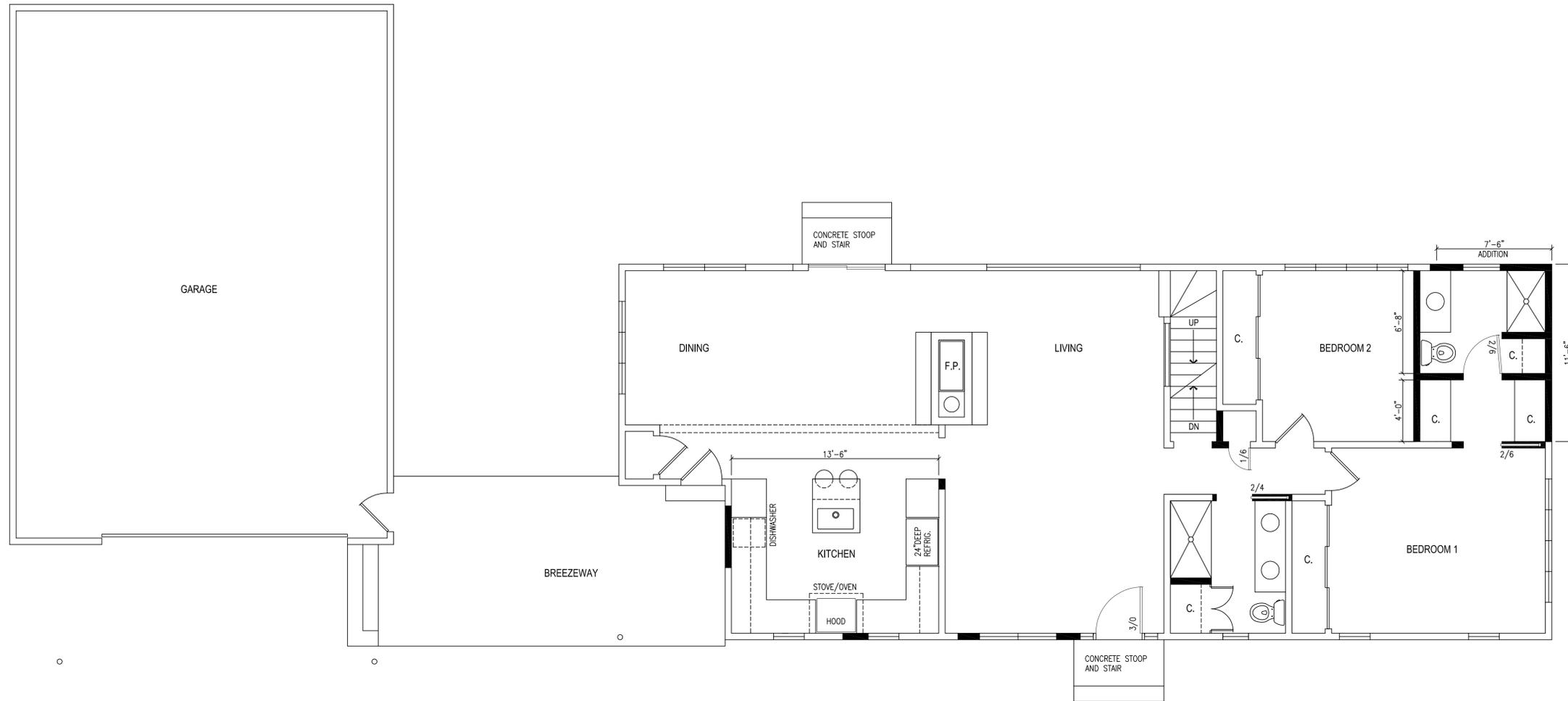
FLOOR PLANS

	PROJECT NUMBER:	16102
	SCALE:	AS NOTED
	DATE:	August 28, 2016
	DRAWN:	PJS

DESIGN DEVELOPMENT
A100

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



1 FIRST FLOOR PLAN
1/4" = 1'-0"

REVISION HISTORY - THIS SHEET

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Whitefish Bay, Wisconsin 53217
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ARCHITECTURE | DESIGN | DIRECTION

FLOOR PLANS



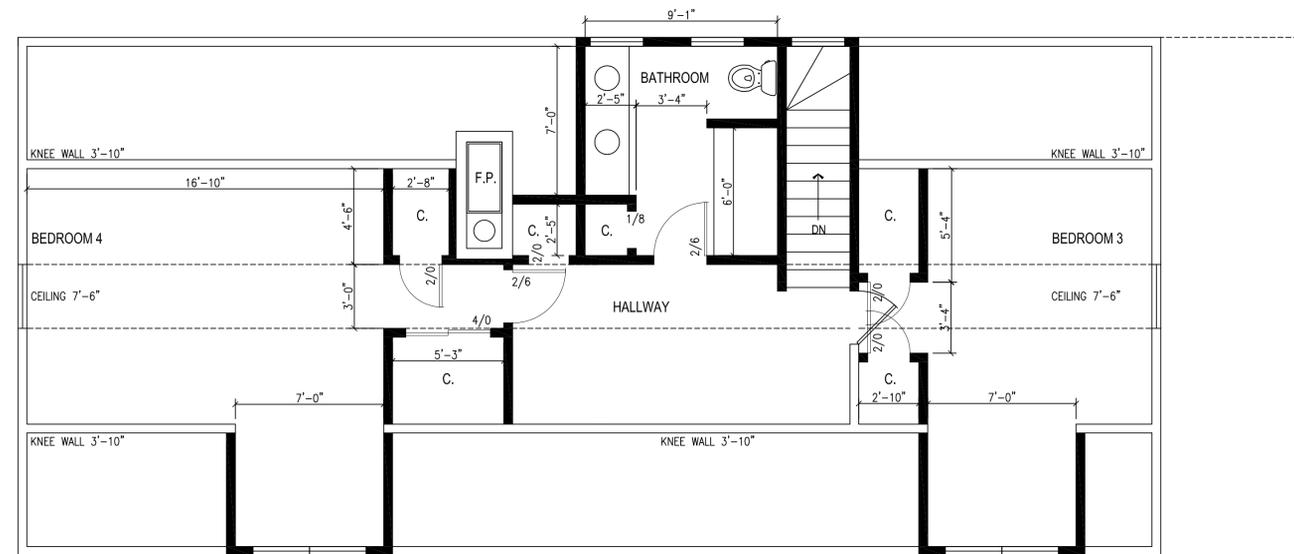
PROJECT NUMBER: 16102
SCALE: AS NOTED
DATE: August 28, 2016
DRAWN: PJS

DESIGN DEVELOPMENT

A101

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



1 SECOND FLOOR PLAN
1/4" = 1'-0"

REVISION HISTORY - THIS SHEET

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ARCHITECTURE | DESIGN | DIRECTION

SECOND FLOOR PLAN

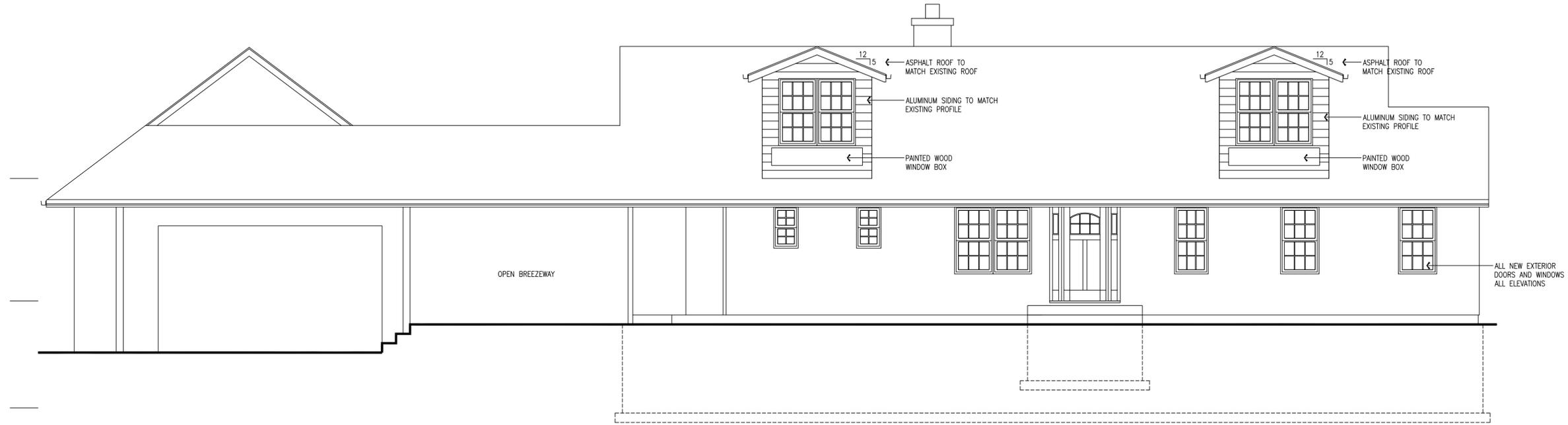


PROJECT NUMBER:	16102
SCALE:	AS NOTED
DATE:	August 28, 2016
DRAWN:	PJS

DESIGN DEVELOPMENT

A102

Flanagan Residence
 600 Kurtis Drive
 Elm Grove, Wisconsin



1 NORTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"

REVISION HISTORY - THIS SHEET

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 Whitefish Bay, Wisconsin 53217
 414.403.8042
 www.design-smith.net
 ARCHITECTURE | DESIGN | DIRECTION

EXTERIOR ELEVATIONS



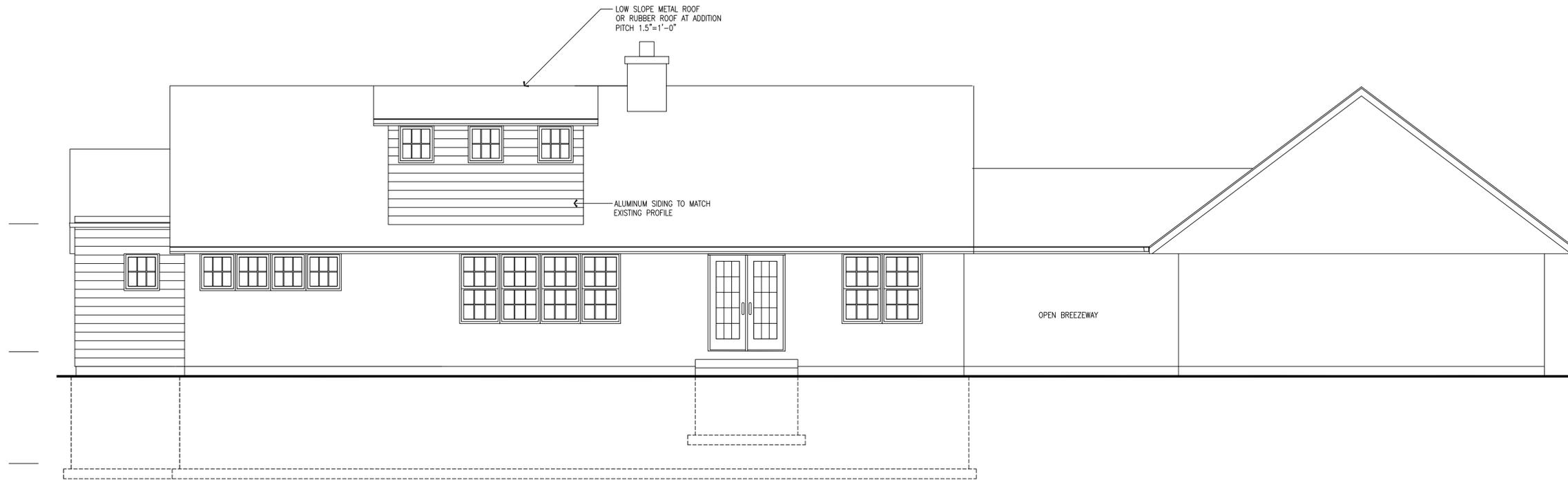
PROJECT NUMBER: 16102
 SCALE: AS NOTED
 DATE: August 28, 2016
 DRAWN: PJS

DESIGN DEVELOPMENT

A400

Flanagan Residence

600 Kurtis Drive
Elm Grove, Wisconsin



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

NO.	DATE	DESCRIPTION

REVISION HISTORY - THIS SHEET

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5916 North Shoreland Avenue
Whitefish Bay, Wisconsin 53217
414.403.8042
www.design-smith.net

ARCHITECTURE | DESIGN | INTERIOR DESIGN

EXTERIOR ELEVATIONS



PROJECT NUMBER: 16102
SCALE: AS NOTED
DATE: August 28, 2016
DRAWN: PJS

DESIGN DEVELOPMENT

A401

PLAT OF SURVEY

LOT 1 OF CERTIFIED SURVEY MAP NO. _____, located in the Northeast ¼ and the Northwest ¼ of the Southeast ¼ of Section 26, Town 7 North, Range 20 East in the Village of Elm Grove, Waukesha County, Wisconsin.

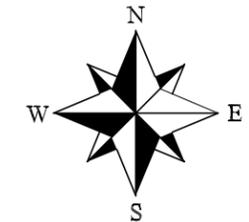
Address: 600 Kurtis Drive



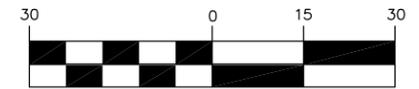
2554 N. 100TH STREET P.O. BOX
26596 WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443
SAI@WI.RR.COM
FREDERICK W. SHIBILSKI R L S

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	DELTA
C1	30.57	21.26	28.00	N34°40'42"E	82°23'14"
C2	77.98	243.59	77.64	N61°44'46"E	18°20'28"

AREA OF PROPERTY: 28,665 Sq. Ft.
Existing Garage: 891 Sq. Ft. (3.11%)
Existing Dwelling: 1,352 Sq. Ft. (4.72%)
Proposed Addition: 86 Sq. Ft. (0.30%)
Proposed Breezeway: 229 Sq. Ft. (0.80%)
Hardscape on property (after construction): 2,652 Sq. Ft. (9.25%)
Total Lot Coverage: 5,210 Sq. Ft. (18.18%)



SCALE : 1" = 30'

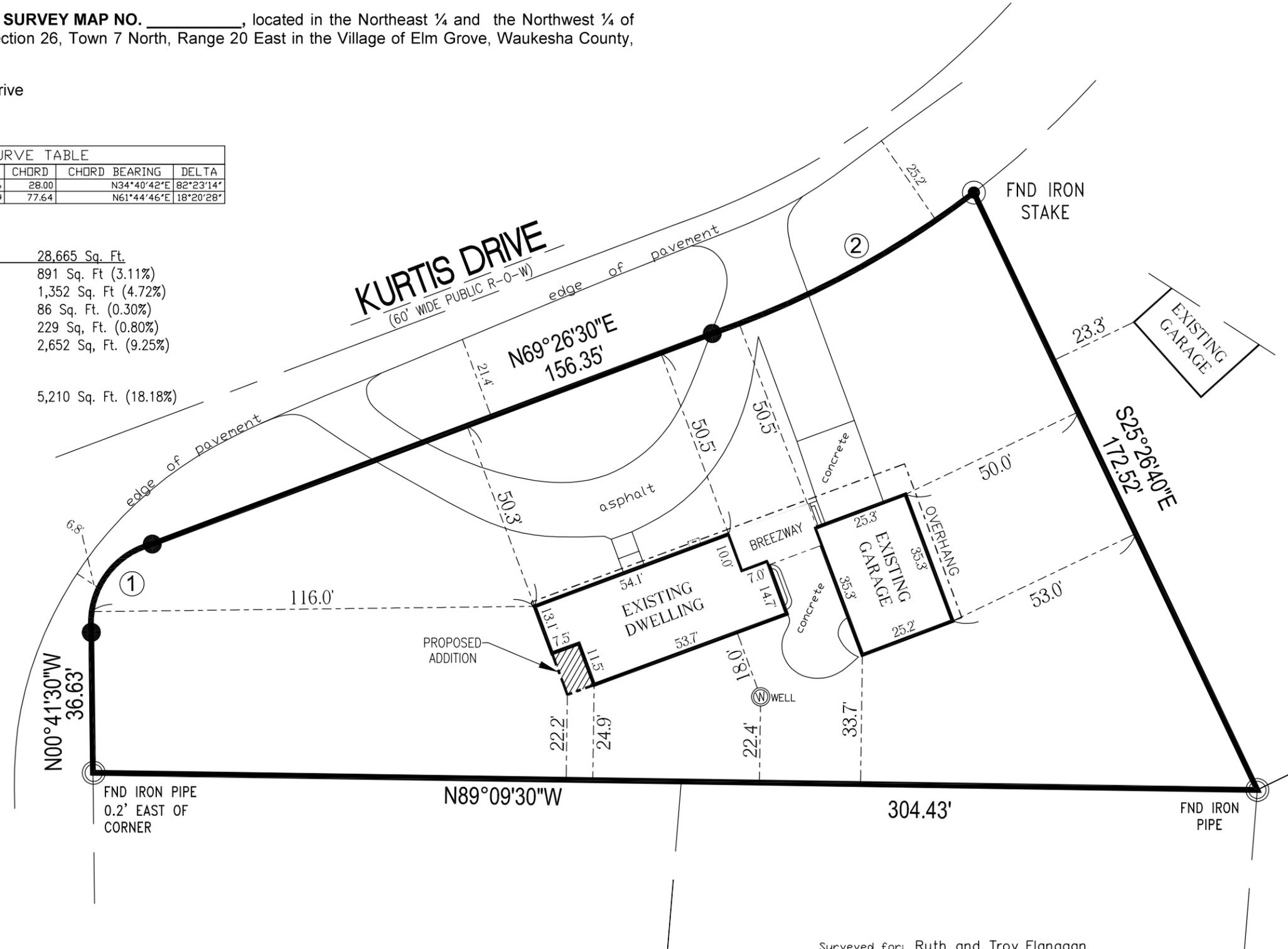


Area of Property = 28,665 Sq. Ft.

LEGEND

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/L - PROPERTY LINE
- ENC. - ENCROACHMENT
- ⊕ - UTILITY POLE
- - WOOD FENCE POST

VERNON PLACE
(60' WIDE PUBLIC R-O-W)

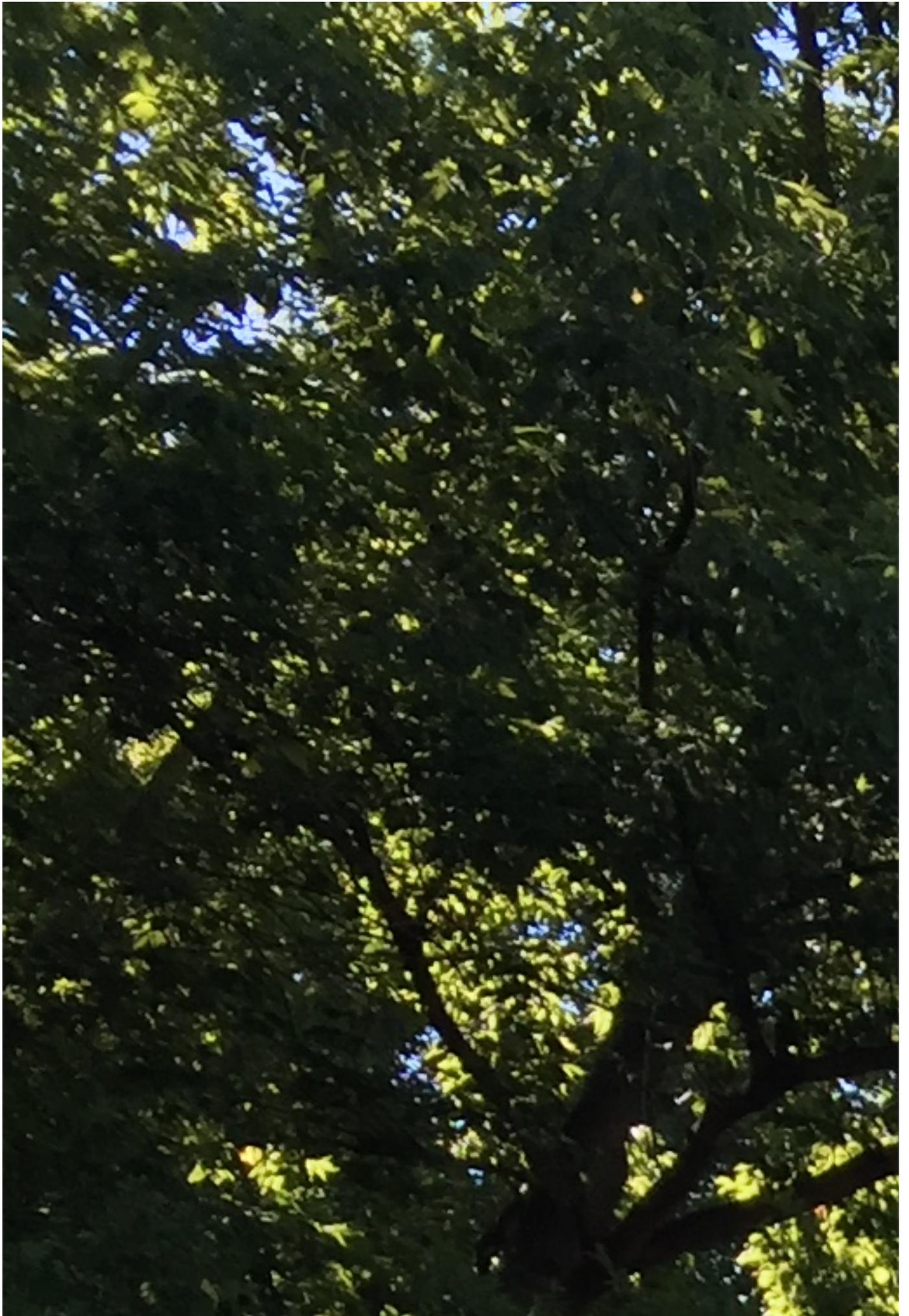


Surveyed for: Ruth and Troy Flanagan

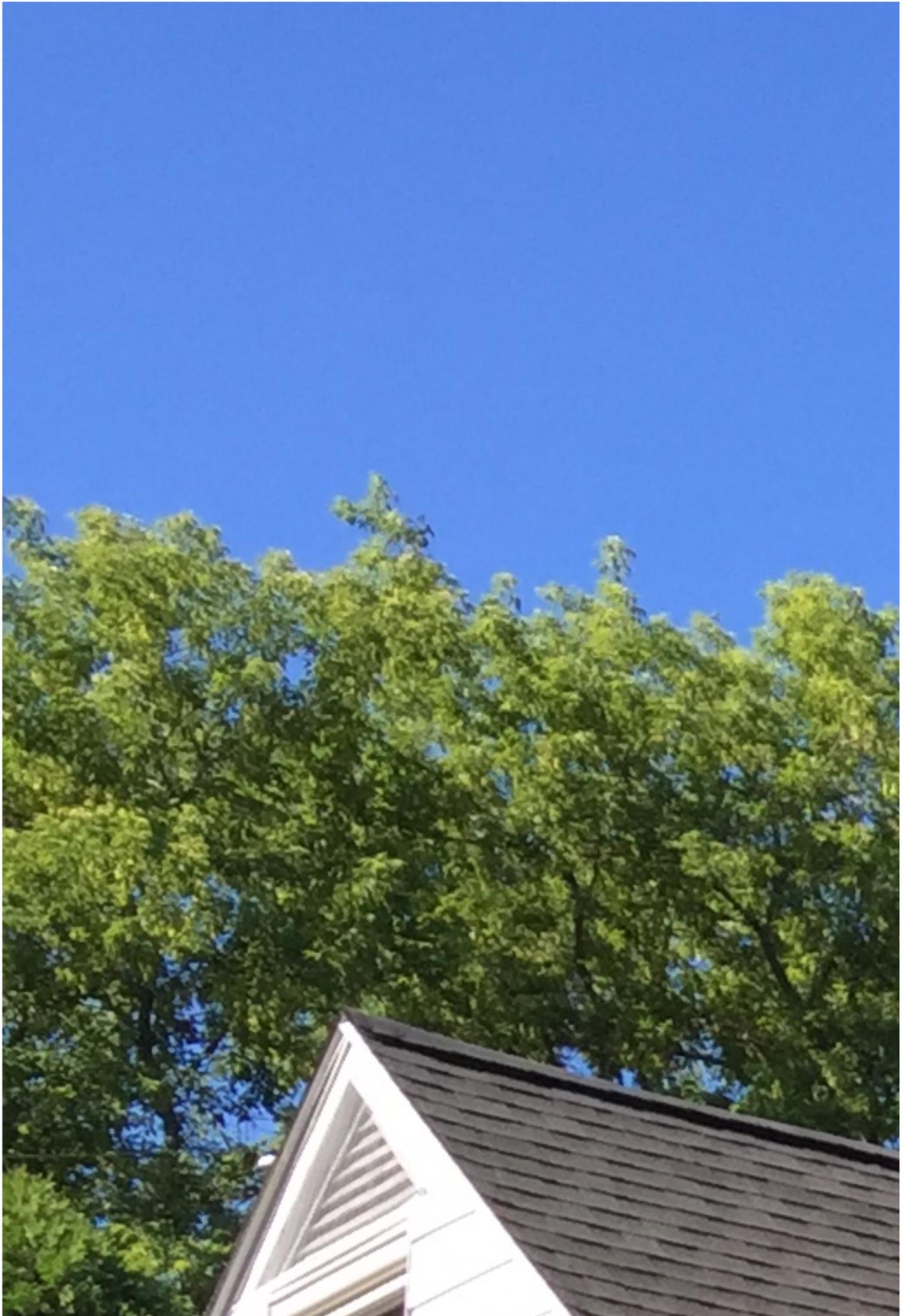
"I have surveyed the above described property from the legal description furnished by the client named on this survey."
"This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."

NOTE: THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.

Jul 29, 2016 - 12:49pm - \\diskstation\SAI_Production\SAI_Jobs_Current\34830 - Flanagan - 600 Kurtis Dr, Elm Grove.dwg, 34830BP.dwg













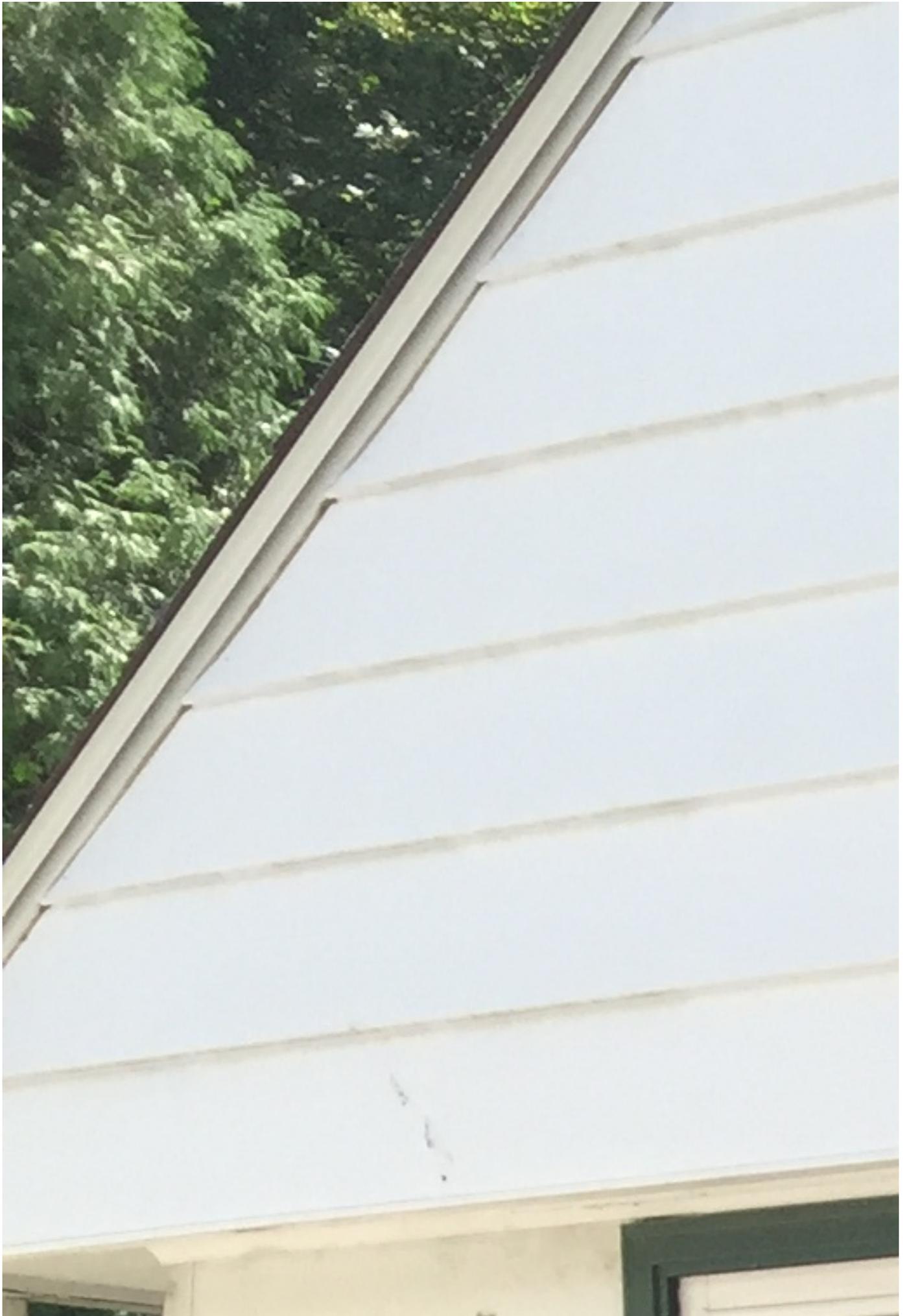














575 Terrace Drive, Elm Grove WI 53122

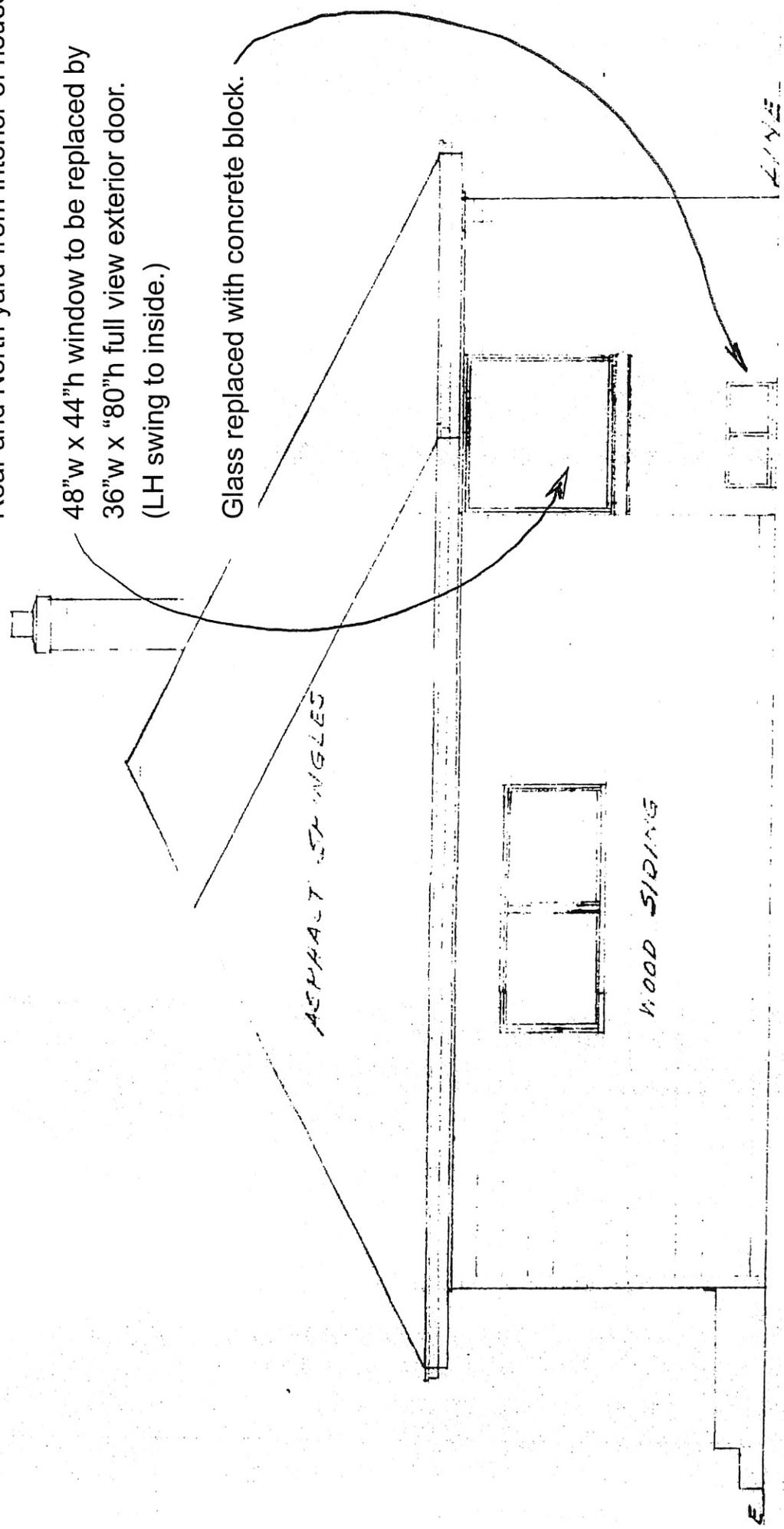
Scope of work to be performed.

1. 48" w x 44" h window to be replaced by 36" w x 80" h full view steel or fiberglass exterior door. See North Elevation.
2. Basement window replaced with concrete block. See North Elevation.
3. 7" stoop/step to door to be constructed and finished with composite material.
4. Brick will be "toothed-in" after door is set.
5. Outside door frame will be finished in white aluminum and will match existing house trim.
6. Garage service door to be moved to garage window location. Area vacated by service door will be replaced with wood siding. See Rear Elevation.

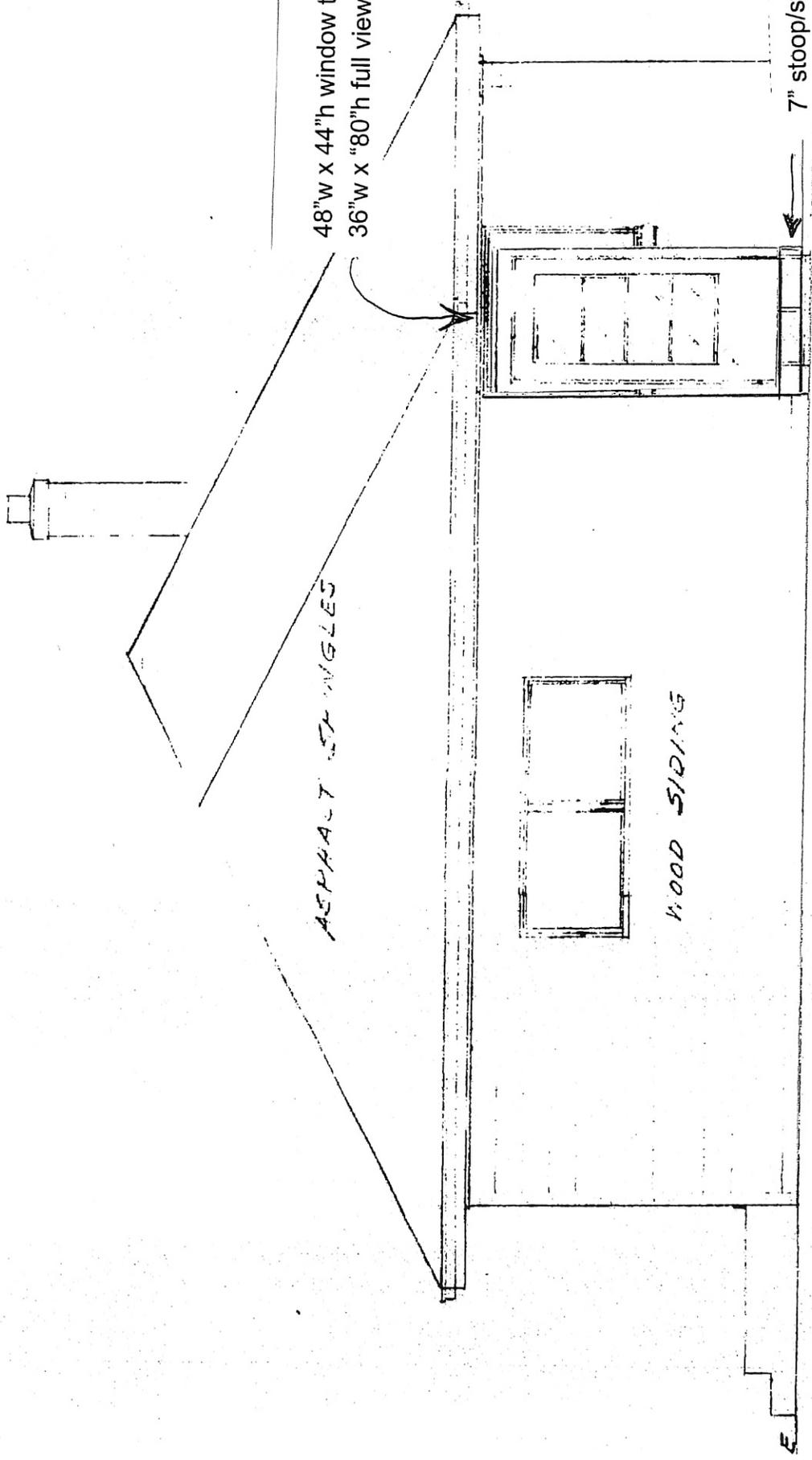
Note 1: Currently, there is no direct access to Rear and North yard from interior of house.

48" w x 44" h window to be replaced by 36" w x 80" h full view exterior door. (LH swing to inside.)

Glass replaced with concrete block.



NORTH ELEVATION
SCALE 1/4" = 1'-0"



48" w x 44" h window to be replaced by
36" w x 80" h full view exterior door.

ASPHALT SHINGLES

WOOD SIDING

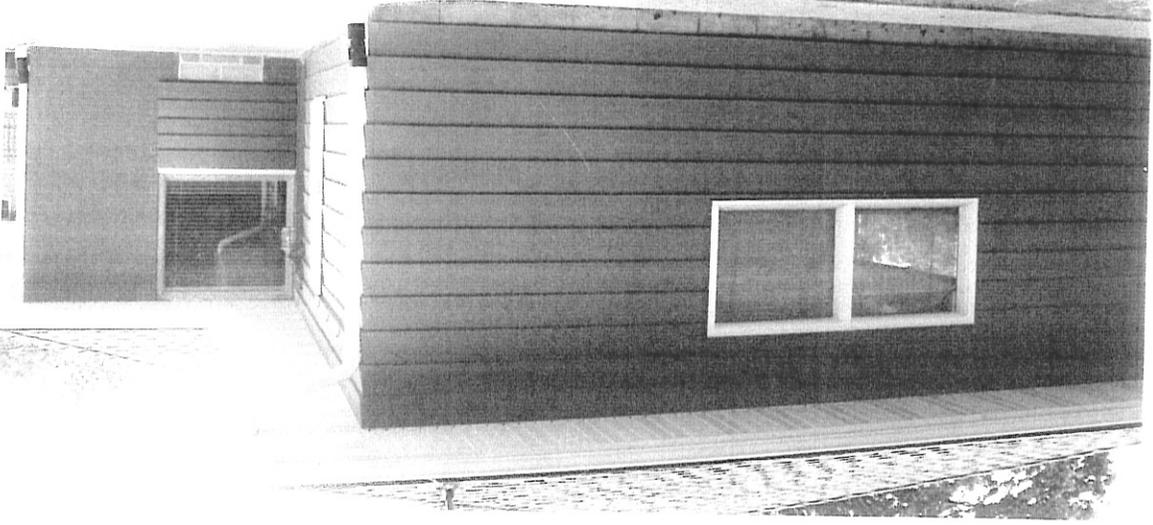
7" stoop/step

NORTH ELEVATION
SCALE 1/4" = 1'-0"

Rear Elev.



North Elev.



575 TOWN OF ...

SENN PLYWOOD & DOOR, INC.
 Address: 16550 W. GLENDALE DR.
 NEW BERLIN, WI 53151

Phone: 262-786-1200
 Fax: 262-786-3874

Email: senplywood@netzero.com

Customer Information

Name: _____
 Address: _____
 Phone 1: _____
 Phone 2: _____
 Fax: _____
 Contact: _____

Job Name:

Specifications

U.D. = 37 5/8" x 82"; R.O. = 38 3/8" x 82 1/2"
 O.M. of Exterior Trim = 40 1/4" x 83 5/16"

Lead Time: Stock (Call to verify)

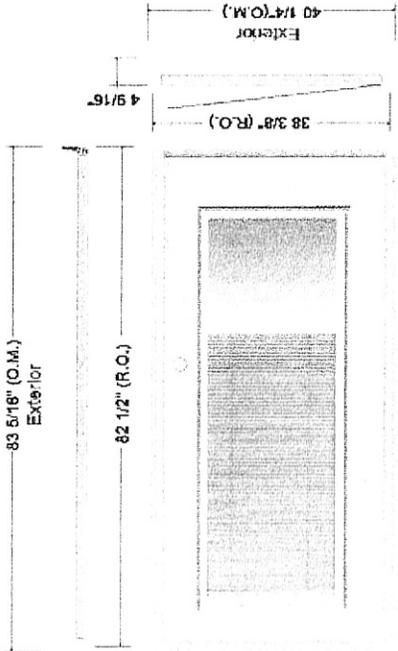


Image is viewed from Exterior!

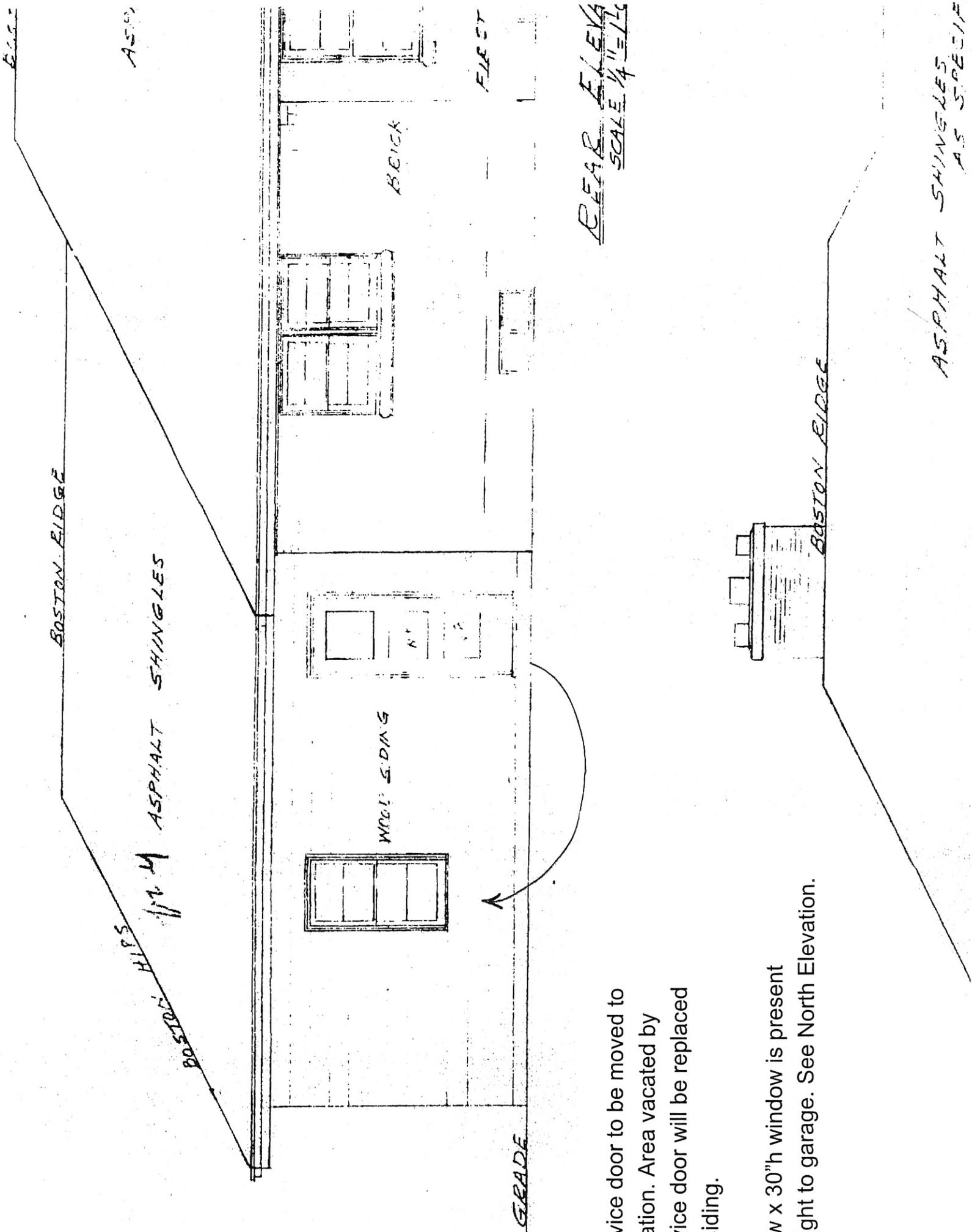
Item Description	Qty
3' 0" x 6' 8" 130-RTLE Profiles High Definition Steel Door - Internal Blind Low E (Raise/Lower/Tilt) - Left Hand	1
Inswing	
2 3/4" Backset - Single Bore w/Mortised Edge Latch Prep	1
Set of Ball Bearing - Satin Brass Hinges	1
Primed DuraFrame Wood Frame - 4 9/16" Jamb w/Brickmould Exterior Trim (Applied) w/Satin Brass Adjustable Security Strike Plate	1
Compression Weatherstrip	1
Composite Adjustable - Mill Finish Sill	1

\$ 515 + TAX



Quote Number: _____
 Date: 7/29/2016

Sales Person: _____

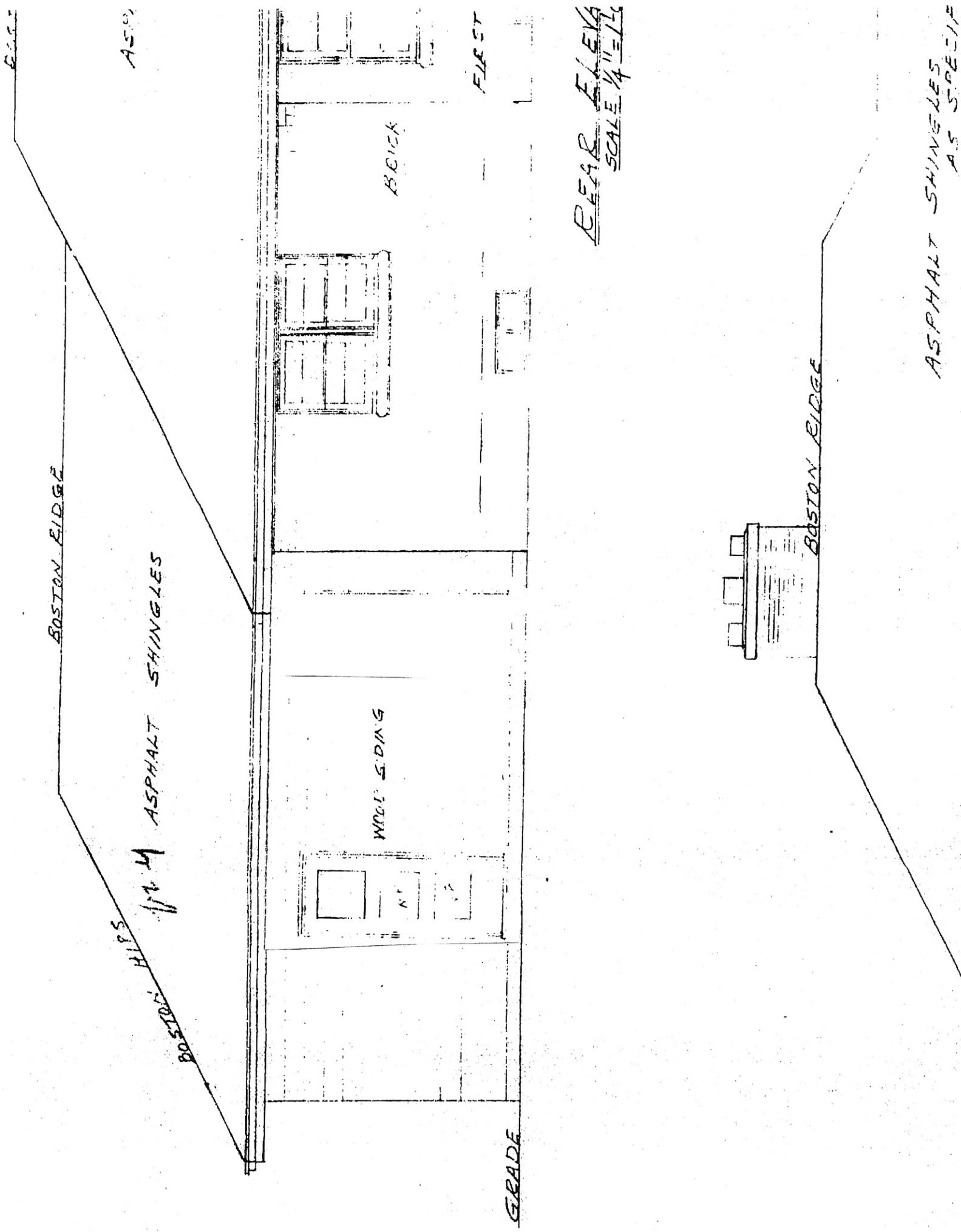


Garage service door to be moved to window location. Area vacated by garage service door will be replaced with wood siding.

Note 2: 48" w x 30" h window is present for natural light to garage. See North Elevation.

REAR ELEVATION
SCALE 1/4" = 1'-0"

ASPHALT SHINGLES
A.S. SPECIF.



BEAR ELEV
SCALE 1/4" = 1'-0"

ASPHALT SHINGLES
AS SPECIF

GREEN HEFFNER RESIDENCE

14875 FROEDTERT DRIVE
ELM GROVE, WI

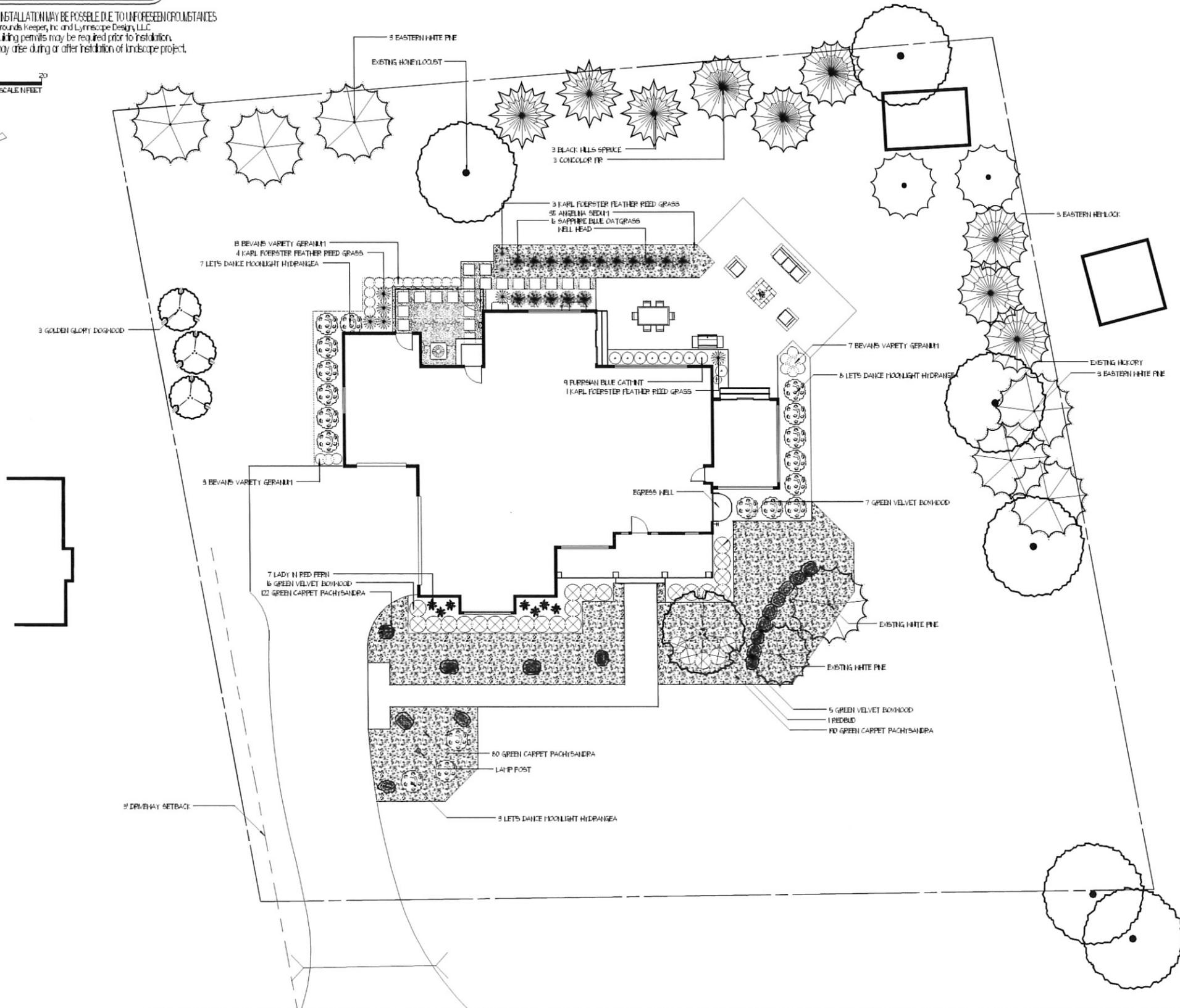
client:		
scale:	1"=20'	date: 7/19/2016
drawn by:	B. Nielsen/L. Hinch	checked by: F. Libick
revision:	8/24/2016	drawing #:

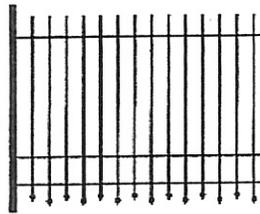
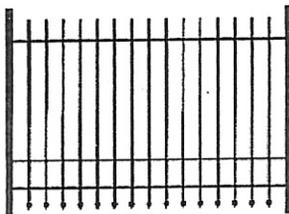
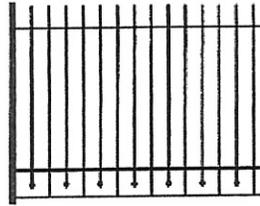
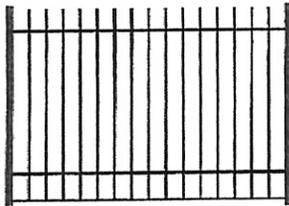
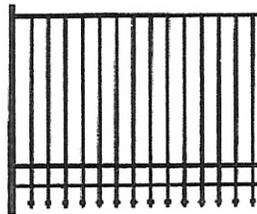
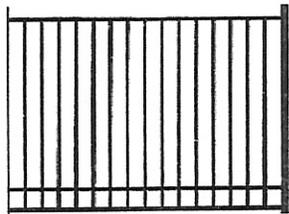
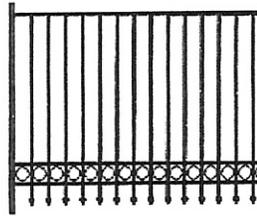
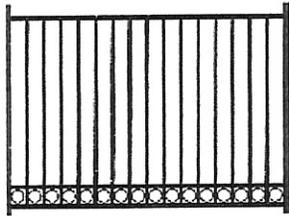
THIS LANDSCAPE PLAN IS A CONCEPTUAL TOOL AND DEVIATING FROM THE PLAN DURING INSTALLATION MAY BE POSSIBLE DUE TO UNFORESEEN CIRCUMSTANCES.
This drawing is protected by copyright laws and remains property of Grounds Keeper, Inc. and Lynnscape Design, LLC.
Verification for code compliance, zoning, setbacks, property lines and building permits may be required prior to installation.
Lynnscape Design, LLC will not be held accountable for any problems that may arise during or after installation of landscape project.



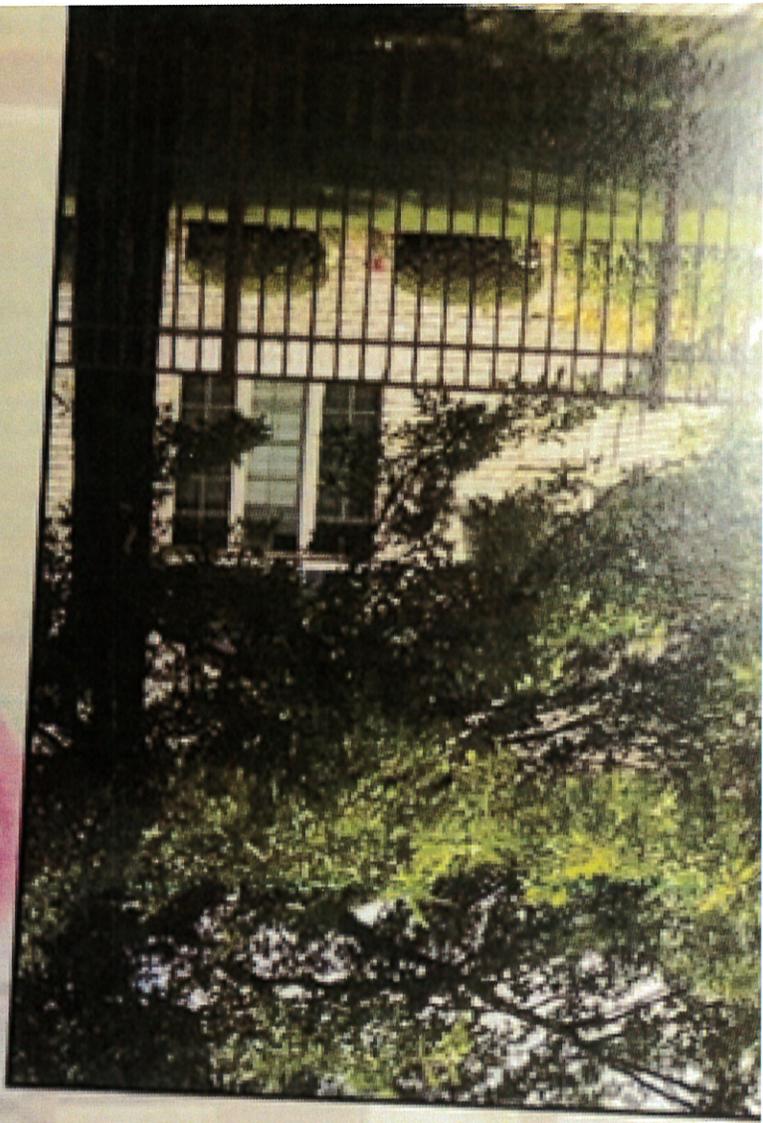
HOUSE: 28x9
DRIVE: 28x6
PATIO: 6x5
FRONT WALK: 5x6
SHED: 8x5
STEPPIER: 6x0
TOTAL: 643 SF

Qty	Common Name
Trees	
3	BLACK HILLS SPRUCE
3	CONCOLOR FIR
3	EASTERN HEMLOCK
6	EASTERN WHITE PINE
1	REDBUD
Shrubs	
5	GOLDEN GLORY DOGWOOD
25	GREEN VELVET BOXWOOD
8	LET'S DANCE MOONLIGHT HYDRANGEA
Ornamental Grasses	
6	KARL FOERSTER FEATHER REED GRASS
6	SAPPHIRE BLUE OUTGRASS
Perennials and Annuals	
36	ANGELINA SEDUM
25	BEVAIS VARIETY GERANIUM
30	GREEN CARPET PACHYSANDRA
7	LADY IN RED FERN
9	PURPSHAN BLUE CATHART





Model 0230 - 3
Heights: 36", 42", 48"
Length: 6' Sections



Model 0220 - 2 R
Height: 48" • Length: 6'



Rails	1" Height x .080" Wall x 1 1/8" Width x .055" Wall
Pickets	5/8" x 5/8" x .045" Wall
Picket Spacing	3.792" between Pickets
Finial Option	Triad, Quad

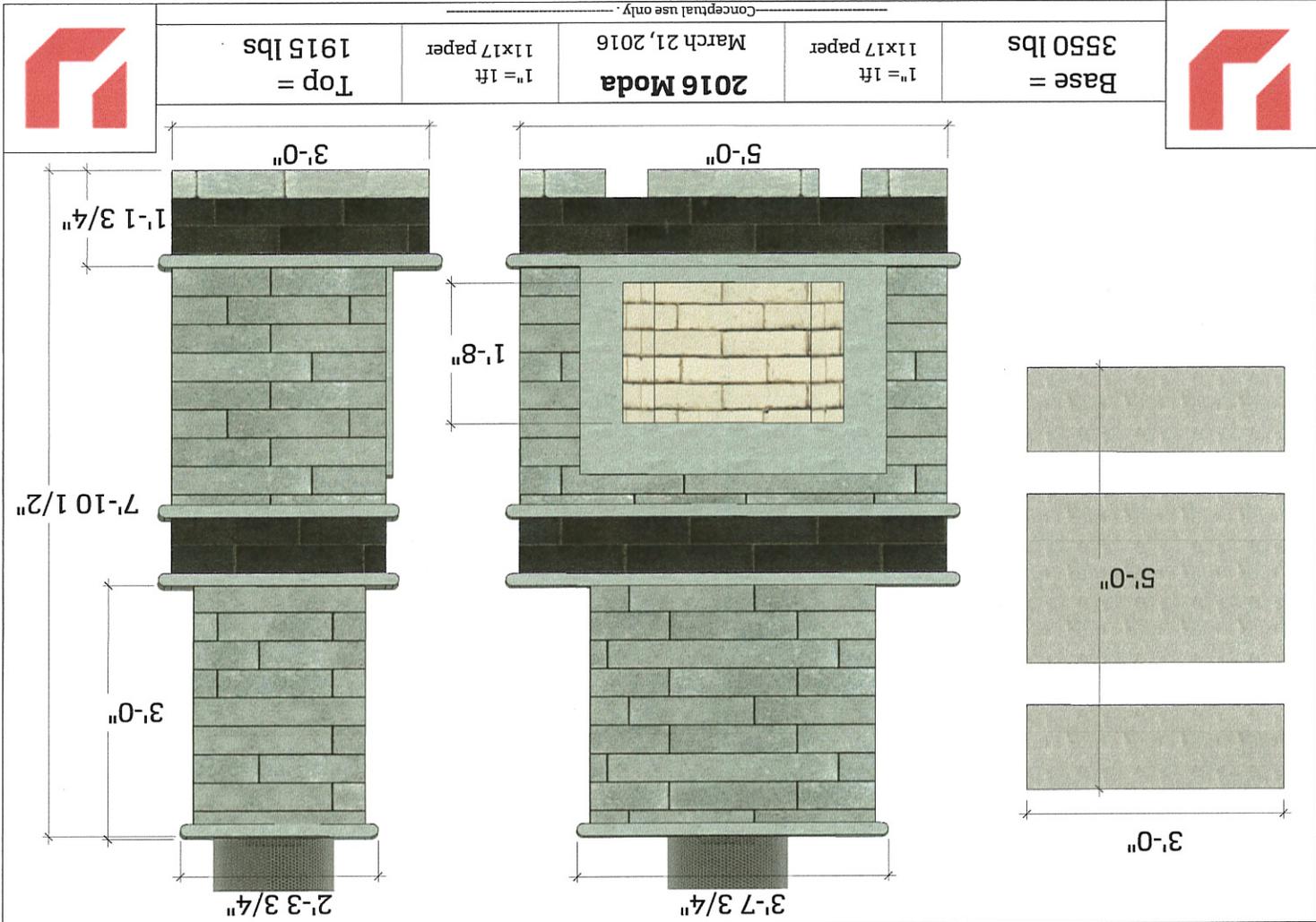
0233

Fence Heights	36", 42", 48", 55", 60"
Posts	2" x 2" x .060" wall w/6' centers
Gate Posts	2" x 2" (.060) w/inserts = .190 Wall
Post Caps	2" Flat Cap/Standard 2" Ball Cap/Optional
Rails	1" Height x .080" Wall x 1 1/8" Width x .055" Wall
Pickets	5/8" x 5/8" x .045" Wall
Picket Spacing	3.792" between Pickets
Finial Option	Triad, Quad

0230

Post Caps	2" Flat Cap/Standard 2" Ball Cap/Optional
Rails	1" Height x .080" Wall x 1 1/8" Width x .055" Wall
Pickets	5/8" x 5/8" x .045" Wall
Picket Spacing	3.792" between Pickets
Finial Option	Triad, Quad

* Meets National Pool Code Req

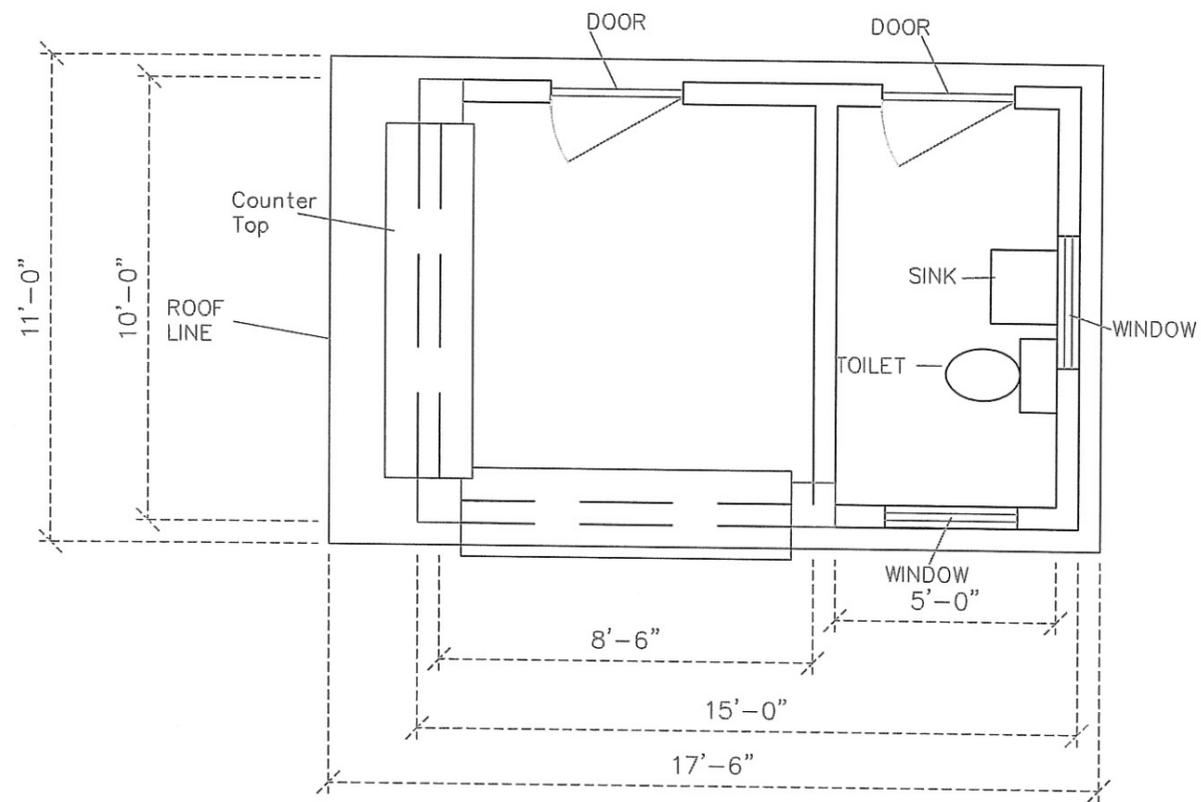


PLANT SCHEDULE revised 8/22/16

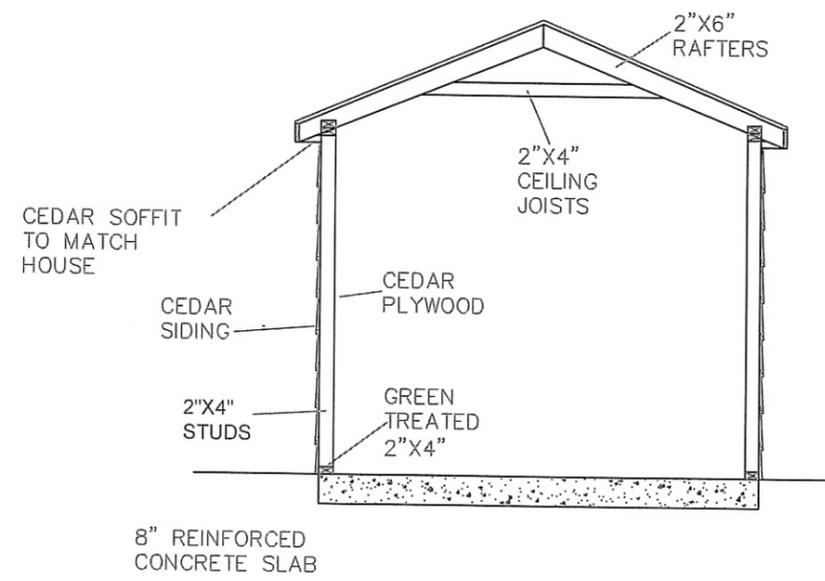
<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>QUANTITY</u>	<u>SIZE</u>
SHADE TREES			
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	5	2-2.5"
EVERGREEN TREES			
Picea glauca densata	Black Hills Spruce	8	5-6'
Juniperus scopulorum 'Bailigh,	Bailigh Sky High Juniper	7	4'
ORNAMENTAL TREES			
Malus 'Tina'	Tina Crabapple	2	2"
EVERGREEN SHRUBS			
Buxus x 'Green Gem'	Green Gem Boxwood	36	10-12"
DECIDUOUS SHRUBS			
Hydrangea macrophylla 'Bloomstruck'	Bloomstruck Hydrangea	6	18-24"
Rosa Meigalpio	Red Drift Rose	6	18"
Rosa 'RADrazz'	Double Knock Out Rose	3	18"
Weigela florida 'Alexandra'	Wine and Roses Weigela	10	18-24"
Syringa 'Palbin'	Dwarf Korean Lilac	1	24-36"
Philadelphus virginalis	Dwarf Minnesota Snowflake		
	Mockorange	3	30-36"
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4	18-24"
PERENNIALS			
Allium x Millenium	Millenium Globe Lily	41	gal
Salvia nemorosa Haeumanarc	Marcus Perennial Salvia	24	gal
Lillium x Crimson Pixie	Crimson Pixie Asiatic Lily	18	4.5"
Lavandula angustifolia Blue River	Blue River Lavender	9	4.5"
Paeonia tenuifolia Plena	Double Fernleaf Peony	5	4.5"
Rudbeckia fulgida speciosa	Viette's little Suzy Showy		
	Coneflower	24	4.5"
Iris sibirica 'Dear Delight'	Dear Delight Siberian Iris	18	4.5"
Heuchera x Marmalade	Marmalade Coral Bells	12	gal.
Nepeta x faassenii 'Kit Kat'	Kit Kat Catmint	24	4.5"
Hemerocallis red 'Eenie Fanfare'	Eenie Fanfare Red Daylily	12	4.5"
Echinacea 'Fatal Attraction'	Fatal Attraction Coneflower	7	gal.
ORNAMENTAL GRASSES			

PLANT SCHEDULE revised 8/22/16

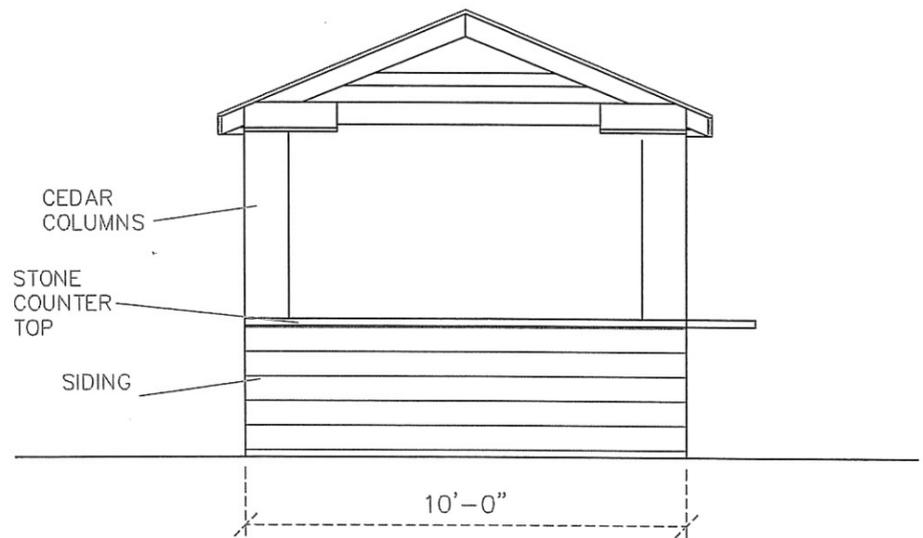
Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	10	gal.
Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	20	gal
Panicum virgatum 'Northwind'	Northwind Switch Grass	8	gal
Panicum virgatum 'Cheyenne Sky"	Cheyenne Sky Switch Grass	3	gal



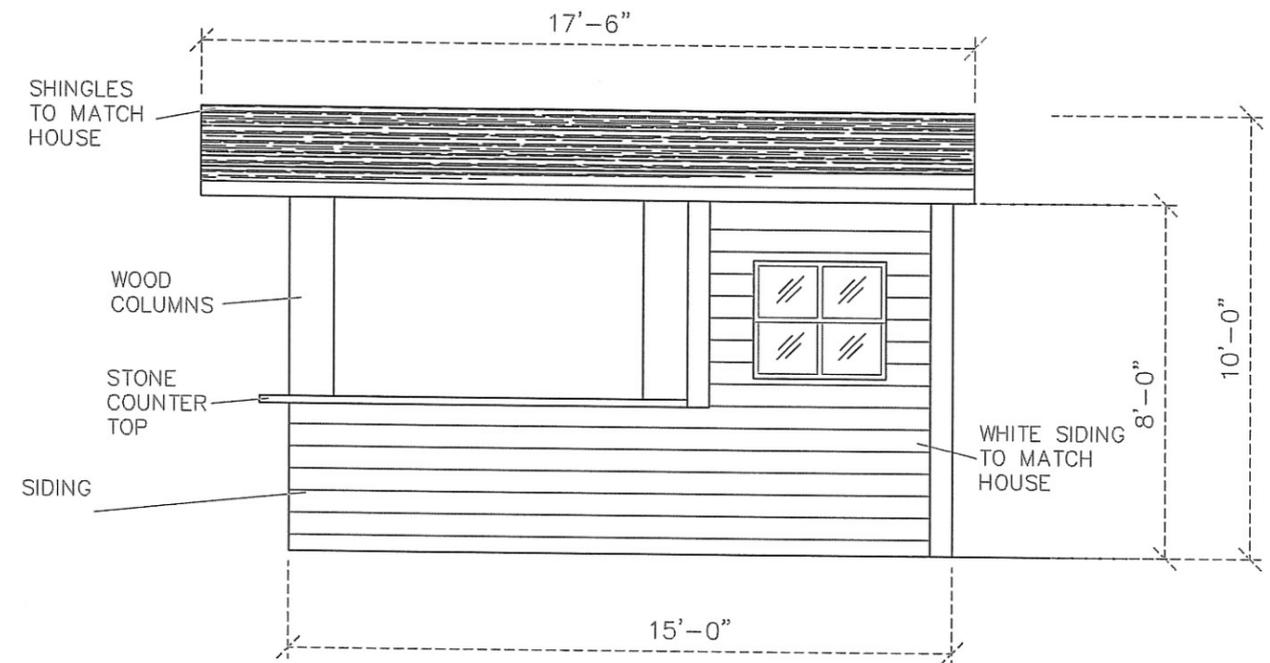
5 POOL CABANA PLAN
SCALE: 1/4" = 1'-0"



6 POOL CABANA SECTION
SCALE: 1/4" = 1'-0"

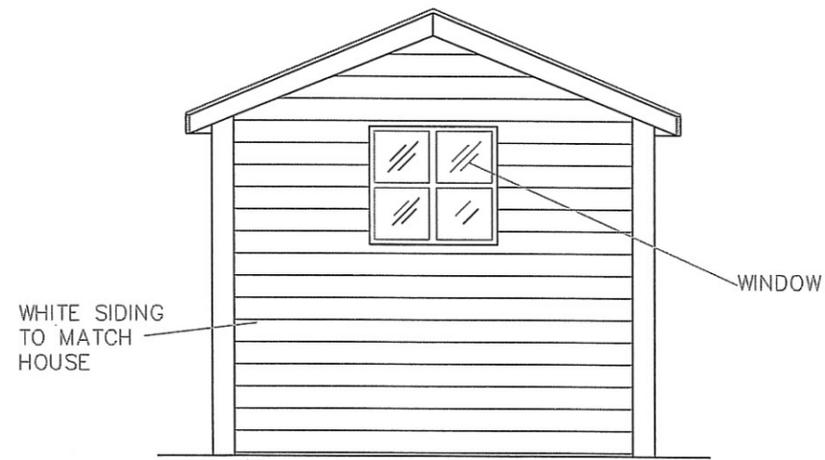


① WEST POOL CABANA ELEVATION
 S-1 SCALE: 1/4" = 1'-0'

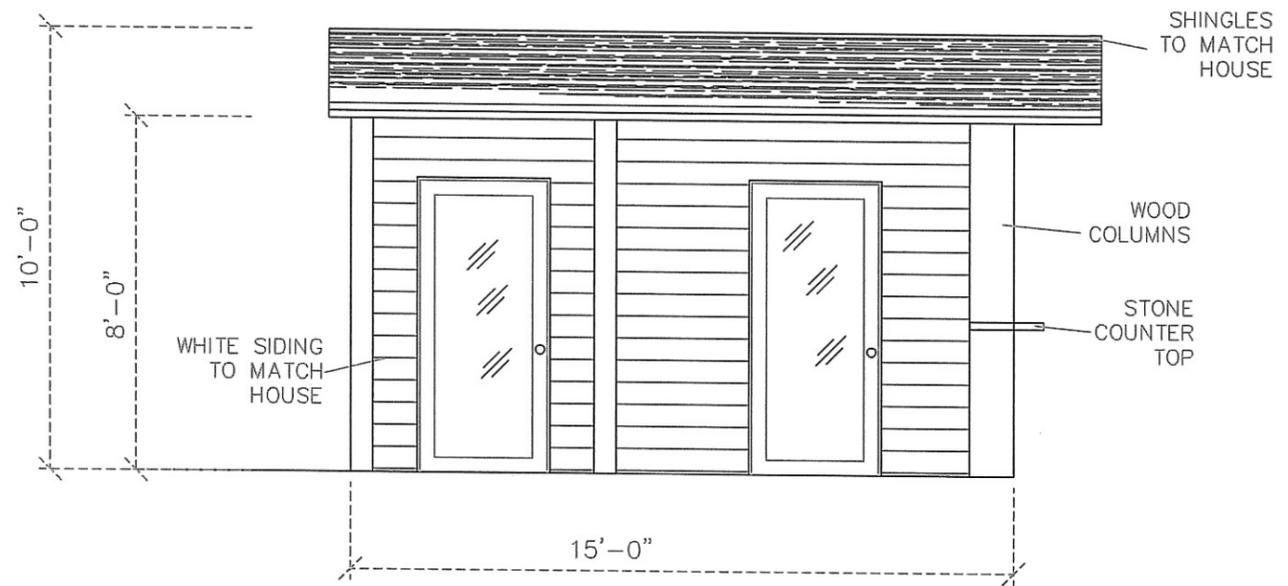


② SOUTH POOL CABANA ELEVATION
 S-1 SCALE: 1/4" = 1'-0'

BUILDING
 150 SQ FT



3 EAST POOL CABANA ELEVATION
 S-1 SCALE: 1/4" = 1'-0"



4 NORTH POOL CABANA ELEVATION
 S-1 SCALE: 1/4" = 1'-0"

A Fence to Fit Every Need

There are a wide variety of Jerith fence styles available in three colors and several heights. You can be sure that there will be a Jerith fence to enhance the beauty of your home, pool or yard.

Residential Fence Styles:

- #101** This traditional wrought iron design has its points even across the top.
- #100** Similar to Style #101, but with staggered picket tops.
- #111** This version of Style #101 is built to accept finials on the pickets instead of the standard spear points. (See Page 13 for information about finials.)
- #401** Similar to Style #101 but with a 1⁵/₈" space between pickets. This fence will keep most pets in your yard. The narrow spacing also makes it difficult for children to obtain a foothold on the fence.

Concord

This distinguished wrought iron design has elegant curves connecting the pickets. Available with standard points or finials centered in the arch.

#202

#200

A classic design with a smooth rail on top rather than points. Our Best Seller! Variation of Style #202 which combines the safety of a top rail with traditional spear points below.

#211

This version of Style #200 allows finials to be used on the pickets below the top rail rather than the standard picket points.

#402

1⁵/₈" spaced version of Style #202 for those who do not want exposed points on their fence, but want the added security of a narrow space between pickets.

#400

Similar to Style #200 but with a narrow 1⁵/₈" spacing between the pickets.

Ovation,

Bravo,

Symphony

These two rail fences have a simple design specifically created to meet the pool enclosure code drafted by the U.S. Consumer Product Safety Commission. (See Page 10 for more information about these designs and pool code.)



STYLE #101

Regency Premium Fence Styles:

(Made with larger components. Pickets do not extend below bottom rail. Details on pages 8 & 9.)

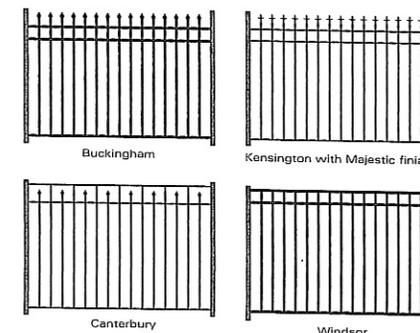
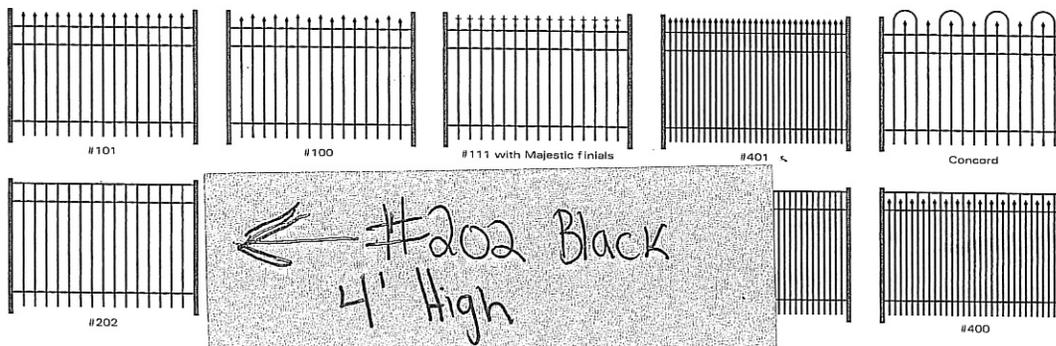
Buckingham Similar in design to Style #101

Kensington Similar in design to Style #111

Canterbury Similar in design to Style #200

Windsor Similar in design to Style #202

NOTE: All 6' high residential fences have four horizontal rails, not three as shown.



BUILDING SURVEYS
LAND DIVISIONS

KUOKKANEN & ASSOCIATES, INC.

910 ELM GROVE RD.
ELM GROVE, WISCONSIN 53122

96-986-8

PHONE: 782-8690

PREPARED FOR: Robert & Mary Olson
LOCATION 675 Meadow Lane (Elm Grove)

DESCRIPTION OF PROPERTY

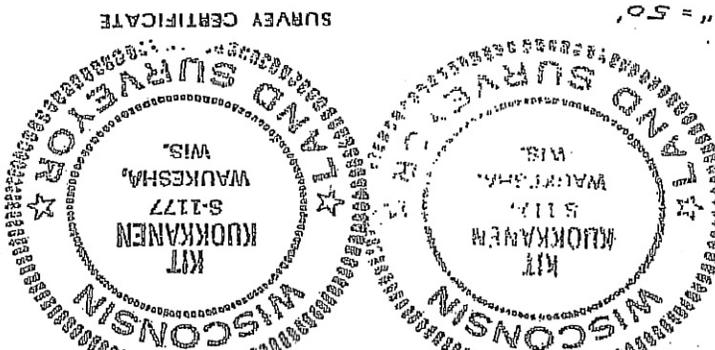
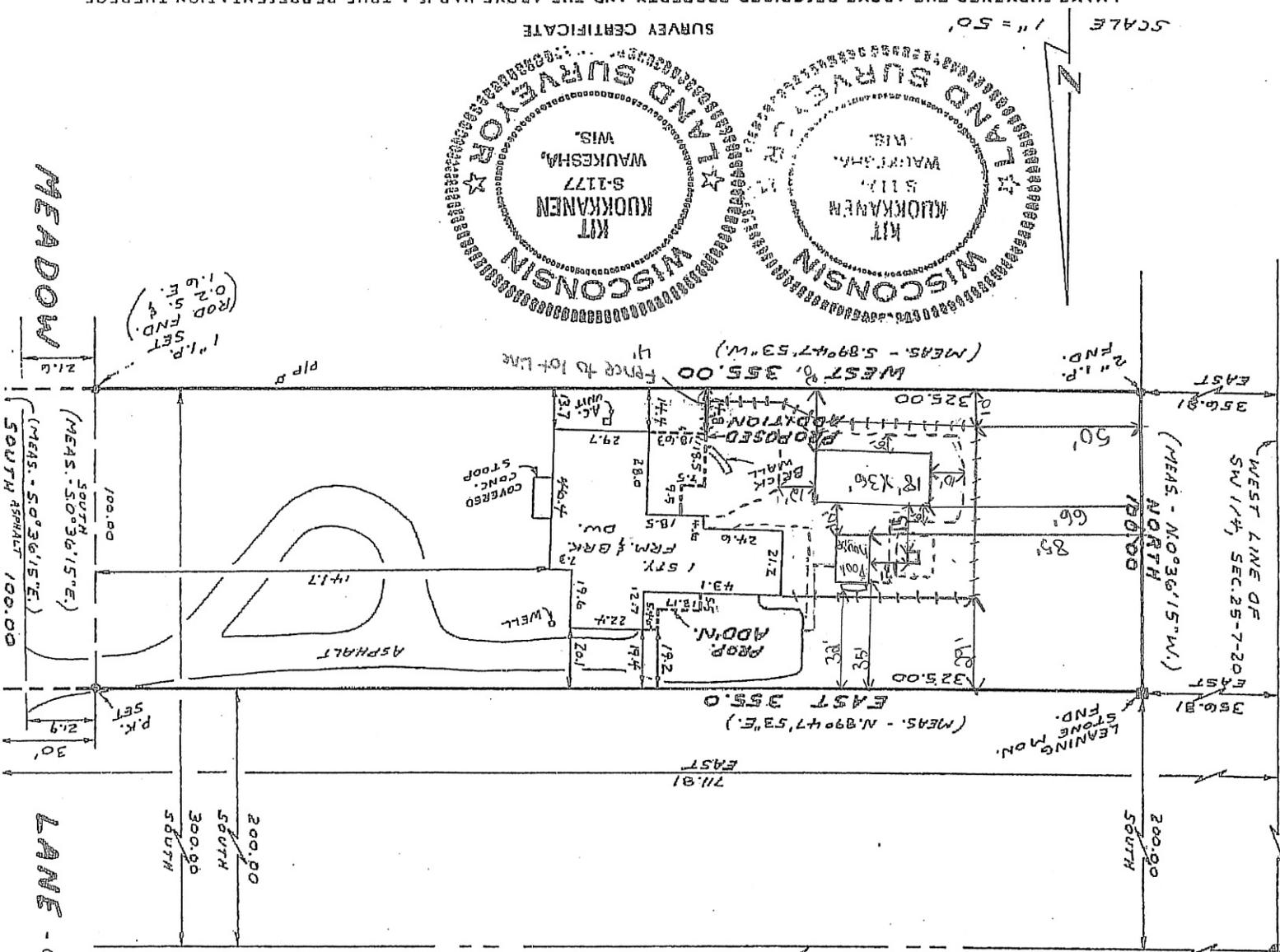
That part of the Southwest 1/4 of Section 25, in Township 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin, bounded and described as follows, to-wit: Commencing at a point 200.00 feet South of the North line and 356.81 feet East of the West line of the Southwest 1/4 of Section 25 aforesaid; thence East on a line which is 200.00 feet South of and parallel to the North line of the Southwest 1/4 of Section 25 aforesaid; 355.0 feet to a point; thence South on a line which is 711.81 feet East of and parallel to the West line of the Southwest 1/4 of Section 25 aforesaid, 100.00 feet to a point; thence West on a line which is 300.00 feet South of and parallel to the North line of the Southwest 1/4 of Section 25 aforesaid, 355.00 feet to a point; thence North on a line which is 356.81 feet East of and parallel to the South line of the Southwest 1/4 of Section 25 aforesaid, 100.00 feet to the place of beginning. Reserving the East 30 feet thereof, for highway purposes. Also known as Lot 22, in Block 2 of the unrecorded plat of Carpenters Elm Grove Subdivision.

APPROVED
VILLAGE OF ELM GROVE
BUILDING BOARD

[Signature]
DATE: 1/17/97

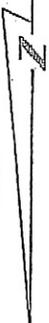
==== = Fence
Pool House = 10' X 15'
□ = Proposed fire pit
--- = Grassy Granite Patio
□ = Pool Mechanicals

NORTH LINE OF SW 1/4, SEC. 25 - 7-20



I HAVE SURVEYED THE ABOVE-DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SCALE 1" = 50'



This 10TH day of JANUARY, 19 97

Dated at

[Signature]

MEADOW

LANE - 60'

Olson Impervious Surface Calculations: 8/19/16

Address: 675 Meadow Lane, Elm Grove

Lot Surface Area - 35,500 SF - 30% Coverage = 10,650 SF

Existing Coverage:

House = 3,553 SF

Driveway = 3,954 SF

Front stoop & walk = 259 SF

Total Existing to Remain =

2,884 SF

Proposed Additions:

Pool House =

150 SF

Pool Patio =

1,620 SF

Total Proposed Additions =

1,770 SF

Total Lot Cover age after proposed Improvements = 9,536 SF

GENERAL NOTES:

1. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL GENERAL AND SPECIFIC REQUIREMENTS
2. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED, NOTIFY ARCHITECT IMMEDIATELY. FOR WRITTEN CLARIFICATION.
3. EACH SUB-CONTRACTOR SHALL CAREFULLY EXAMINE DRAWINGS AND SITE PRIOR TO BIDDING TO ASCERTAIN EXTENT OF NEW CONSTRUCTION REQUIRED. EXISTING CONDITIONS ARE SHOWN BASED ON ORIGINAL DRAWINGS AND FIELD OBSERVATIONS AND MAY VARY. ANY DISCREPANCIES FOUND IN THE DRAWINGS OR EXISTING CONDITIONS ARE TO BE REPORTED TO HOM, DESIGN LLC IMMEDIATELY. ALL DISCREPANCIES WILL BE CLARIFIED IN WRITING.
4. IT SHOULD BE UNDERSTOOD BY ALL CONTRACTORS THAT THE OLD CONSTRUCTION MAY NOT BE COMPLETELY SQUARE, PLUMB OR TRUE, AND THAT ALL DIMENSIONS SHALL BE FIELD-VERIFIED AND ADJUSTED AS REQUIRED. FAILURE TO DO SO WILL IN NO WAY RELIEVE CONTRACTOR OF COMPLETING HIS WORK ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS AT NO ADDITIONAL COST. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL REQUESTS FOR INFORMATION, INTERPRETATION, INTENT, ETC. MUST BE MADE AT LEAST (1) DAYS PRIOR TO BID DUE DATE. RESPONSES WILL BE CONFIRMED IN WRITING. HOM DESIGN LLC. WILL NOT BE RESPONSIBLE FOR ANY VERBAL INFORMATION.
6. VERIFY ALL DIMENSIONS AND UTILITY REQUIREMENTS OF ALL EQUIPMENT SUPPLIED BY OWNER PRIOR TO CONSTRUCTION RELATED TO THE PLACEMENT OF THE OWNERS EQUIPMENT. NOTIFY HOM DESIGN LLC. OF DISCREPANCY PRIOR TO CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME KNOWLEDGEABLE OF THE CONSTRUCTION REQUIREMENTS OF THE OWNER AND/OR OPERATOR. ALL CONDITIONS RELATIVE TO THE CONTRACTOR COMPLETING WORK WITHIN THE BUILDING TIME FRAME MUST BE ADHERED TO.
8. ALL WORK IS TO BE COMPLETED USING GOOD AND ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF MATERIALS ARE NOT SPECIFIED AND SPECIFICS ARE REQUIRED, THE CONTRACTOR MAY SUGGEST MATERIALS TO THE OWNER AND THE DESIGNER FOR THEIR REVIEW AND APPROVAL. THE GENERAL CONTRACTOR HAS THE RIGHT AND RESPONSIBILITY TO REJECT WORK OR MATERIALS THAT DO NOT CONFORM TO THE INTENT OF THE PROJECT OR ARE NOT ACCEPTABLE QUALITY.
9. CONTRACTORS WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.
10. CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS INCLUDED WITHIN THE LIMITS OF THEIR CONTRACT. INCLUDE ALL LABOR TAXES, PERMIT FEES, MATERIALS, BLOCKING, EQUIPMENT, AND/OR ITEMS REQUIRED FOR THEIR COMPLETION.
11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE OWNER/ CONSTRUCTION MANAGER AND OTHER CONTRACTORS. WORK BY ANOTHER CONTRACTOR WHICH WOULD CHANGE OR ALTER WORK OF THE CONTRACTOR IN ANY WAY OR WHICH WOULD PREVENT THE CONTRACTOR FROM COMPLETING HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS MUST BE REPORT IMMEDIATELY TO HOM DESIGN LLC.
12. CONTRACTORS SHALL PROVIDE SHOP DRAWINGS, MATERIALS SAMPLES, RELEVANT TECHNICAL DATA, FINISH SAMPLES, CATALOG CUTS, ETC. FOR GENERAL CONTRACTOR'S REVIEW AND ACTION PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS TO INCLUDE BUT ARE NOT LIMITED TO CABINETRY, SIGNAGE, DOORS, HARDWARE, STEEL, ETC.,
13. CONTRACTORS SHALL COORDINATE THEIR SCHEDULES WITH THE GENERAL CONTRACTOR.
14. CONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEMSELVES DAILY.
15. CONTRACTORS SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PORTIONS DAMAGES DURING CONSTRUCTION.
16. ALL CONTRACTORS SHALL GUARANTEE ALL THEIR WORK UNDER CONTRACT AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF RECEIVING OCCUPANCY.COM
17. ALL CONTRACTOR SHALL PROVIDE ALL NECESSARY INSURANCE, PROGRESS SCHEDULES, PERMITS, AND OTHER PROVISIONS REQUIRED IN ACCORDANCE WITH AIA GENERAL CONDITION OF THE CONTRACT AND FOR CONSTRUCTION AND AS REQUIRED BY OWNER.
18. EACH CONTRACTOR MUST COMPLY FULLY WITH OSHA REGULATIONS FOR CONSTRUCTION.
19. OWNER SHALL FURNISH TEMPORARY SANITARY FACILITIES, WATER, AND ELECTRICAL. GENERAL CONTRACTOR SHALL MAINTAIN THE SAME TO BE IN GOOD WORKING ORDER.
20. ALL PLUMBING, HVAC, AND ELECTRICAL WORK SHALL BE COMPLETED AS A "DESIGN/BUILD" PROCESS. THESE CONTRACTORS SHALL PROVIDE ALL DESIGN DRAWINGS, CALCULATIONS, FEES, ETC. TO SECURE ALL REQUIRED PERMITS. THEY SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS, LABOR, ETC. TO COMPLETE THEIR WORK AS SHOWN ON THEIR DRAWINGS AND AS NOTED ON ARCHITECTURAL DRAWINGS. ALLOW FOR THE COST OF COORDINATION WITH OTHER TRADES. ALL WORK SHALL MEET ALL STATE AND LOCAL CODES, ETC.



NOTE: NTS
 "Conceptual" Rendering is for Reference Only. Please refer to Exterior Elevations for accurate depiction

PROJECT:
Crotty-Troy Residence

Address:
 Victoria Circle
 Elm Grove, WI

BUILDING DATA:

First Floor	3,408 s.f.
Second Floor	2,780 s.f.
Total	6,188 s.f.
Lower Level Area (fin.)	
Garage 1	648 s.f.
Garage 2	600 s.f.

GENERAL NOTES:

- Foundation Ht. 10'-0"
- First Floor Ht. 10'-0"
- Second Floor Ht. 8'-0"

INDEX OF DRAWINGS

- 1 Index of Drawings
- 2 Foundation Plan
- 3 Lower Level Plan, Stair Details
- 4 First Floor Plan
- 5 Second Floor Plan
- 6 Roof Plan
- 7 Front Elevation
- 8 Left Side & Right Side Elevations
- 9 Rear Elevation, Truss Details
- 10 Interior Elevations
- 11 Building Cross Section
- 12 Wall Sections, Details
- 13 Electrical Layout - 1st Floor
- 14 Electrical Layout - 2nd Floor
- 15 Electrical Layout - Lower Level

CROTTY-TROY RESIDENCE

Revision:

1015 MADERA CIRCLE
 ELM GROVE, WI 53122
 PHONE (262) 501-7447
 EMAIL: homdesign@wi.rr.com

CONTRACT SET

PROJECT: New Residence
 JOB NO. 16-11
 DATE: August 08, 2016

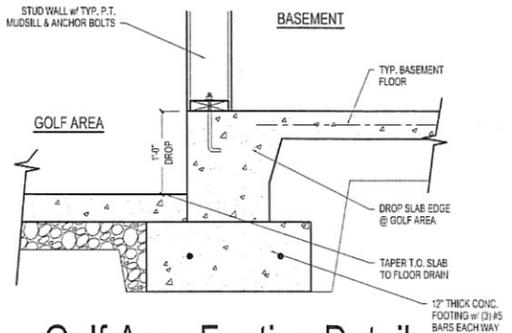
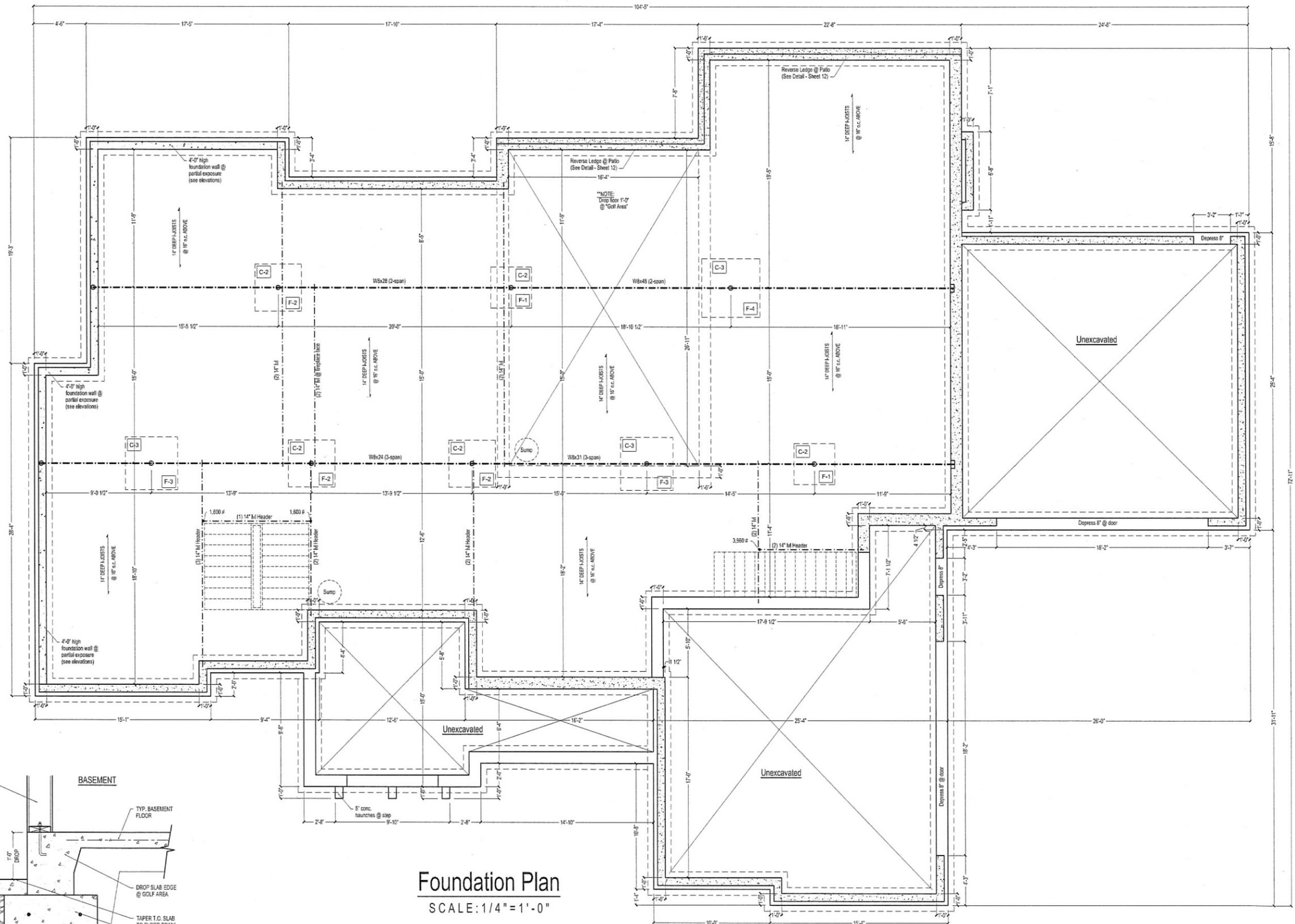
SHEET:

1

Footing Schedule	
F-1	42" X 42" X 12" w/ (4) # 5 bars each way
F-2	48" X 48" X 12" w/ (4) # 5 bars each way
F-3	54" X 54" X 12" w/ (5) # 5 bars each way
F-4	60" X 60" X 12" w/ (5) # 5 bars each way

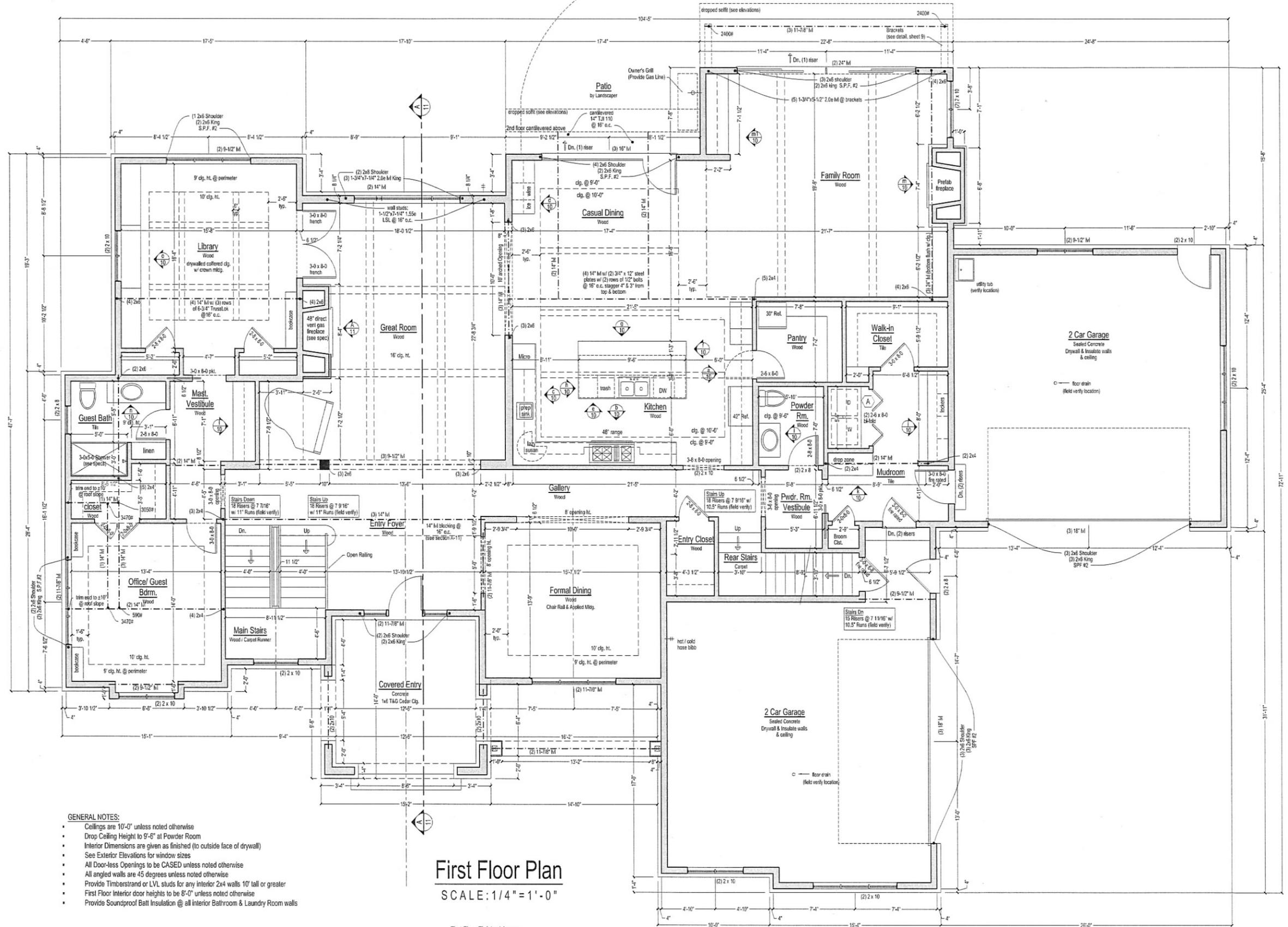
Column Schedule	
C-1	3" Diam. Std. Pipe Column w/ 8 x 8 x 1/2 Base Plate 7.58#/ft. .201 wall
C-2	3-1/2" Diam. Std. Pipe Column w/ 8 x 8 x 5/8 Base Plate 9.12 #/ft. .211 wall
C-3	4" Diam. Std. Pipe Column w/ 10 x 10 x 3/4 Base Plate 10.6 #/ft. .221 wall

FLOOR DEFLECTION VALUES For Joists:
 - Live Load deflection for Areas with Carpet or wood should be L/480 or Stiffer
 - Live Load deflection for Areas with Tile should be L/720 or Stiffer



Golf Area Footing Detail
SCALE: 1" = 1'-0"

Foundation Plan
SCALE: 1/4" = 1'-0"



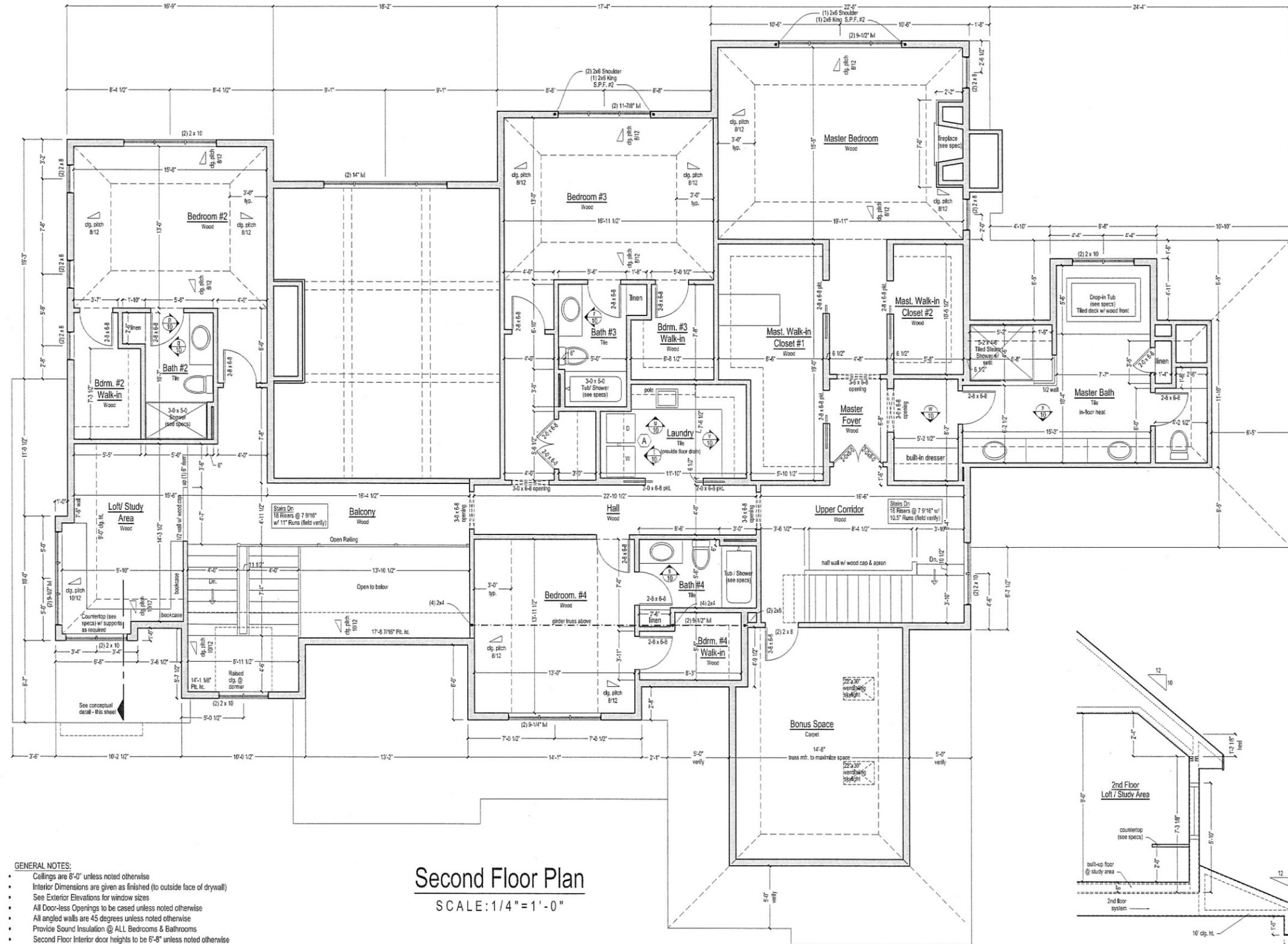
- GENERAL NOTES:**
- Ceilings are 10'-0" unless noted otherwise
 - Drop Ceiling Height to 9'-6" at Powder Room
 - Interior Dimensions are given as finished (to outside face of drywall)
 - See Exterior Elevations for window sizes
 - All Door-less Openings to be CASED unless noted otherwise
 - All angled walls are 45 degrees unless noted otherwise
 - Provide Timberstrand or LVL studs for any interior 2x4 walls 10' tall or greater
 - First Floor Interior door heights to be 8'-0" unless noted otherwise
 - Provide Soundproof Batt Insulation @ all interior Bathroom & Laundry Room walls

First Floor Plan
SCALE: 1/4" = 1'-0"

First Floor Finished Areas:

First Floor	3,408 s.f.
Garage 1	648 s.f.
Garage 2	600 s.f.

FLOOR PLAN NOTES KEY:
 (A) Provide "Hook-up" for Washer and Dryer as well as Floor Drain



- GENERAL NOTES:**
- Ceilings are 8'-0" unless noted otherwise
 - Interior Dimensions are given as finished (to outside face of drywall)
 - See Exterior Elevations for window sizes
 - All Door-less Openings to be cased unless noted otherwise
 - All angled walls are 45 degrees unless noted otherwise
 - Provide Sound Insulation @ ALL Bedrooms & Bathrooms
 - Second Floor Interior door heights to be 6'-8" unless noted otherwise
 - Provide Sound Bath Insulation at Bedroom #3 shared wall with Great Room

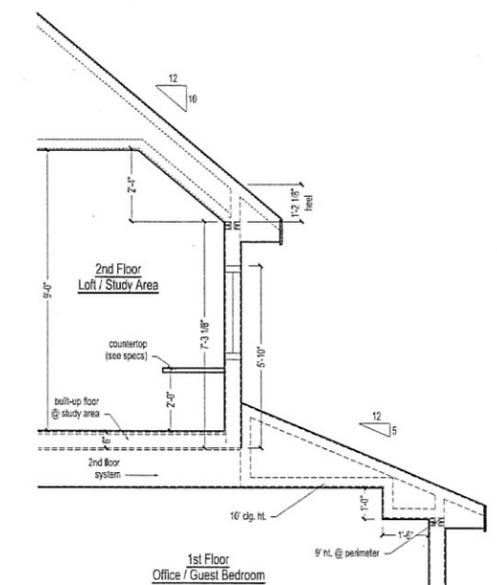
Second Floor Plan
SCALE: 1/4" = 1'-0"

Second Floor Finished Areas:

Second Floor	2,780 s.f.
Bonus	273 s.f.

FLOOR PLAN NOTES KEY:

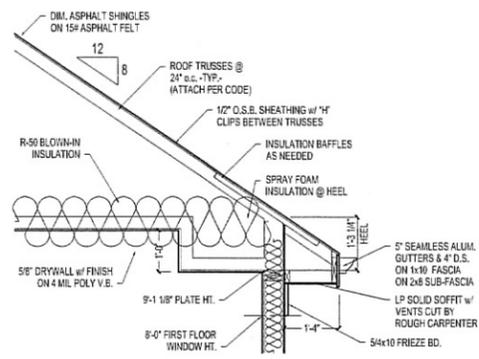
(A) Provide "Hook-up" for Washer and Dryer as well as Floor Drain



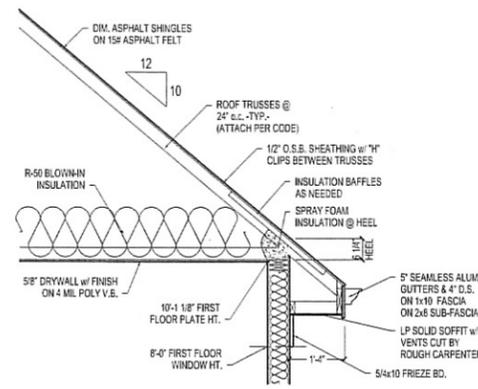
Conceptual Section @ Study Area
SCALE: 3/8" = 1'-0"

Truss Heel Details

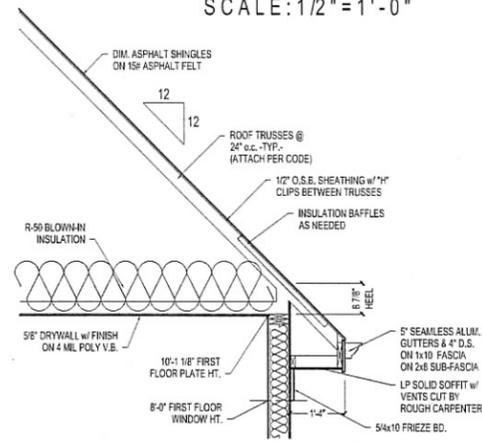
SCALE: 1/2" = 1'-0"



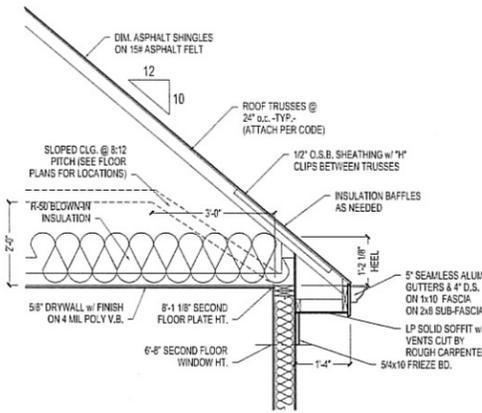
1st Floor - 8:12 Pitch
@ Office / Guest Bedroom



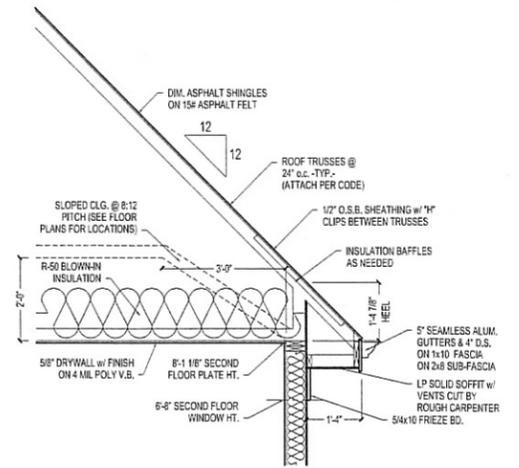
1st Floor - 10:12 Pitch



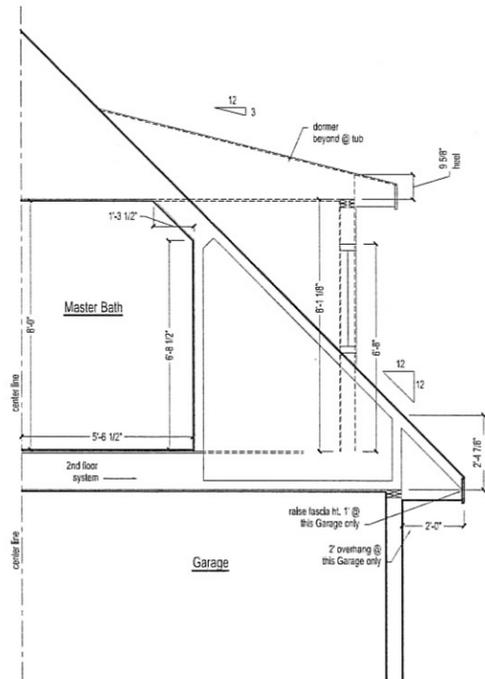
1st Floor - 12:12 Pitch



2nd Floor - 10:12 Pitch

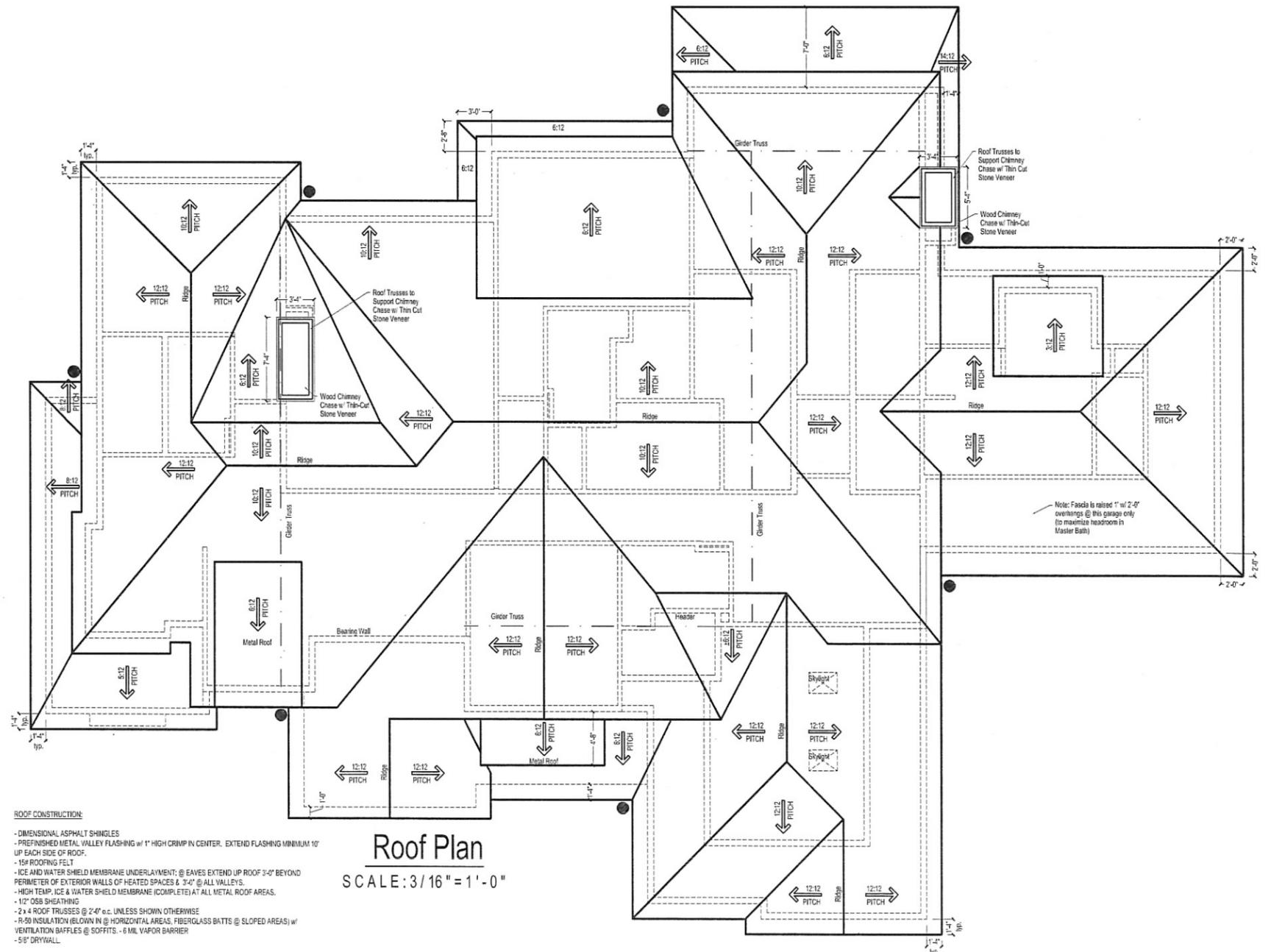


2nd Floor - 12:12 Pitch



Conceptual Section @
Garage / Master Bath

SCALE: 3/8" = 1'-0"



Roof Plan

SCALE: 3/16" = 1'-0"

- ROOF CONSTRUCTION:**
- DIMENSIONAL ASPHALT SHINGLES
 - PREFINISHED METAL VALLEY FLASHING w/ 1" HIGH CRIMP IN CENTER. EXTEND FLASHING MINIMUM 10" UP EACH SIDE OF ROOF.
 - 15# ROOFING FELT
 - ICE AND WATER SHIELD MEMBRANE UNDERLAMENT; @ EAVES EXTEND UP ROOF 3'-0" BEYOND PERIMETER OF EXTERIOR WALLS OF HEATED SPACES & 3'-0" @ ALL VALLEYS.
 - HIGH TEMP. ICE & WATER SHIELD MEMBRANE (COMPLETE) AT ALL METAL ROOF AREAS.
 - 1/2" O.S.B SHEATHING
 - 2x4 ROOF TRUSSES @ 24' o.c. UNLESS SHOWN OTHERWISE
 - R-50 INSULATION (BLOWN IN @ HORIZONTAL AREAS, FIBERGLASS BATTS @ SLOPED AREAS) w/ VENTILATION BAFFLES @ SOFFITS - 6 MIL VAPOR BARRIER
 - 5/8" DRYWALL

• = PROPOSED DOWNSPOUT LOCATIONS (VERIFY W/ BUILDER/OWNER)

Revision:

10115 MADIRA CIRCLE
ELM GROVE, WI 53122
PHONE (262) 501-7447
EMAIL: homdesign@wi.rr.com

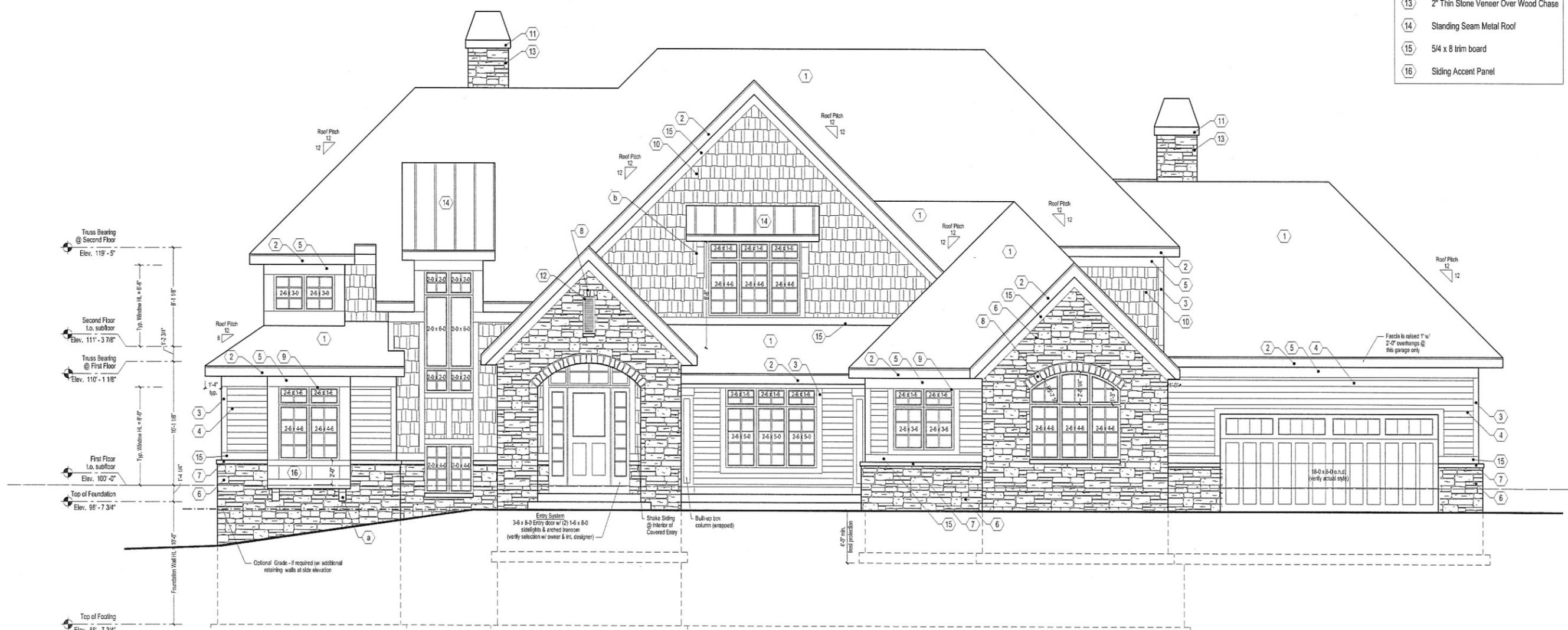
PROJECT: New Residence
JOB NO. 16-11
DATE: August 08, 2016

SHEET:

6

Material Key

- 1 Dimensional Asphalt Shingles (50 yr.)
- 2 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- 3 5/4 x 6 window & corner trim
- 4 Horizontal LP Smart Siding
- 5 5/4 x 10 trim board
- 6 4" Stone Veneer (as selected)
- 7 3" Rock Faced Bedford Stone Sill
- 8 8" Stone Header Course
- 9 Metal Clad Wood Window
- 10 Cedar Shake Siding
- 11 Decorative Metal Chimney Shroud
- 12 12" x 36" Decorative Gable vent
- 13 2" Thin Stone Veneer Over Wood Chase
- 14 Standing Seam Metal Roof
- 15 5/4 x 8 trim board
- 16 Siding Accent Panel



Front Elevation

SCALE: 1/4" = 1'-0"

Revision:

1015 MADERA CIRCLE
ELM GROVE, WI 53122
PHONE (262) 801-7447
EMAIL: homedesign@hmr.com

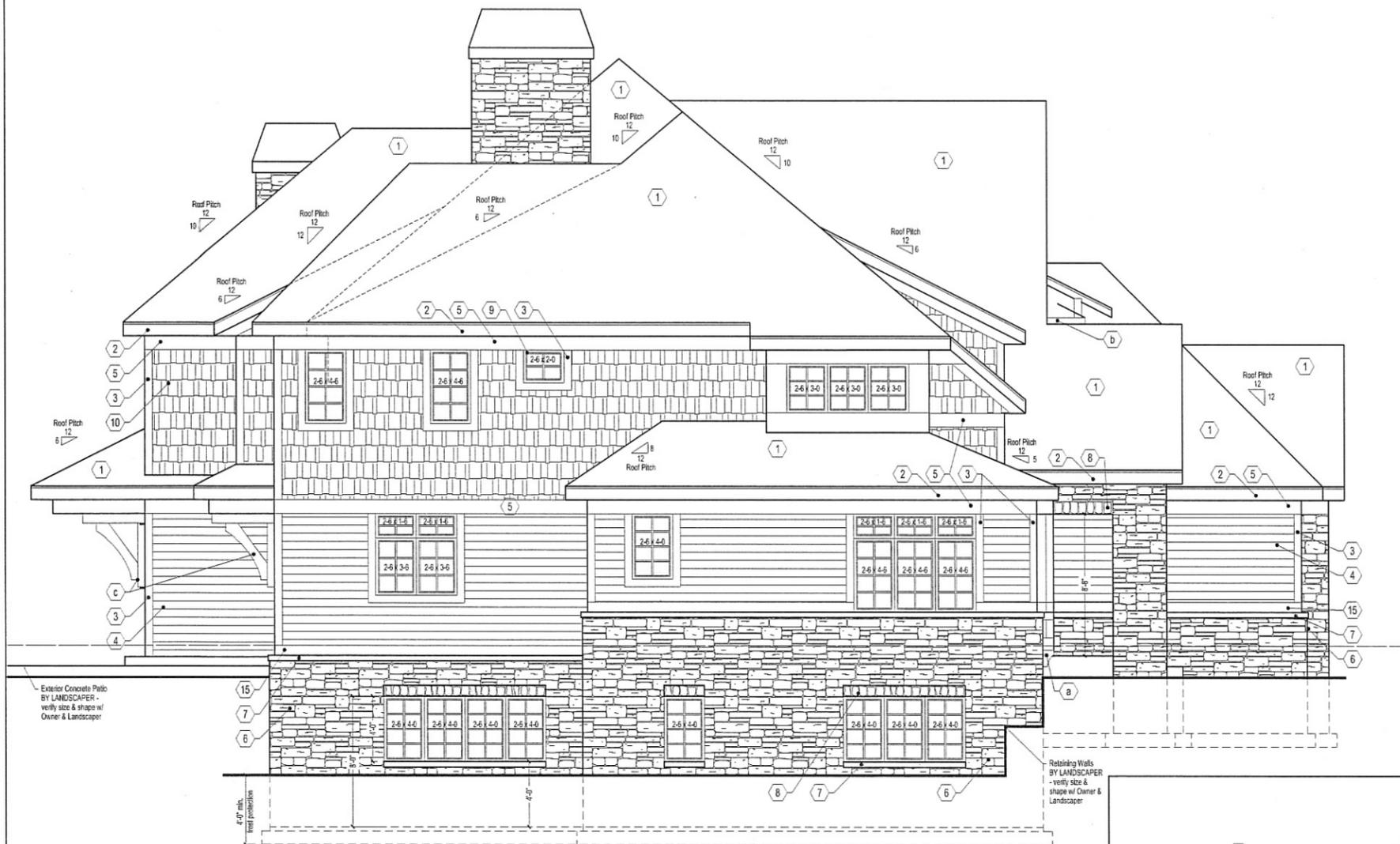
PROJECT: New Residence
JOB NO: 16-11
DATE: August 08, 2016

SHEET:

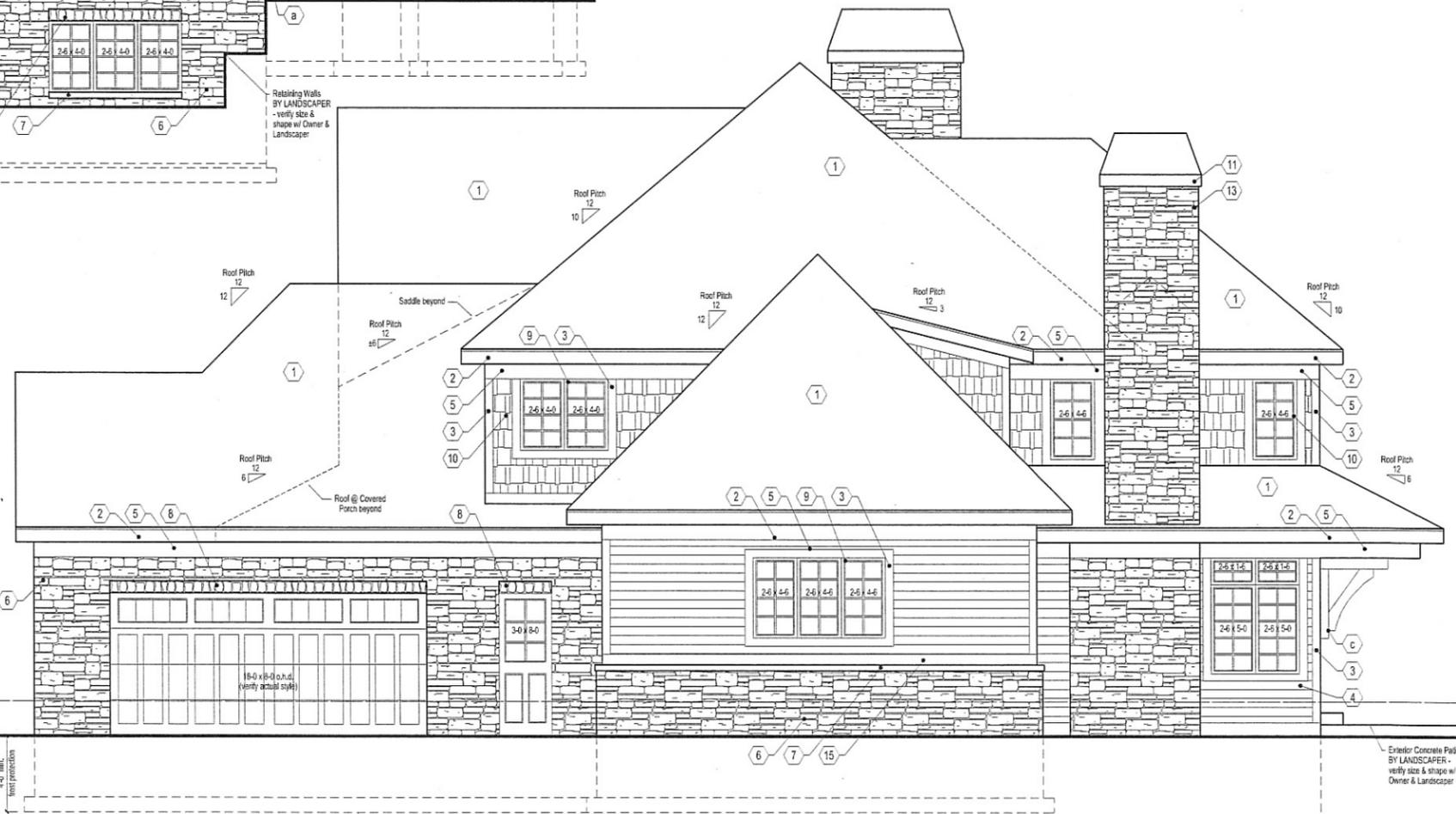
7

Material Key

- 1 Dimensional Asphalt Shingles (50 yr.)
- 2 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- 3 5/4 x 6 window & corner trim
- 4 Horizontal LP Smart Siding
- 5 5/4 x 10 trim board
- 6 4" Stone Veneer (as selected)
- 7 3" Rock Faced Bedford Stone Sill
- 8 8" Stone Header Course
- 9 Metal Clad Wood Window
- 10 Cedar Shake Siding
- 11 Decorative Metal Chimney Shroud
- 12 12" x 36" Decorative Gable vent
- 13 2" Thin Stone Veneer Over Wood Chase
- 14 Standing Seam Metal Roof
- 15 5/4 x 8 trim board
- 16 Siding Accent Panel



Left Elevation
SCALE: 1/4" = 1'-0"



Right Elevation
SCALE: 1/4" = 1'-0"

CROTTY-TROY RESIDENCE

Revision :

1015 MADIRA CIRCLE
ELM GROVE, WI 53122
PHONE (262) 501-7447
EMAIL: homedesign@vti.com

PROJECT: New Residence
JOB NO. 16-11
DATE: August 08, 2016

SHEET:

8

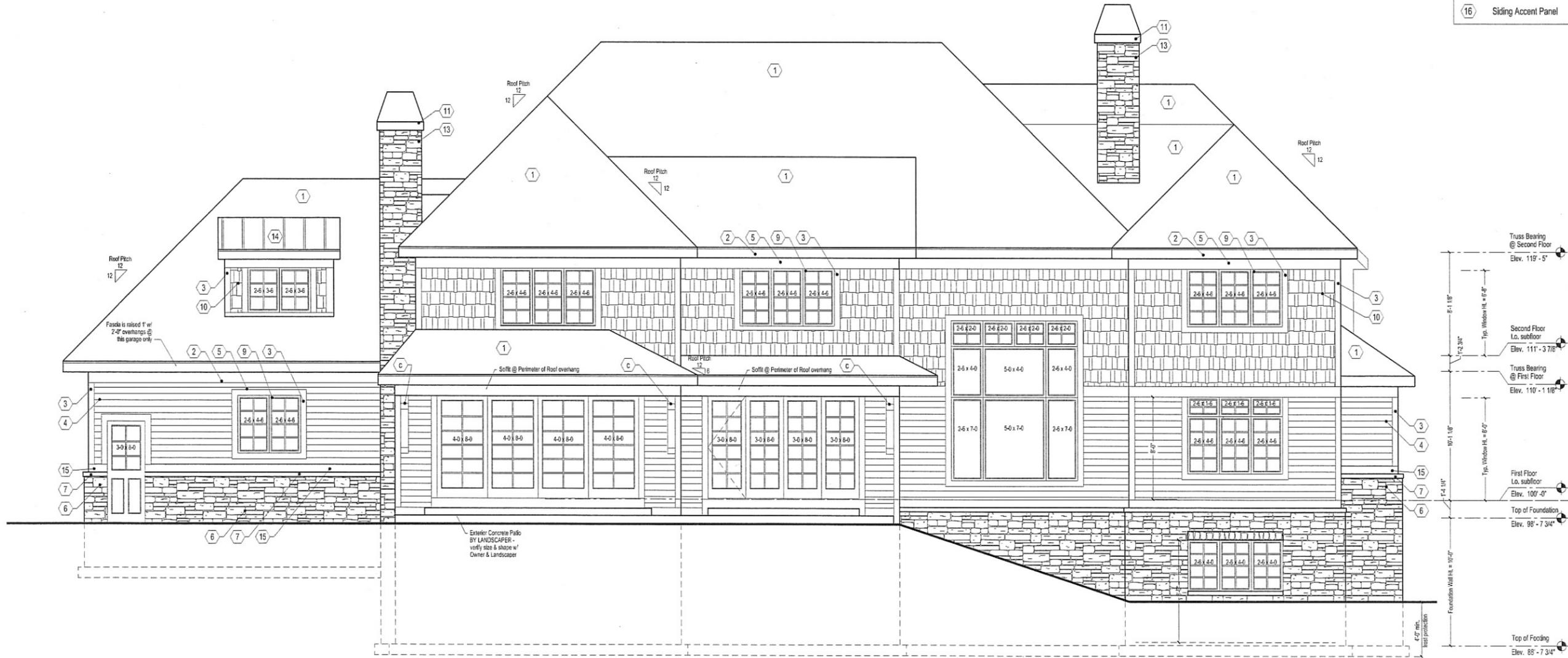
Material Key

- 1 Dimensional Asphalt Shingles (50 yr.)
- 2 1x10 LP Fascia, LP Smartside Soffit, & 5" Seamless Gutters & Downspouts
- 3 5/4 x 6 window & corner trim
- 4 Horizontal LP Smart Siding
- 5 5/4 x 10 trim board
- 6 4" Stone Veneer (as selected)
- 7 3" Rock Faced Bedford Stone Sill
- 8 8" Stone Header Course
- 9 Metal Clad Wood Window
- 10 Cedar Shake Siding
- 11 Decorative Metal Chimney Shroud
- 12 12" x 36" Decorative Gable vent
- 13 2" Thin Stone Veneer Over Wood Chase
- 14 Standing Seam Metal Roof
- 15 5/4 x 8 trim board
- 16 Siding Accent Panel

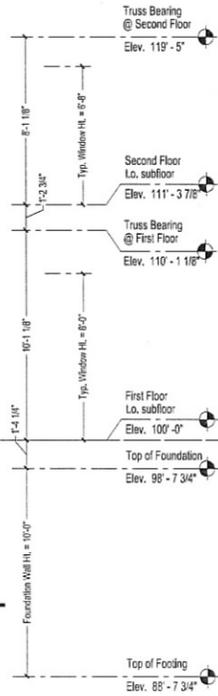
Bracket - "a"
SCALE: 1/2" = 1'-0"

Bracket - "b"
SCALE: 1/2" = 1'-0"

Bracket - "c"
SCALE: 1/2" = 1'-0"



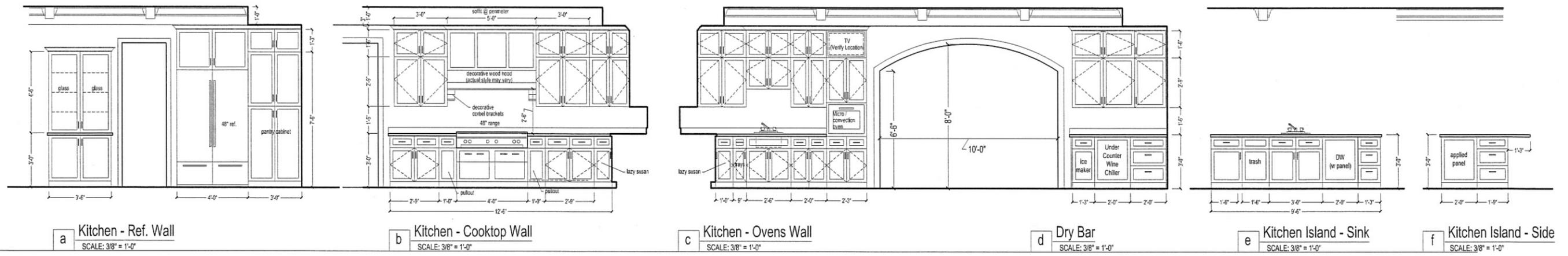
Rear Elevation
SCALE: 1/4" = 1'-0"



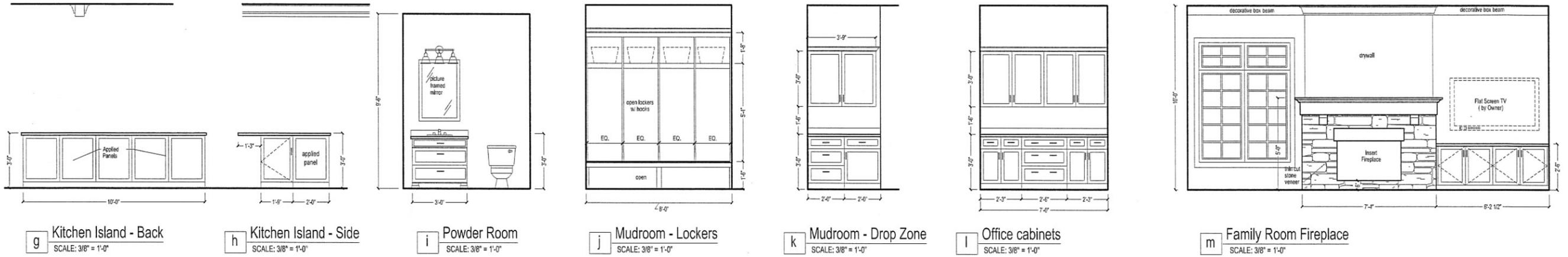
PROJECT: New Residence
JOB NO: 16-11
DATE: August 08, 2016

Revision:

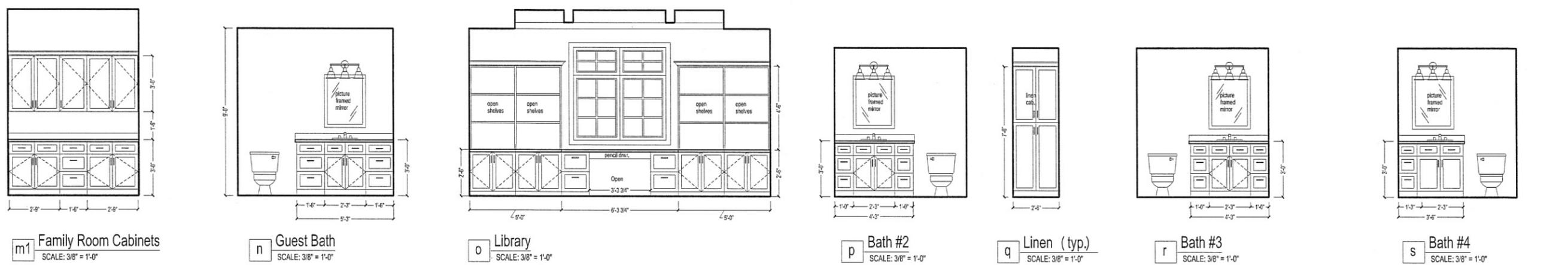
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ELM GROVE, WI 53122
PHONE (262) 501-7447
EMAIL: homedesign@hdm.com



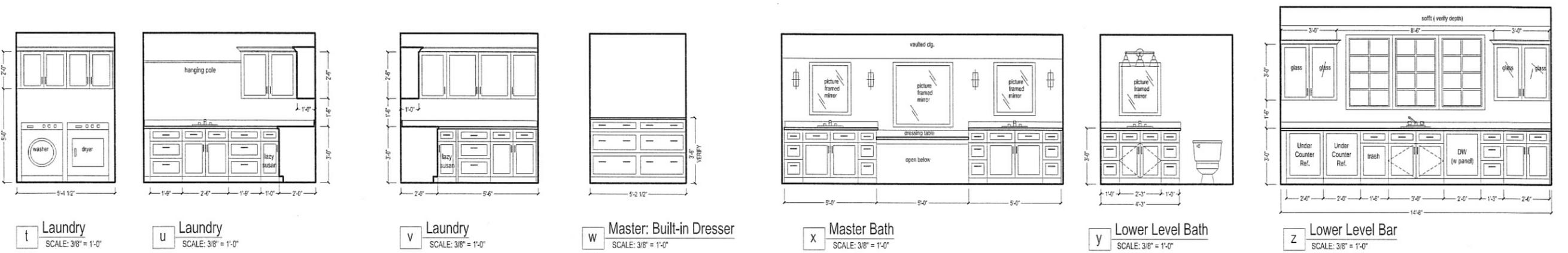
a Kitchen - Ref. Wall SCALE: 3/8" = 1'-0"
b Kitchen - Cooktop Wall SCALE: 3/8" = 1'-0"
c Kitchen - Ovens Wall SCALE: 3/8" = 1'-0"
d Dry Bar SCALE: 3/8" = 1'-0"
e Kitchen Island - Sink SCALE: 3/8" = 1'-0"
f Kitchen Island - Side SCALE: 3/8" = 1'-0"



g Kitchen Island - Back SCALE: 3/8" = 1'-0"
h Kitchen Island - Side SCALE: 3/8" = 1'-0"
i Powder Room SCALE: 3/8" = 1'-0"
j Mudroom - Lockers SCALE: 3/8" = 1'-0"
k Mudroom - Drop Zone SCALE: 3/8" = 1'-0"
l Office cabinets SCALE: 3/8" = 1'-0"
m Family Room Fireplace SCALE: 3/8" = 1'-0"



m1 Family Room Cabinets SCALE: 3/8" = 1'-0"
n Guest Bath SCALE: 3/8" = 1'-0"
o Library SCALE: 3/8" = 1'-0"
p Bath #2 SCALE: 3/8" = 1'-0"
q Linen (typ.) SCALE: 3/8" = 1'-0"
r Bath #3 SCALE: 3/8" = 1'-0"
s Bath #4 SCALE: 3/8" = 1'-0"



t Laundry SCALE: 3/8" = 1'-0"
u Laundry SCALE: 3/8" = 1'-0"
v Laundry SCALE: 3/8" = 1'-0"
w Master: Built-in Dresser SCALE: 3/8" = 1'-0"
x Master Bath SCALE: 3/8" = 1'-0"
y Lower Level Bath SCALE: 3/8" = 1'-0"
z Lower Level Bar SCALE: 3/8" = 1'-0"

Revision:

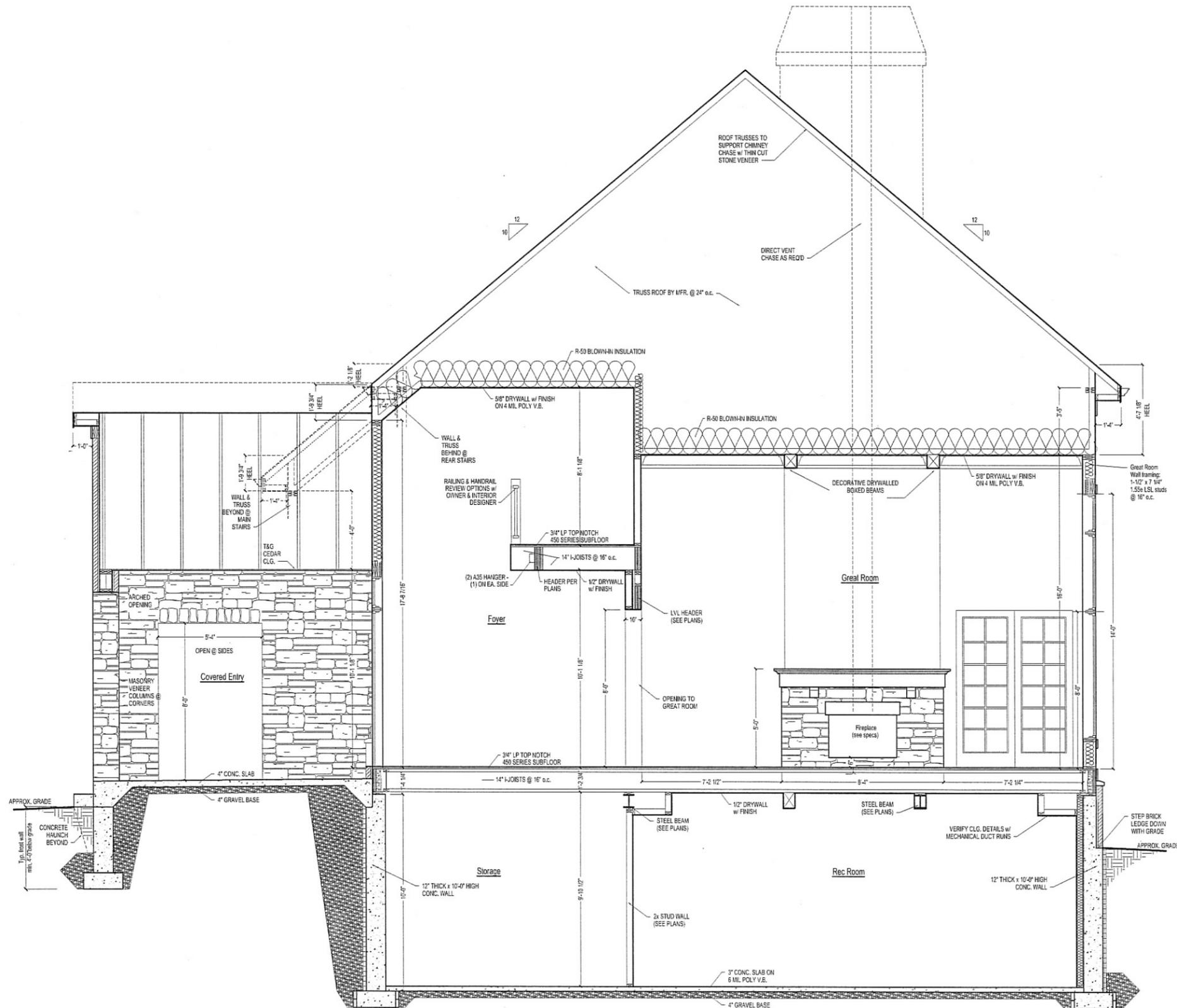
1015 MADIRA CIRCLE
 ELM GROVE, WI 53122
 PHONE (262) 501-7447
 EMAIL: homdesign@gtw.com

PROJECT: New Residence
 JOB NO. 16-11
 DATE: August 08, 2016

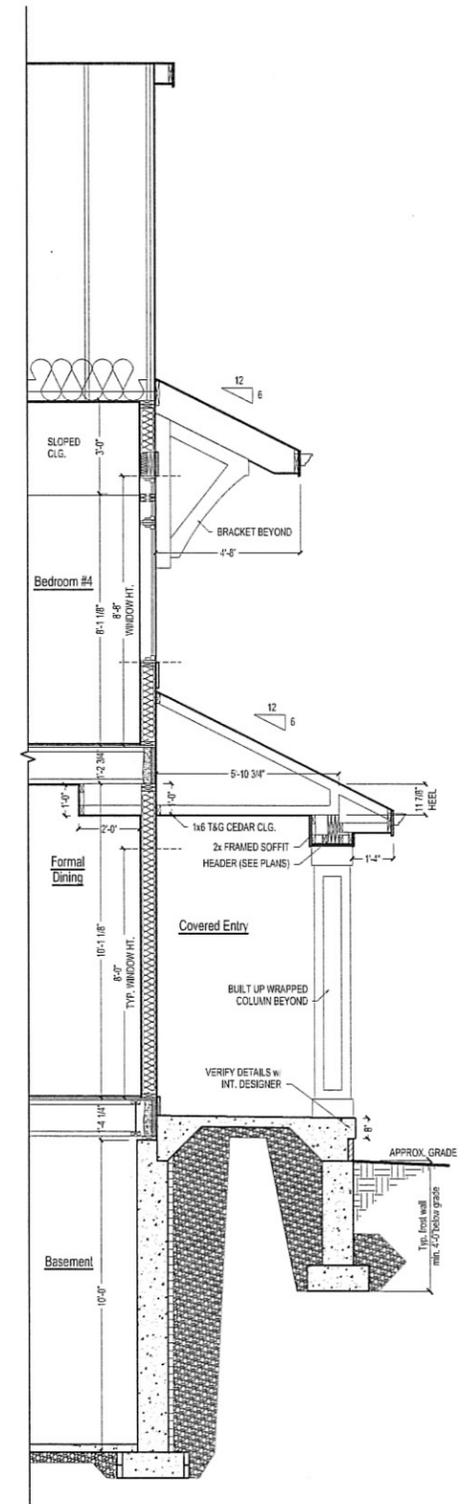
SHEET:

10

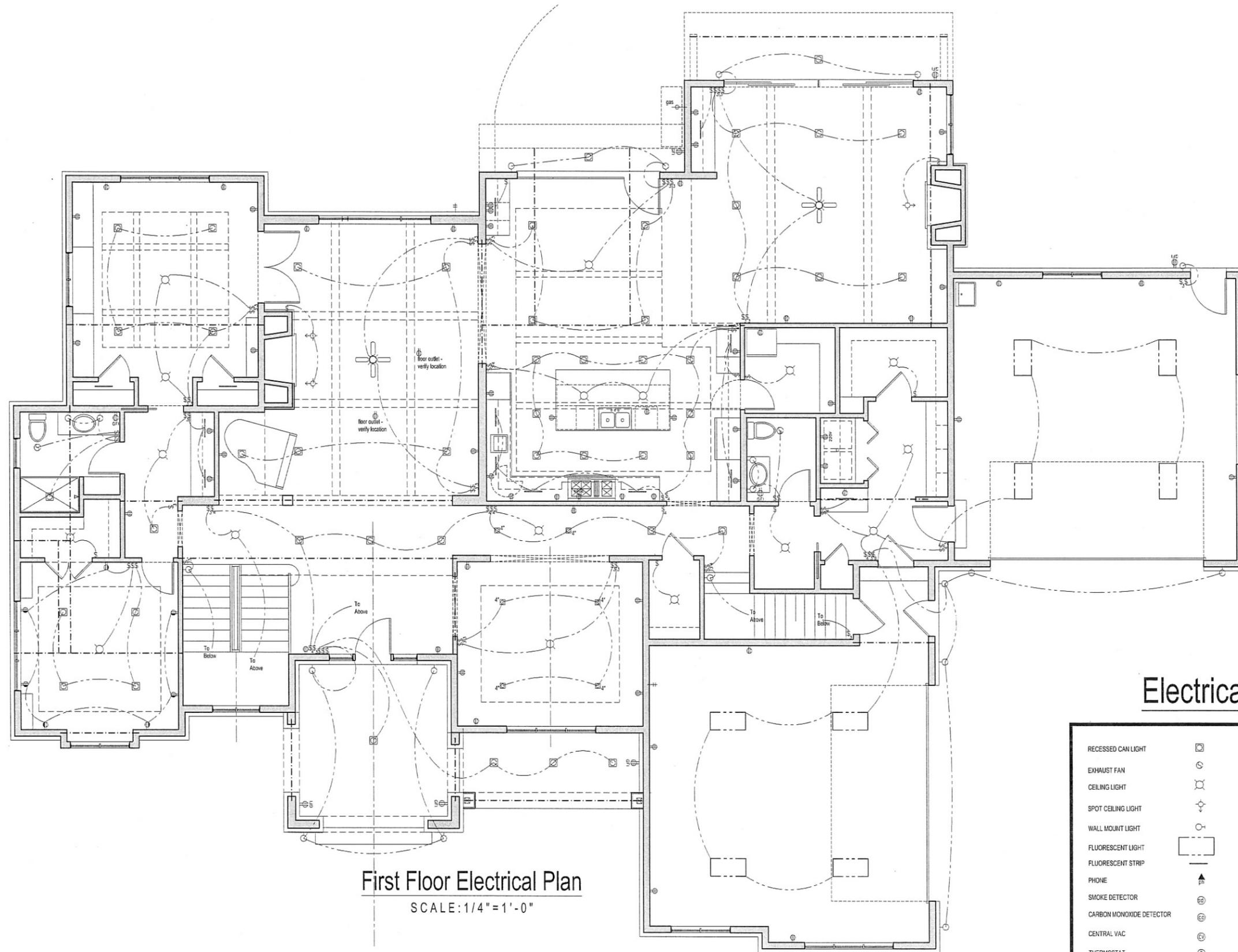
10 OF 15



A Building Section @ Foyer / Great Room
SCALE: 3/8" = 1'-0"



B Conceptual Section @ Front Porch
SCALE: 3/8" = 1'-0"

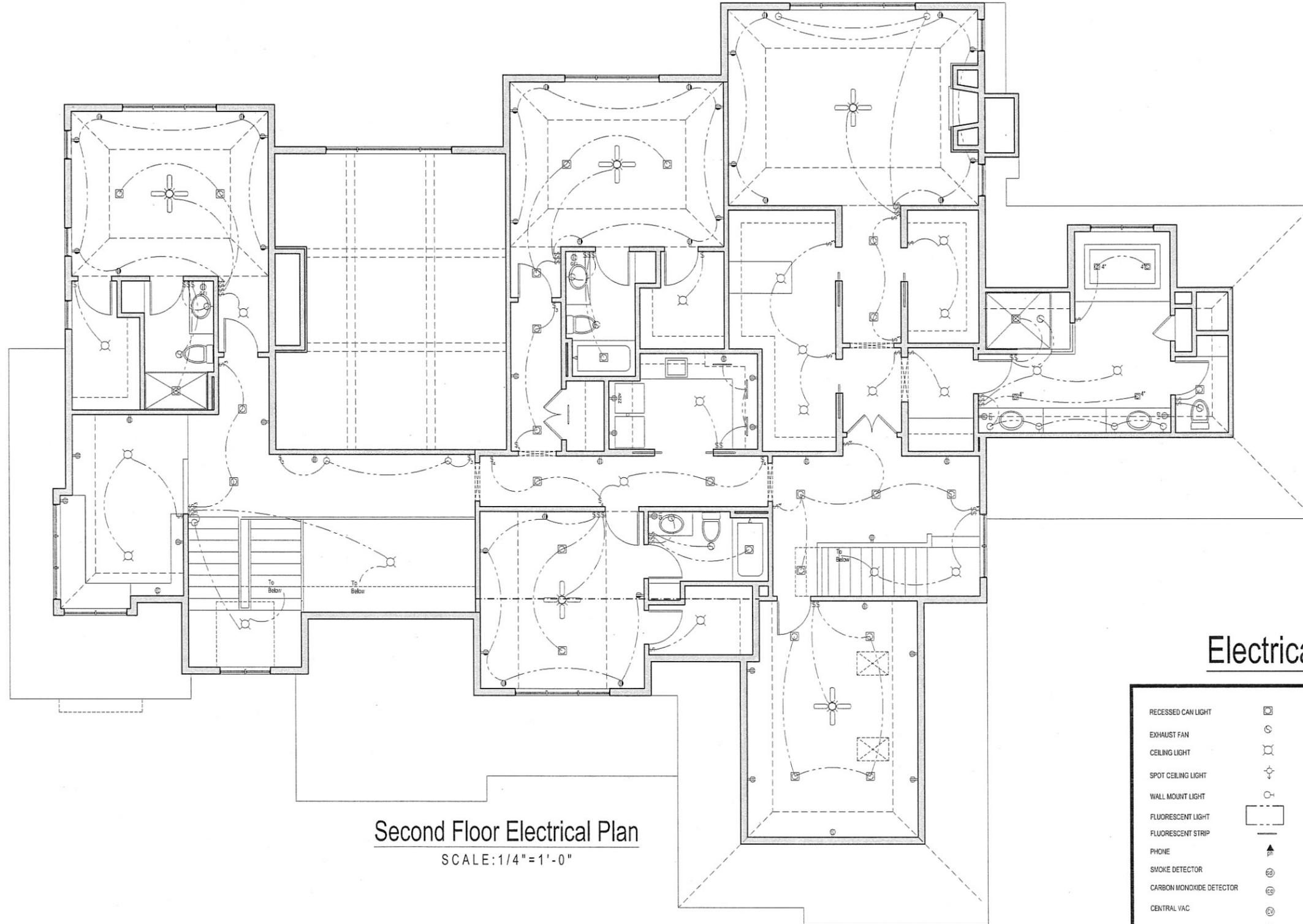


First Floor Electrical Plan
SCALE: 1/4" = 1'-0"

Electrical Key

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		220 RECEPTACLE	
WALL MOUNT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT LIGHT		3-WAY SWITCH	
FLUORESCENT STRIP		4-WAY SWITCH	
PHONE		CEILING FAN	
SMOKE DETECTOR		CABLE	
CARBON MONOXIDE DETECTOR		SPEAKER	
CENTRAL VAC		SPEAKER CNTRL	
THERMOSTAT			

NOTES:
- PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)
- VERIFY SWITCH LOCATION w/ OWNER



Second Floor Electrical Plan
SCALE: 1/4" = 1'-0"

Electrical Key

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		220 RECEPTACLE	
WALL MOUNT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT LIGHT		3-WAY SWITCH	
FLUORESCENT STRIP		4-WAY SWITCH	
PHONE		CEILING FAN	
SMOKE DETECTOR		CABLE	
CARBON MONOXIDE DETECTOR		SPEAKER	
CENTRAL VAC		SPEAKER CNTRL	
THERMOSTAT			

NOTES:
 - PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)
 - VERIFY SWITCH LOCATION w/ OWNER

Revision:

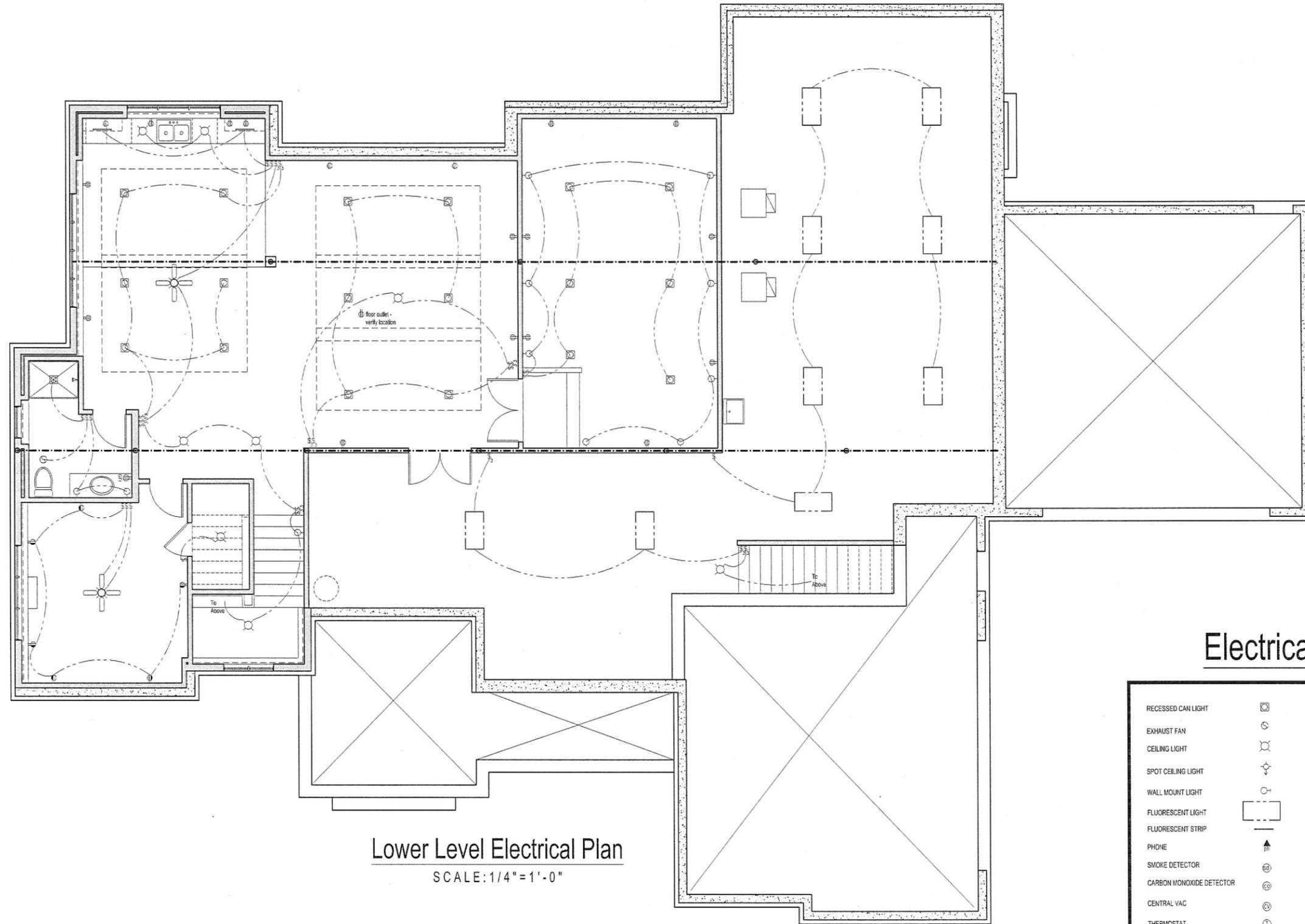
1015 MADERA CIRCLE
 ELM GROVE, WI 53122
 PHONE (262) 501-7417
 EMAIL: homedesign@wlr.com

PROJECT: New Residence
 JOB NO. 16-11
 DATE: August 08, 2016

SHEET:

14

14 OF 15



Lower Level Electrical Plan
SCALE: 1/4" = 1'-0"

Electrical Key

RECESSED CAN LIGHT		DUPLEX SPLIT OUTLET	
EXHAUST FAN		DUPLEX OUTLET	
CEILING LIGHT		GFI RECEPTACLE	
SPOT CEILING LIGHT		220 RECEPTACLE	
WALL MOUNT LIGHT		SINGLE POLE SWITCH	
FLUORESCENT LIGHT		3-WAY SWITCH	
FLUORESCENT STRIP		4-WAY SWITCH	
PHONE		CEILING FAN	
SMOKE DETECTOR		CABLE	
CARBON MONOXIDE DETECTOR		SPEAKER	
CENTRAL VAC		SPEAKER CNTRL	
THERMOSTAT			

NOTES:
- PROVIDE USB OUTLETS / PORTS THROUGHOUT HOME (SEE SPECS)
- VERIFY SWITCH LOCATION w/ OWNER

Revision:

1015 MADERA CIRCLE
ELM GROVE, WI 53122
PHONE: (262) 601-7447
EMAIL: homedesign@wtr.com

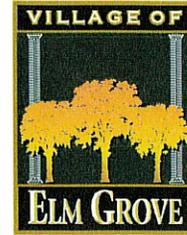
PROJECT: New Residence
JOB NO. 16-11
DATE: August 08, 2016

SHEET:

15

15 OF 15

VILLAGE OF ELM GROVE APPLICATION FOR DRIVEWAY WORK PERMIT



Required for any driveway work except seal coating

Contractor: REGENCY BUILDERS
 Address: 1133 QUAIL CT PRAWAUKER
 Phone: 262-691-9612
 Email: Kevin@regencywi.com

Property Owner: BRAD CROTTY
 Address: 36829 HOLLY HOLE WOODS DR OCAW
 Phone: 262-691-9612
 Email: brad.crotty@gmail.com

Project Address: 1455 Victoria Drive

To be completed By Village Staff	
Driveway Culvert Installation	
Size of Culvert	
Length of Culvert	
Materials & Installation Fee	
Misc. Charges	
TOTAL	

Describe driveway repair and/or replacement:

TO BE REPLACE FOR NEW HOME LAYOUT.

Impervious Surface Calculations (completed by applicant)

Driveway area	Current: <u>1600</u> sq. ft.	Proposed New: <u>4021</u> sq. ft.
Building footprint	Current: <u>2552</u> sq. ft.	Proposed New: <u>4242</u> sq. ft.
Other impervious surfaces	Current: <u>830</u> sq. ft.	Proposed New: <u>1094</u> sq. ft.
Total	Current: <u>4982</u> sq. ft.	Proposed New: <u>9706</u> sq. ft.

To be completed by Village Staff

Lot Area: 33,759 sq. ft.

Building footprint percentage Current: 7.5 % Proposed New: 14 %

Impervious surface percentage Current: 14.8 % Proposed New: 28.7 %

Permission has been granted for driveway replacement and/or repair at the above listed address.

Richard Paul, Jr., Director of Public Works

Date

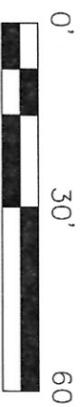
Thomas P. Harrigan
 Casey Griffiths, Zoning and Planning Administrator
THOMAS HARRIGAN

7/26/16
 Date

PLAT OF SURVEY

ADDRESS: 1455 VICTORIA CIRCLE NORTH, VILLAGE OF ELM GROVE

LEGAL DESCRIPTION: Part of the North 25 acres of the Southeast 1/4 of the Southwest 1/4 of Section 23, in Township 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin, bounded and described as follows: Commencing on the East line North 0°21' East 225 feet distant from the Southeast corner thereof; thence South 89°56' West 870 feet to the point of beginning; thence South 89°56' West 194.12 feet to the point of the East line of Victoria Circle Road; thence North 15°42' East 187.88 feet along East line of Victoria Circle; to point; thence North 70°24' East 153.60 feet along the South line of road to point; thence South 0°21' West 232.17 feet to beginning.



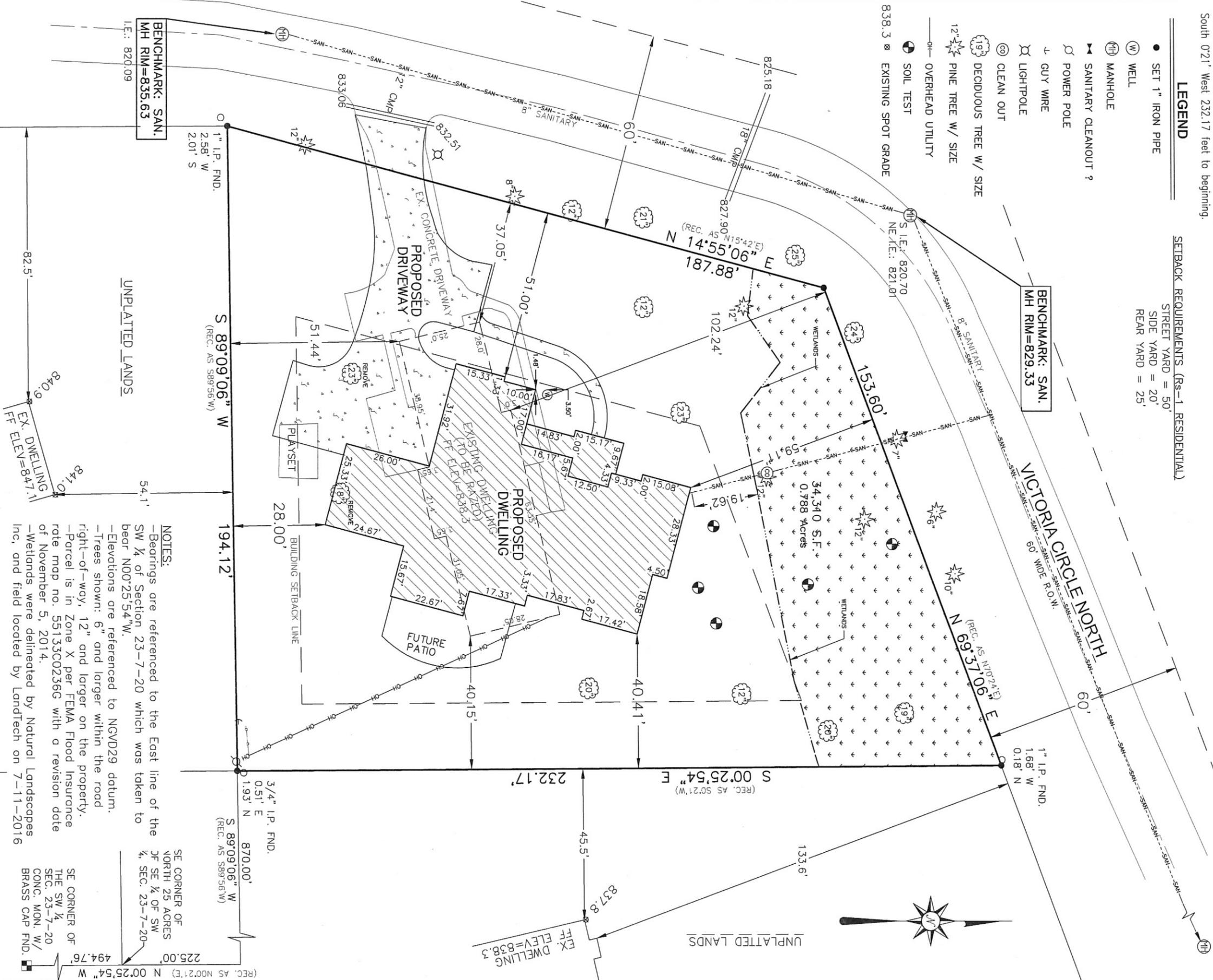
SAN. MH RIM=825.18
I.E.: 816.89

LEGEND

- SET 1" IRON PIPE
- WELL
- ⊕ MANHOLE
- ▶ SANITARY CLEANOUT ?
- ⊥ POWER POLE
- ⊥ GUY WIRE
- ⊥ LIGHTPOLE
- ⊙ CLEAN OUT
- ⊙ DECIDUOUS TREE W/ SIZE
- ⊙ PINE TREE W/ SIZE
- OH — OVERHEAD UTILITY
- ⊙ SOIL TEST
- ⊙ EXISTING SPOT GRADE

SETBACK REQUIREMENTS (R_s-1 RESIDENTIAL)

- STREET YARD = 50'
- SIDE YARD = 20'
- REAR YARD = 25'



BENCHMARK: SAN.
MH RIM=835.63
I.E.: 820.09

BENCHMARK: SAN.
MH RIM=829.33

NOTES:
 -Bearings are referenced to the East line of the SW 1/4 of Section 23-7-20 which was taken to bear N00°25'54"W.
 -Elevations are referenced to NGVD29 datum.
 -Trees shown: 6" and larger within the road right-of-way, 12" and larger on the property.
 -Parcel is in Zone X per FEMA Flood Insurance rate map no. 55133C0236G with a revision date of November 5, 2014.
 -Wetlands were delineated by Natural Landscapes Inc. and field located by LandTech on 7-11-2016

SE CORNER OF NORTH 25 ACRES
OF SE 1/4 OF SW 1/4 SEC. 23-7-20
494.76'
 SE CORNER OF THE SW 1/4 SEC. 23-7-20 CONC. MON. W/ BRASS CAP FND.
 225.00' N 00°25'54" W

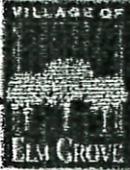
I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within one (1) year from date hereof.
 Signed: JOHN D. DOWNING, Registered Land Surveyor S-2939



LAND SURVEYING • LAND PLANNING
 P.O. BOX 15, HARTLAND, WI 53029
 WWW.WISCONSINLANDSURVEYING.COM
 LANDTECHSURVEYING@SMALL.COM
 (262) 367-7599

PREPARED FOR: REGENCY BUILDERS, INC.

REVISED 7/25/16
 DATED 6/2/16
 JOB #15141
 SHEET 1



PUBLIC WAY DISTURBANCE PERMIT

Property Owner Name: Bradley Crotty and Katherine Troy
 Property Mailing Address: 36829 Hollyhock woods Dr Oconomowoc WI 53064
 Property Owner Phone: 304-951-3223
 Property Owner Email: bradcrotty@gmail.com

Project Location: 1455 Victoria Circle North
 Project Manager Name: Mark Young Adkins Construction
 Property Manager Address: 667 Perkins Dr Mukwonago WI 53049
 Property Manager Phone: 262-363-5228
 Property Manager Email: mark@adkinsconstruction.com

A description of the general nature of the work to be done: Abandon existing sewer lateral
Replace with PVC From main cap at lot line for connection
to new house later

Pre-Submission

A.) Base Permit Fee			\$ 300.00
B.) Total square yardage of disturbed paved surface area	<u>10</u>	x \$40.00	\$ <u>400.00</u>
C.) Total linear footage of disturbed grassed surface area	<u>20</u>	x \$2.00	\$ <u>40</u>
D.) Total due at submission (add lines A, B, C)			\$ <u>740</u>

(If you do not have any disturbed paved surface area or disturbed grassed area, please use zero.)

Signature of Applicant:  Date: 5-26-16

Approved by: _____
 Director of Public Works: _____ Date: _____

Post-Submission

Final Inspection Date: _____
 Outstanding Permit Fee Total: _____
 Director of Public Works Approval: _____

Permit Checklist

- Complete and Signed Application (above)
- Copy of Corporate Surety Bond in the Amount of \$2000.00
- Check for the Fees - Payable to the Village of Elm Grove
- A Drawing Indicating the Approximate Location of the Work to be Done
- Any Additional Items Needed by the Director of Public Works
- Coordinate Final Inspection with the Director of Public Works

W233 N2080 Ridgeview Parkway • Waukesha, WI 53188-1020 • Tel. (262) 542-5733

June 20, 2016

Mr. Thomas Harrigan
Zoning and Planning Administrator
Village of Elm Grove
13600 Juneau Boulevard
Elm Grove, WI 53122-0906

Re: 1455 Victoria Circle North
Demolition and Residential Re-Development Plan Review

Dear Mr. Harrigan:

As requested, we have reviewed the documents submitted to the Village on June 6, 2016 for the demolition of an existing single family home and construction of a new single family home at 1455 Victoria Circle North. These documents were submitted to meet the requirements of the Village Code. A site visit was held on June 17, 2016 with yourself, Dave De Angelis, Richard Paul and I in attendance. Our findings and recommendations related to the demolition of the existing single family home are as follows:

1. The Plat of Survey must be revised to show existing overhead and underground utilities serving the house. **SHOWN**
2. Sanitary Lateral:

Record drawings indicate the property is served by an existing 8-inch diameter clay sanitary sewer located within the public right-of-way. The demolition application document indicates that the sanitary sewer lateral will be abandoned. **N/A**

Per Section 232-8 of the Village Code, the existing sanitary lateral will need to be severed from the main and a watertight seal placed at the main connection. The abandonment will need to be inspected and tested to the satisfaction of the Director of Public Works. **N/A**

3. If there is a delay between demolition and construction, a barrier fence should be installed around any open excavation. **N/A**
4. Erosion Control:

If any disturbance is necessary in the public right-of-way, then temporary manufactured erosion log ditch checks and/or other perimeter control devices other than silt fencing conforming to DNR Technical Standards 1062 and/or 1071, respectively must be used downstream across un-stabilized ditches and swales. This item can be addressed in the field by Village Staff. **N/A**

~Elm Grove Village 38-00000 Miscellaneous Project Files > 216 Misc Engineering > Correspondence > 1455 Victoria Circle North > Harrigan-20160620-1455 Victoria Circle North Demolition and Residential Re-Development Plan Review.docx~

Mr. Thomas Harrigan

Re: 1455 Victoria Circle North - Demolition and Residential Re-Development Plan Review

June 20, 2016

Page 2

All erosion controls must be in place prior to beginning land disturbing activities.

5. Wetlands: Mapping from the Wisconsin Department of Natural Resources (DNR) Water Surface Data Viewer website shows wetland indicators exist on the property. The applicant will need to conduct a wetland investigation to determine whether wetlands actually exist on the property. Wetlands cannot be impacted unless approved by DNR. **WETLANDS SHOWN**
6. Floodplain: The effective FEMA floodplain map shows the property to be located outside of a regulatory floodplain. **FLOODPLAIN NOTE ADDED TO FACE OF SURVEY**

During our site visit Village Staff requested that I complete a preliminary review of the proposed re-development plan that was included in the demolition submittal. Our findings and recommendations for various utility, grading, and restoration elements of the proposed new construction are as follows:

7. The Plat of Survey drawings must be revised as follows:
 - Show and label the existing sanitary sewer main in Victoria Circle North as an 8" diameter pipe in accordance with record drawings. **SHOWN**
 - Label yard grade of neighboring house to the east. **SHOWN**
 - Label proposed spot yard grades at outside corners of proposed new structure. **SHOWN**
 - Label proposed spot grades of proposed driveway. **SHOWN**
 - Show sump pump discharge line directing flow toward an existing road ditch. **SHOWN**
 - Show location of proposed downspouts and direction of discharge. **SHOWN**
 - Show the proposed sanitary sewer, gas, electric, telephone utilities that will serve the property. **NOT SURVEY RELATED. CONTACT UTILITY COMPANIES FOR REQUESTED INFO**
8. Sanitary Sewer:

If a new sanitary sewer lateral is to be constructed, then it must be shown on the Plat of Survey. A plumbing permit will be required with final inspection performed by the Village plumbing inspector. The lateral connection may be made anywhere along the sewer main except the lateral may not be directly connected to a sewer manhole or within 5 feet of a manhole structure. **N/A**

If a new lateral is stubbed out of the sewer main before a connection is made to the new house structure, then a temporary exterior cleanout will need to be placed over the lateral in the yard. The cleanout riser pipe should temporarily extend four feet above grade and be protected from the construction grading work. The upstream end of the new lateral will need to be temporarily plugged until the lateral is connected to the new house. **N/A**

Mr. Thomas Harrigan

Re: 1455 Victoria Circle North - Demolition and Residential Re-Development Plan Review

June 20, 2016

Page 3

Cement slurry backfill will be required for excavations under the road pavement with pavement replacement in kind. N/A

9. Water:

The Plat of Survey shows the location of the existing well. It appears the existing well will remain in place serving the proposed new home. N/A

The Plat of Survey also shows a water valve within the public right-of-way of Victoria Circle North. There is no public water system in this area and Village Staff is not aware of an existing private water system in this area. The applicant should determine if the valve is part of an existing water distribution system and show that system on the Plat of Survey.

VALVE APPEARS TO BE A CLEANOUT - SHALL BE FIELD VERIFIED BY VILLAGE.

10. Storm Drainage/Grading:

Existing topography of the property and adjacent lots generally slopes toward the north. During the site visit Village Staff indicated they were aware of flooding that has occurred in the lower areas along the north side of the lot and within the public right-of-way north of the lot.

Existing impervious area calculations and gross lot size were not provided with the submittal. The Waukesha County Land Information System shows the impervious area of the property with the existing home to be about 5,000 square feet and the gross lot size to be about 33,750 square feet. Based on these numbers the existing impervious area covers about 15% of the gross parcel area. The Plat of Survey shows 9,706 square feet of impervious area is proposed for the property, which is about 29% of the gross parcel area and slightly below the 30% maximum allowed.

The Proposed Drainage Plan shows a swale to be constructed around the south and east sides of the proposed house. Because the redevelopment plan has more impervious area than the existing house, there will be more runoff in the future. We recommend the swale around the east side of the house and/or a small berm be extended northerly along the east lot line to Victoria Circle North so that runoff from the impervious area does not flow onto the neighboring property. NO BERM SHALL BE NECESSARY, N/A

During the site visit we noticed there is some erosion occurring on the steeper slope along the east lot line. The Proposed Grading Plan shows the steeper slope to remain in place. Therefore, the erosion will continue and may worsen in the future with the additional runoff. We recommend the applicant add measures to the proposed grading plan to minimize this potential. PROPOSED SLOPE IS LESS THEN CURRENT SLOPE, N/A.

Because of the presence of wetland indicator soils, we recommend the lowest floor elevation be placed above the seasonal high water table to avoid the potential for basement

Mr. Thomas Harrigan

Re: 1455 Victoria Circle North - Demolition and Residential Re-Development Plan Review

June 20, 2016

Page 4

wetness issues. The “Basement Wetness and Flooding Prevention Standards” prepared by the Land Resources Division of Waukesha County are a good reference regarding this topic. If the lowest floor elevation is below the seasonal high water table, then the proposed building plan may need to be revised to raise up the house and minimize basement wetness risks. If raising the house results in a first floor elevation that is too high for the surrounding neighborhood, then the proposed building plan may need to be revised to build a slab on grade home or crawl space in lieu of a full basement. **BASEMENT SET TO 829.6 PER "FORM A" PROVIDED BY LANDMARK ENGINEERING SCIENCES, INC.**

The Proposed Drainage Plan shows some proposed contours having slopes that exceed 3:1. We recommend vegetated slopes be 4:1 slope or flatter to make initial restoration and future maintenance by the home owner easier. Therefore, we recommend the grading plan be revised to provide slopes that are 4:1 or flatter when possible and no slopes exceeding 3:1.

4:1 SLOPES ARE SHOWN

11. Driveway Culvert:

The Plat of Survey shows the existing driveway culvert to be left in place. During our site visit it was determined that the existing culvert is in good condition. **N/A**

12. House Setback:

The Plat of Survey shows the front yard setbacks of the existing neighboring houses to the east and to the south are 82.5 feet and 133.6 feet, respectively. The average of these two setbacks is 108.05 feet. The Plat of Survey also shows the proposed front yard setback to be at least 51 feet. Per Section 335-39 of the Village Code, the street yard for new development cannot deviate more than 30 feet from the average of the existing street yards of the abutting structures on each side. Based on this understanding, the Plat of Survey does not meet this requirement. The Village will need to determine if the proposed front yard setback is acceptable for this specific lot. **N/A**

Village Code allows the owner of corner lots to select which one of two sides of the lot will be considered the rear yard for setback purposes. It is unknown whether the applicant desires the rear yard to be on the south side or the east side of the lot. Regardless of this decision, however, the setbacks provided on both sides of the lot exceed rear yard setback requirements for RS-1 Zoning. Based on this understanding the proposed new home will meet side and rear yard setback requirements in the Village Code. **N/A**

13. House Grade:

The Plat of Survey shows the first floor elevation of the new house will be at elevation 839. The first floor elevation of the new home:

- is approximately 0.7 feet higher than the existing home on the lot.

Mr. Thomas Harrigan

Re: 1455 Victoria Circle North - Demolition and Residential Re-Development Plan Review

June 20, 2016

Page 5

- is approximately 12 feet higher than the edge of Victoria Circle North pavement at the southwest corner of the lot and is approximately 3 feet higher than the edge of Victoria Circle North pavement at the northeast corner of the lot.
- is approximately 1 foot higher than the first floor elevation of the neighboring home to the east.
- is approximately 8.1 feet lower than the first floor elevation of the neighboring home to the south.
- appears reasonable for this lot. OK

14. Landscaping:

Ten existing trees were surveyed on the lot and shown on the Plat of Survey. Two of those trees are shown to be removed. Additional smaller trees exist on the lot but were not surveyed.

Nine trees are shown to be located within the public right-of-way and are shown to remain.

A landscape plan was provided with the submitted showing several new trees, bushes and plants. The landscape plan was not reviewed in detail.

Based upon the above issues, we recommend the Plat of Survey and Proposed Grading Plan be revised before they are approved by the Village. Please contact our office with any questions regarding this matter. Thank you for allowing us to be of service to the Village of Elm Grove.

Very truly yours,

RUEKERT & MIELKE, INC.

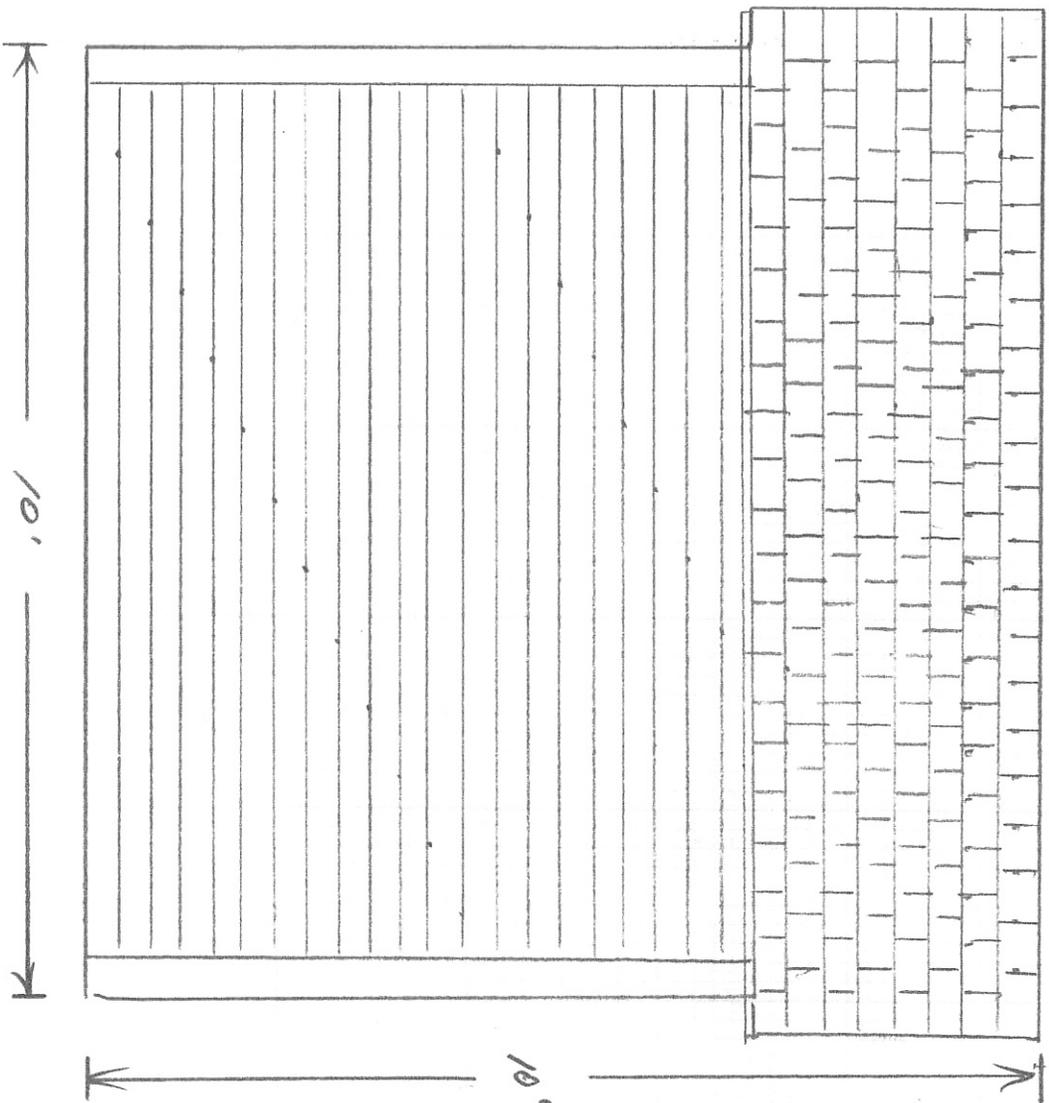


Anthony D. Petersen, P.E. (WI, IA)
Senior Project Manager
apetersen@ruekert-mielke.com

ADP:crp

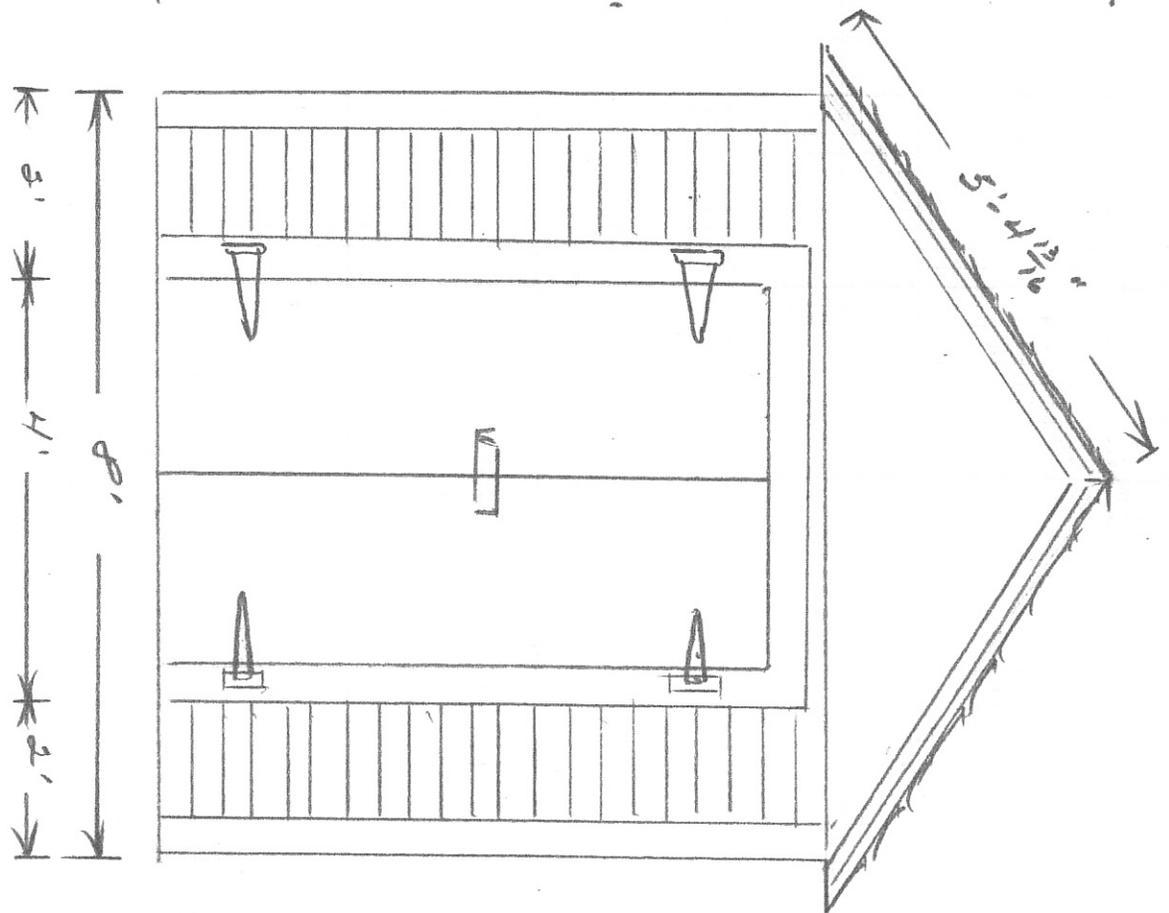
cc: David De Angelis, Village of Elm Grove
Richard Paul, Jr., Village of Elm Grove
File

SIDE VIEW (MATERIALS OTHER SIDE)
 REAR OF SHED THE SAME



3" REBAR REINFORCED CONCRETE BASE
 2X4 P.T. SOLE PLATE, 2X4-1/2" O.C. WALL
 2-2X4 HEADER PLATE
 1/2" PLYWOOD WALLS + ROOF
 FELT + WR PAPER
 DR CHARCOAL STAB GAF SHINGLES W/ DRAIN MOULDING

FRONT VIEW



DBL 4" - 8" VINYL WHITE SIDING
 WHITE GORNER BOARDS
 1X3 CORNER BOARDS

Roger and Dian Ramlow
13130 Lee Court
Elm Grove, WI 53122

July 1, 2016

To Whom It May Concern:

I am aware that my neighbor, Susan Bruk residing at 13160 Lee Court wishes to construct a 7'3" x 7' 4.5' pre-fabricated shed on the Northwest corner of her property behind two pine trees. I understand that the shed will be approximately 10' from the lot line. I give my approval as a neighbor adjoining her property.

Sincerely,

A handwritten signature in black ink, appearing to read "R. M. Ramlow". The signature is written in a cursive style with a large initial "R" and "M".

Roger and Dian Ramlow

Nicholas and Alexis Ganos
13180 Lee Court
Elm Grove, WI 53122

July 1, 2016

To Whom It May Concern:

I am aware that my neighbor, Susan Bruk residing at 13160 Lee Court wishes to construct a 7'3" x 7' 4.5' pre-fabricated shed on the Northwest corner of her property behind two pine trees. I understand that the shed will be approximately 10' from the lot line. I give my approval as a neighbor adjoining her property.

Sincerely,

A handwritten signature in cursive script, appearing to read "Alex Ganos".

Nicholas and Alexis Ganos

Barry and Barbara Frisbe
2120 Arrowhead Court
Elm Grove, WI 53122

July 1, 2016

To Whom It May Concern:

I am aware that my neighbor, Susan Bruk residing at 13160 Lee Court wishes to construct a 7'3" x 7' 4.5' pre-fabricated shed on the Northwest corner of her property behind two pine trees. I understand that the shed will be approximately 10' from the lot line. I give my approval as a neighbor adjoining her property.

Sincerely,

Barbara Frisbe

Barry and Barbara Frisbe

