

# VILLAGE OF ELM GROVE

13600 Juneau Boulevard  
Elm Grove, WI 53122

## BUILDING BOARD

Tuesday, June 21, 2016 \* 5:30 PM \* Park View Room

### AGENDA

**1. Roll Call**

*Documents: [062116 BBmemo.pdf](#)*

**2. Review and act on meeting minutes dated June 7, 2016.**

*Documents: [BB060716dm.pdf](#)*

**3. Review and act on a request by CR Best Properties at 1265 Woodside Lane for a revised deck design.**

*Documents: [1265 Woodside Ln.pdf](#)*

**4. Review and act on a request by Mazio Barian at 1160 Terrace Drive for a new deck.**

*Documents: [1160 Terrace Dr..pdf](#)*

**5. Review and act a request by Neal and Mindy Harmelink at 1825 San Fernando Drive for a landscape plan.**

*Documents: [1825 San Fernando Dr..pdf](#)*

**6. Review and act a request by Robert Sutherland at 13580 Braemar Drive for a wood fired oven (accessory structure).**

*Documents: [13580 Braemar Dr. - Plans.pdf](#), [13580 Braemar Dr. - Survey.pdf](#)*

**7. Review and act on a request by Karlene Hendon at 785 Verdant Drive for an alteration.**

*Documents: [785 Verdant Dr..pdf](#)*

**8. Review and act on a request by James Lehmkuhl at 1655 Legion Drive for an addition.**

*Documents: [1655 Legion Dr..pdf](#)*

**9. Review and act on a request by Jerry and Rhonda Topliff at 865 Kurtis Drive for an addition.**

*Documents: [865 Kurtis Dr. - Calc Sheet.pdf](#), [865 Kurtis Dr. - Plans.pdf](#), [865 Kurtis Dr. - Survey.pdf](#)*

## **10. Other Business**

## **11. Adjournment**

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

**NOTICE:** It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

# Memo

To: Building Board

From: Thomas Harrigan, Zoning & Planning Administrator / Assistant to the Village Manager

Date: June 16, 2016

Re: Review of Agenda for Tuesday – June 21, 2016

---

**Item 3. Review and act on a request by Ron Strickland 1265 Woodside Lane for a revised deck design.**

Applicant is requesting approval of a revised deck design (original Building Board approval 5/17/16). Due to the minimal amount of deck area of the original design, 10' X 8' (80 SF), the applicant has redesigned the deck to be 24' X 10' (240 SF). The new design would also allow for the rear door of the property to be accessible from the deck. Setback requirements are satisfied with the new design. Please see the revised deck plan enclosed.

**Item 4. Review and act on a request by Mazio Barian 1160 Terrace Drive for a new deck.**

Applicant is requesting approval of a new deck to be positioned in the rear yard of the property. The deck is in compliance with all setback requirements. Please see the enclosed plan for review.

**Item 5. Review and act on a request by Neal & Mindy Harmelink 1825 San Fernando Drive for a landscape plan.**

Applicants are requesting approval of the landscape plan intended for the newly constructed home at 1825 San Fernando Drive. Please see the enclosed landscape plan for review.

**Item 6. Review and act on a request by Robert Sutherland 13580 Braemar Drive for a wood fired oven (accessory structure).**

Applicant is requesting approval for construction of a wood fired oven in the rear yard of the property. The oven meets all requirements for accessory structures, per the Village Code of Ordinances, and is positioned 10 feet from the nearest structure. Please see the enclosed set of plans for review.

**Item 7. Review and act on a request by Aaron & Karlene Hendson 785 Verdant Drive for a window alteration on a bathroom renovation.**

Applicant is requesting approval of window location and design for a bathroom renovation. Dimensions of the windows are 2' 8" (picture window near sink) and 5' (3 light casement windows near shower/tub). Please see the enclosed set of plans for review.

**Item 8. Review and act on a request by James Lehmkuhl 1655 Legion Drive for a revised site development plan.**

Applicant is requesting approval of the revised site development plan (original Building Board approval 9/15/15). The sun room, located in the rear (west) elevation would not undergo any alteration as proposed by the original site development plan (9/15/15). Additionally, there is a minor redesign in window configuration on the southeast portion of the property. Please see the revised set of site development plans enclosed.

**Item 9. Review and act on a request by Jerry & Rhonda Topliff 865 Kurtis Drive for sunroom addition.**

Applicants are requesting approval for construction of a sunroom in the rear yard of the property. The existing screen porch would be removed and the sunroom positioned in its place . Total building foot print and impervious surface calculations are as follows:

Total Parcel Area = 13,600 SF

Total Building Footprint = Existing Home + Proposed Addition  
 $1,557 + 257 = 1,814$  SF (13.3% of Area)

Total Impervious Surface = Total Building Footprint + Sidewalk/Driveway/Stoop/Patio  
 $1,814 + 1,282 = 3,096$  SF (22.8% of Area)

All setback requirements would be satisfied and the design will complement the existing home. Please see the set of plans for review.

**DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD**

**BUILDING BOARD  
MEETING MINUTES  
Tuesday, June 7, 2016**

---

Meeting was called to order at 5:30 p.m. by Mr. Olson.

**1. Roll Call.**

Present: Mr. Olson, Mr. Schoenecker, Mr. Wollersheim, Mr. Domaszek, Mr. Janusz, and Mr. Liechty.

Absent: Mr. Matola, Ms. Steindorf, and Mr. Riebesehl (excused)

Also Present: Mr. De Angelis, Mr. Harrison, Ms. Nelson, Applicants.

**2. Review and act on meeting minutes dated May 17, 2016.**

Mr. Domaszek motioned and Mr. Wollersheim seconded to approve the meeting minutes as submitted.

Mr. Liechty joined the meeting at 5:31 pm.

Mr. Schoenecker stated that he did have one correction: page two, item four, seventh paragraph, the word “they” should be changed to “the.”

Mr. Domaszek amended the motion and Mr. Wollersheim seconded to approve the meeting minutes as amended. Motion carried 6-0.

Mr. Wollersheim and Mr. Domaszek recused themselves from the meeting at 5:33 pm.

**3. Review and act on a request by Joel and Sarah Nack at 14280 Woodlawn Circle for a revised landscape plan.**

Jeff Wiberg from Flagstone Landscaping was present before the board.

Mr. Olson asked if Mr. Wiberg could give the board an overview of the changes made. Mr. Wiberg stated that the retaining wall shown on the upper right of the landscape plans needed to be moved slightly as there was a tree located there that was not shown on original drawings, other trees were added to fill out the lawn, and lilacs were added to the mulch bed.

Mr. Liechty asked if the pines were removed. Mr. Wiberg said yes, they decided that the pines did not make sense with the design or flow of the neighborhood. Mr. Wiberg also stated that they moved a magnolia tree away from the Juliet balcony, the Vanderwolf pines were too open so they were replaced with Norway spruce to create more screening, and the other evergreens were swapped for lilacs.

Mr. Olson asked if the work has been completed. Mr. Wiberg said yes.

Mr. Liechty stated that the landscaping looks attractive and he felt the scale is appropriate.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve plans as submitted.

Mr. De Angelis stated that the adjoining property owner had brought up a screening issue on the northeast side of the property and asked if Mr. Wiberg felt the lilacs would provide enough screening. Mr. Wiberg said they would grow to be approximately 10 feet in height and would provide enough screening.

Motion carried 4-0.

Mr. Wollersheim and Mr. Domaszek rejoined the meeting at 5:43 pm.

**4. Review and act on a request by Mary Jane Jorgensen at 1935 Fairfax Drive for a new deck and patio door.**

Mary Jane Jorgensen was present before the board.

Ms. Jorgensen stated that after recent remodeling she decided she wanted to add a door and a deck off the new kitchen. She presented pictures of sample materials and stated the railings would be cedar.

Mr. Schoenecker asked if she planned on adding any skirting in addition to what was shown on the submitted plans. Ms. Jorgensen stated that she had instructed her contractor to add skirting all the way down to prevent animals from getting underneath the deck. Mr. Schoenecker suggested that she should add lattice.

Mr. Olson stated that the submitted drawings do not show any skirting. Ms. Jorgensen said she did want the skirting and had already requested it be added and was not sure why it was not shown on the plans.

Mr. Schoenecker asked if the railing would be white. Ms. Jorgensen said that it would not be white and that she wanted them natural. Ms. Jorgensen stated that the spindles would be black aluminum and the deck is natural cedar.

Mr. Liechty asked if the contractor had planned to address the basement window that would be covered by the deck. Ms. Jorgensen said that the window was the reason that they would not be putting concrete under the deck. Mr. Liechty said that he was concerned about accessing the window for any maintenance issues down the road.

Mr. Liechty asked if the hose bib was located underneath the deck. Ms. Jorgensen said no. Mr. Liechty stated that the way it was shown in the submitted plans, it appeared to be underneath the deck. Ms. Jorgensen said that it is possible the plans were not correct as she had no intention of covering the hose bib.

Mr. Liechty asked if the electric meter would be staying to the right of the window. Ms. Jorgensen said yes. Mr. Liechty stated that the window in the drawings isn't correct and asked if the window was changing. Ms. Jorgensen said that the window would be staying the same.

Mr. Schoenecker motioned and Mr. Wollersheim seconded to approve plans as submitted. Motion carried 6-0.

**5. Other Business**

No other business.

**8. Adjournment**

Mr. Wollersheim motioned and Mr. Domaszek seconded to adjourn the meeting. Motion carried 6-0.

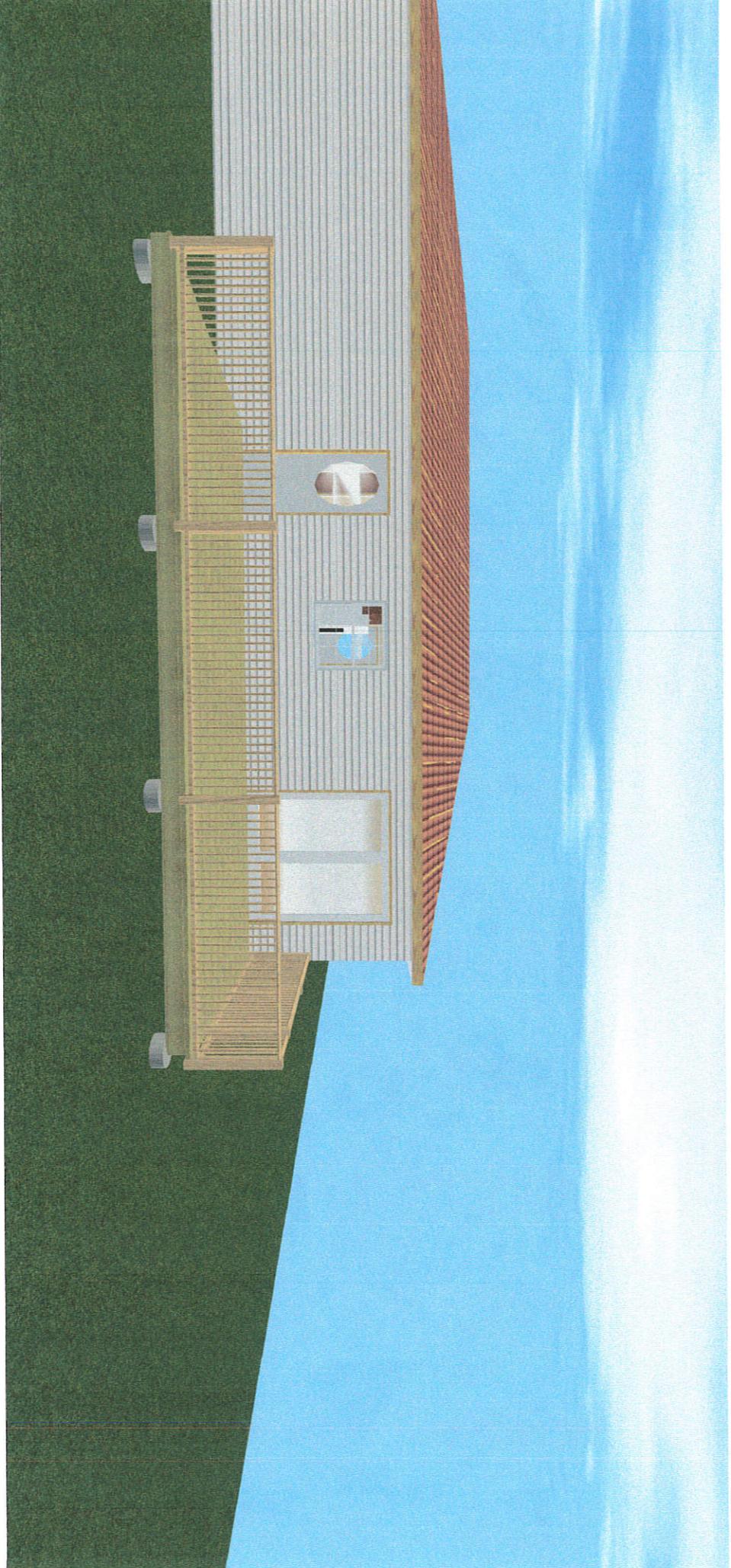
Meeting adjourned at 5:50 p.m.

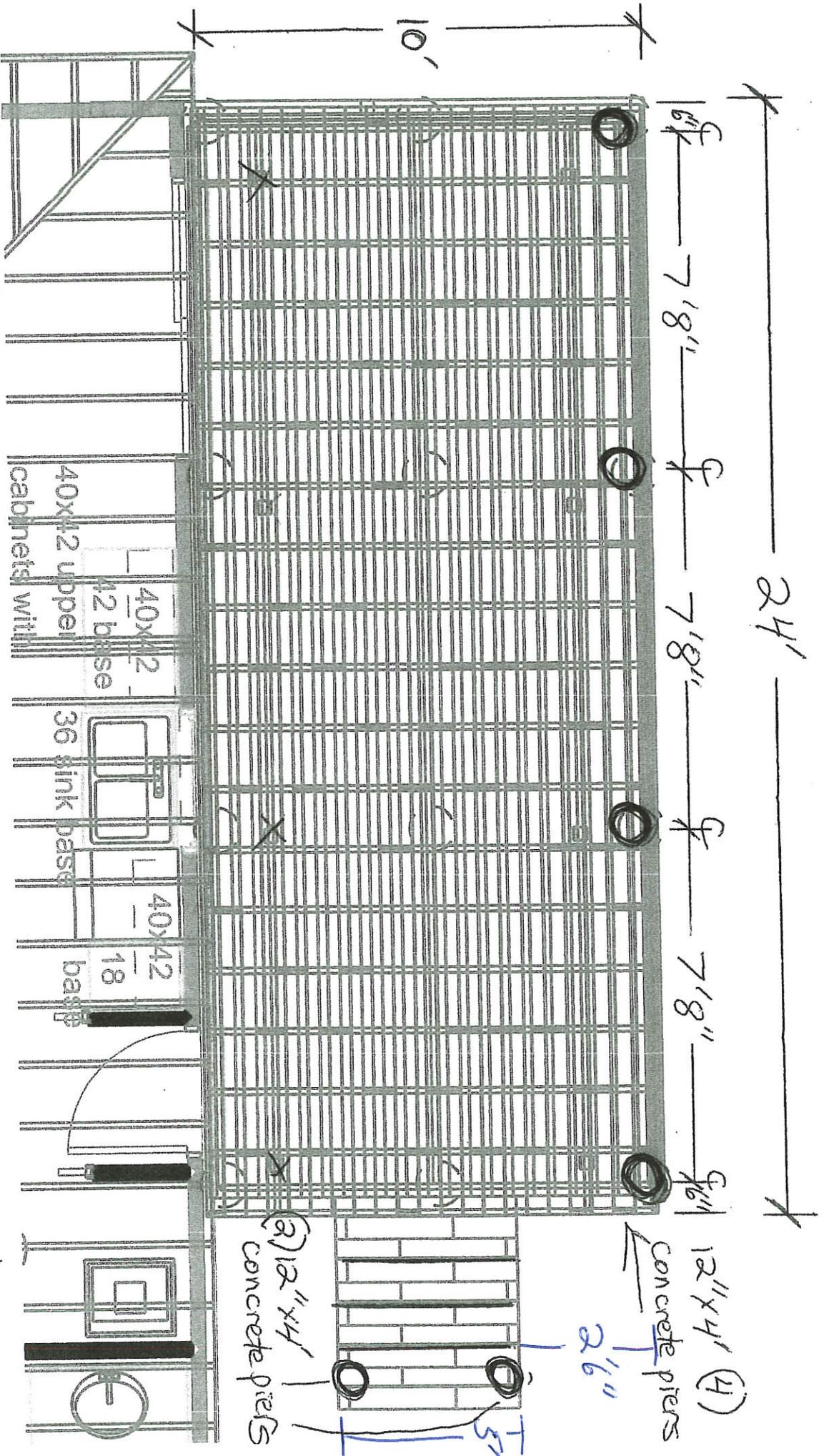
Respectfully Submitted,

Carey Nelson  
Administrative Assistant

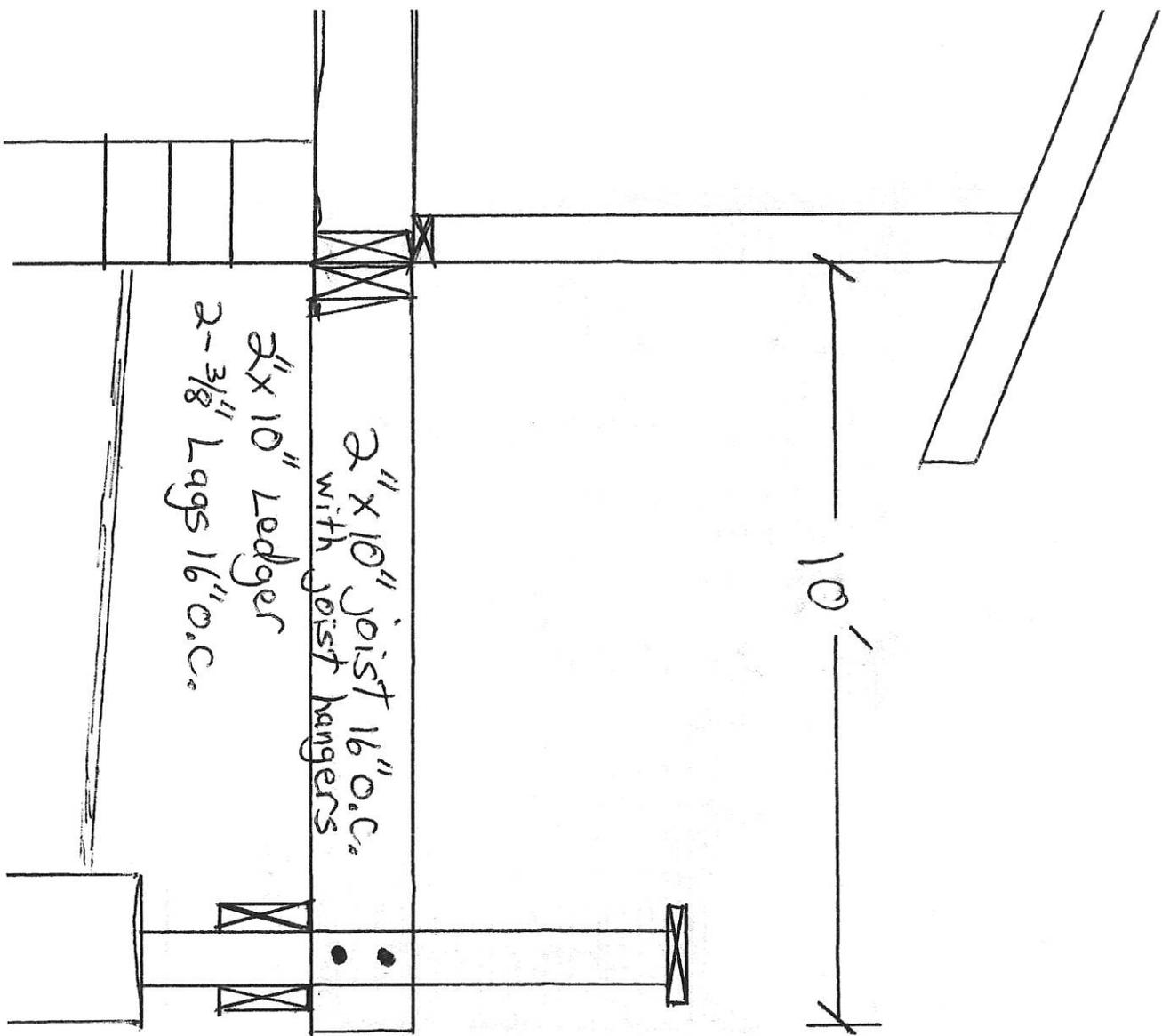
new Deck

1265 Woodside Lane





2-2"x12' Header along piers material to be all treated.  
 2"x10" joist 16" o.c.  
 5/4" x 6" deck boards  
 2"x10" ledger with joist hangers



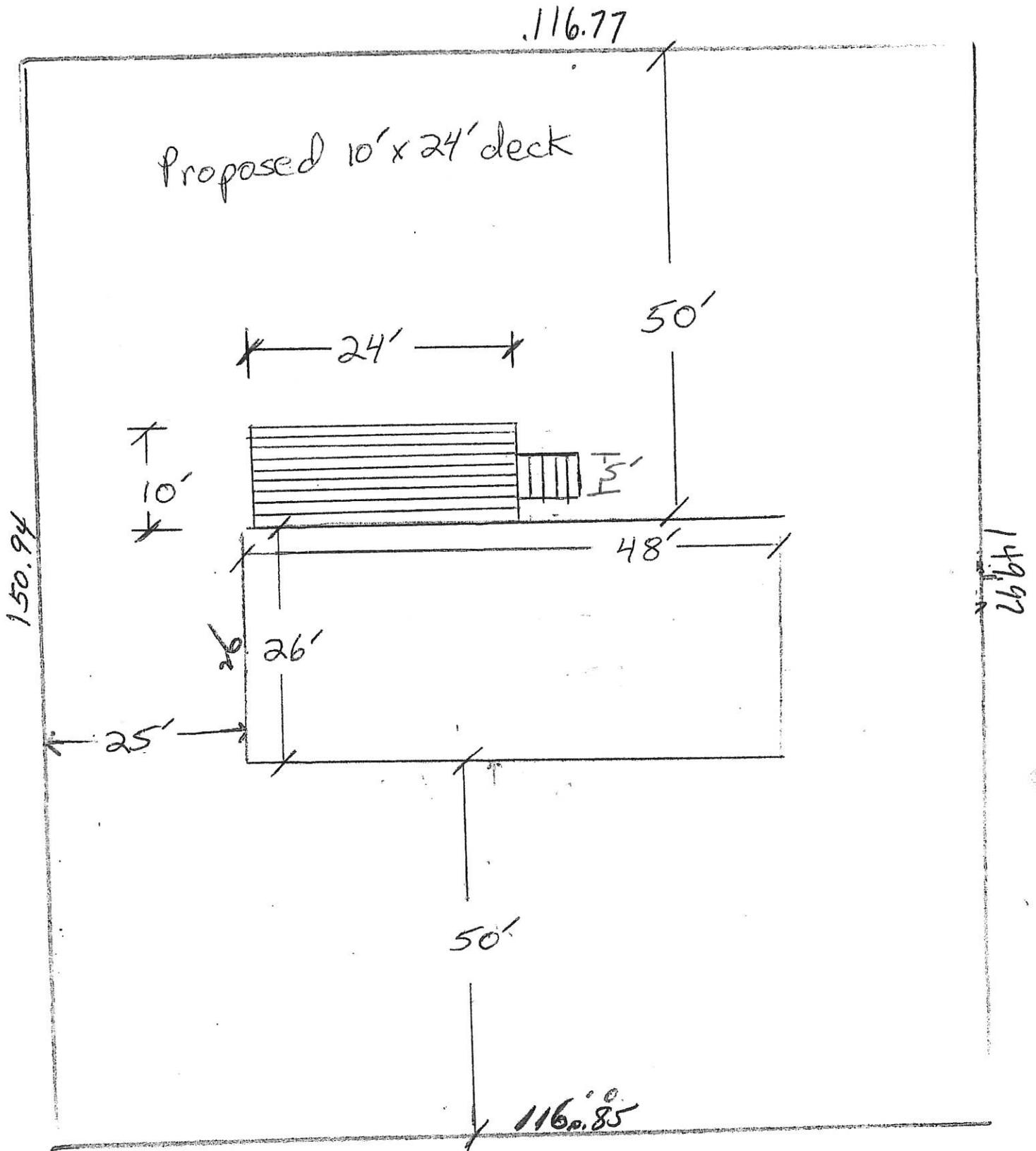
10'

2" x 10" joist 16" o.c.  
with joist hangers

2" x 10" lodger  
2-3/8" Lags 16" o.c.

2-2" x 12" header  
2-1/2" bolts per 4" x 4"

12" pier  
48" min depth



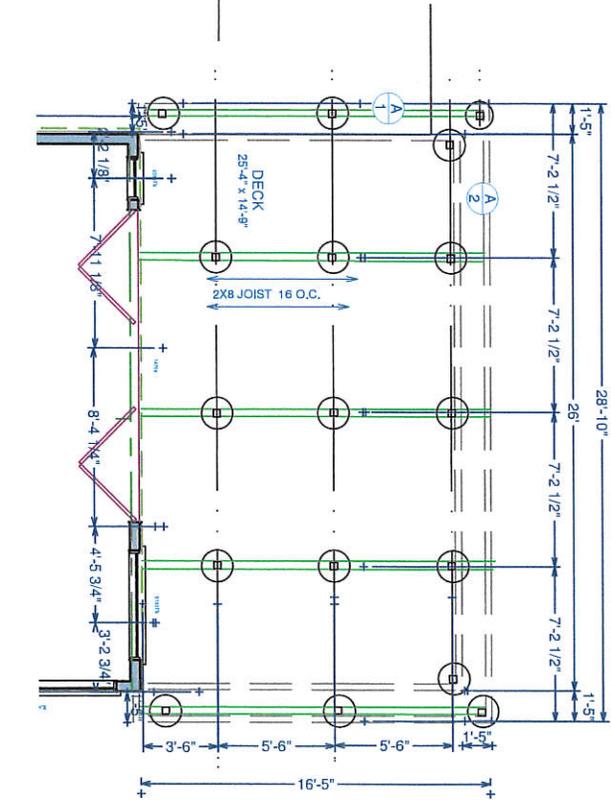
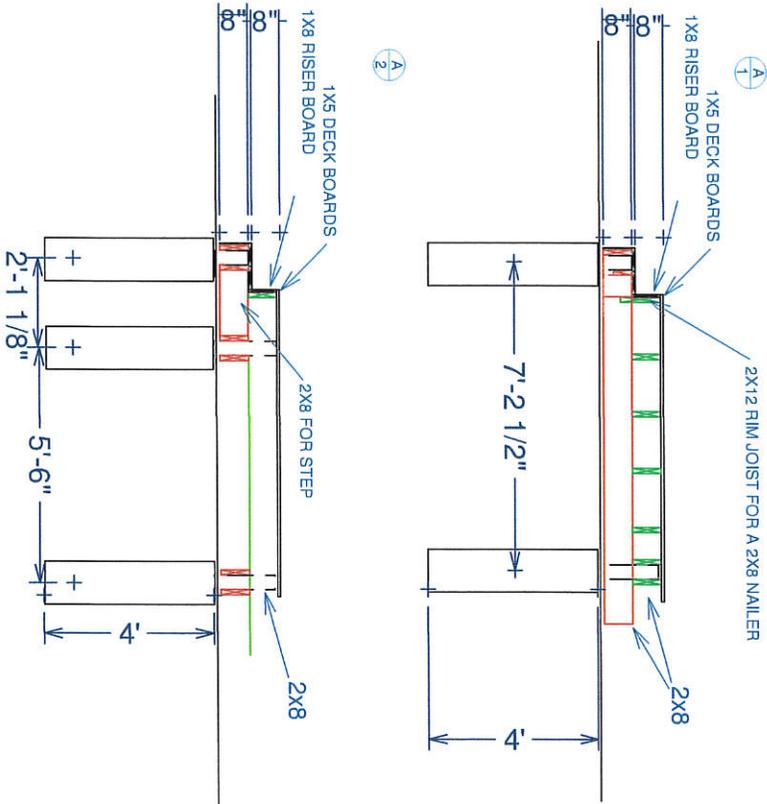
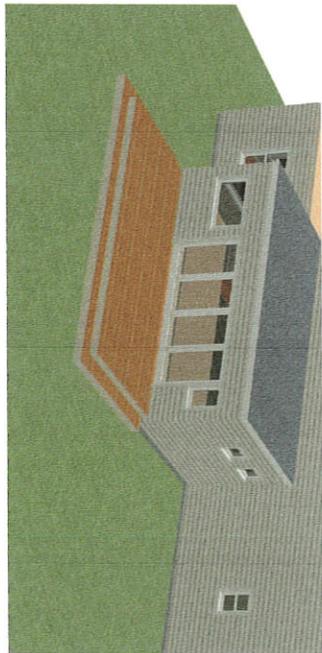
1265 N Woodside Lane

# BACK DECK

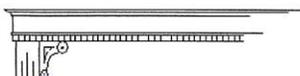
## MAIN FRAMING

- 12INCH 48 DEEP POST HOLES (20) WITH Z-MAX 4X4 16-GAUGE GALVANIZED POST BASE TREATED 4X4 POST
- 2X12 RIM JOIST ON TOP LEVEL TO BE USED FOR A NAILER FOR 2X8 FOR THE STEPS
- 2X8 INTERMEDIATE JOISTS 16 O.C.
- 2X8 SUPPORT BEAMS

- ## DECKING
- GRAY GROOVED CAPPED COMPOSITE DECKING
  - 1X8 RISER, .109 LINER FEET AROUND STEP AND TOP DECK



**NOTICE:**  
Frame to Finish does not represent or imply itself to be a licensed architect or engineer. The plans furnished here were prepared upon request by a draftsman who is not registered as an architect or professional engineer. It is understood that this plans and designs were generated for the owners as noted and are the property of Frame to Finish. Any other use of these drawings without the written permission of Frame to Finish constitutes fraud and voids any and all liability and responsibility of Frame to Finish.



**Frame to Finish**  
Design Build Remodel  
Office 414-449-3808  
Contractor: 1080212 Qualifier:1080211

PROPOSED FOR:

Mazio Berian  
1160 Terrace Dr.  
Elm Grove, WI 53122

Sheet:

**A-1**

Date:

Drawn:

Job No:

Scale: 1/4" = 1 FT.



FOR: KEN & BETH WILSON

LEGAL DESCRIPTION: Lot 3, FROM THE TERRACE, being a resubdivision of a part of Lot 1 and all of Lot 2, Block 10 of Loftus Assessment Plat No. 1, of a part of Lot 8 and all of Lots 9, 10, 11 of Glendale Subdivision, an unrecorded plat, said lands being in the NE 1/4 of the NW 1/4 of Section 26, and the SE 1/4 of the SW 1/4 of Section 23, all in T7N, R20E, Village of Elm Grove, Waukesha County, Wisconsin.

Iron pipes found. No pipes set as part of survey.

REFERENCE MERIDIAN: The East line of the SW 1/4 of the SW 1/4 of Section 23-7-22, assumed to be N00°05'00"E.

NO TITLE POLICY FURNISHED THEREFORE COMPLETENESS OF EASEMENTS IS NOT WARRANTED

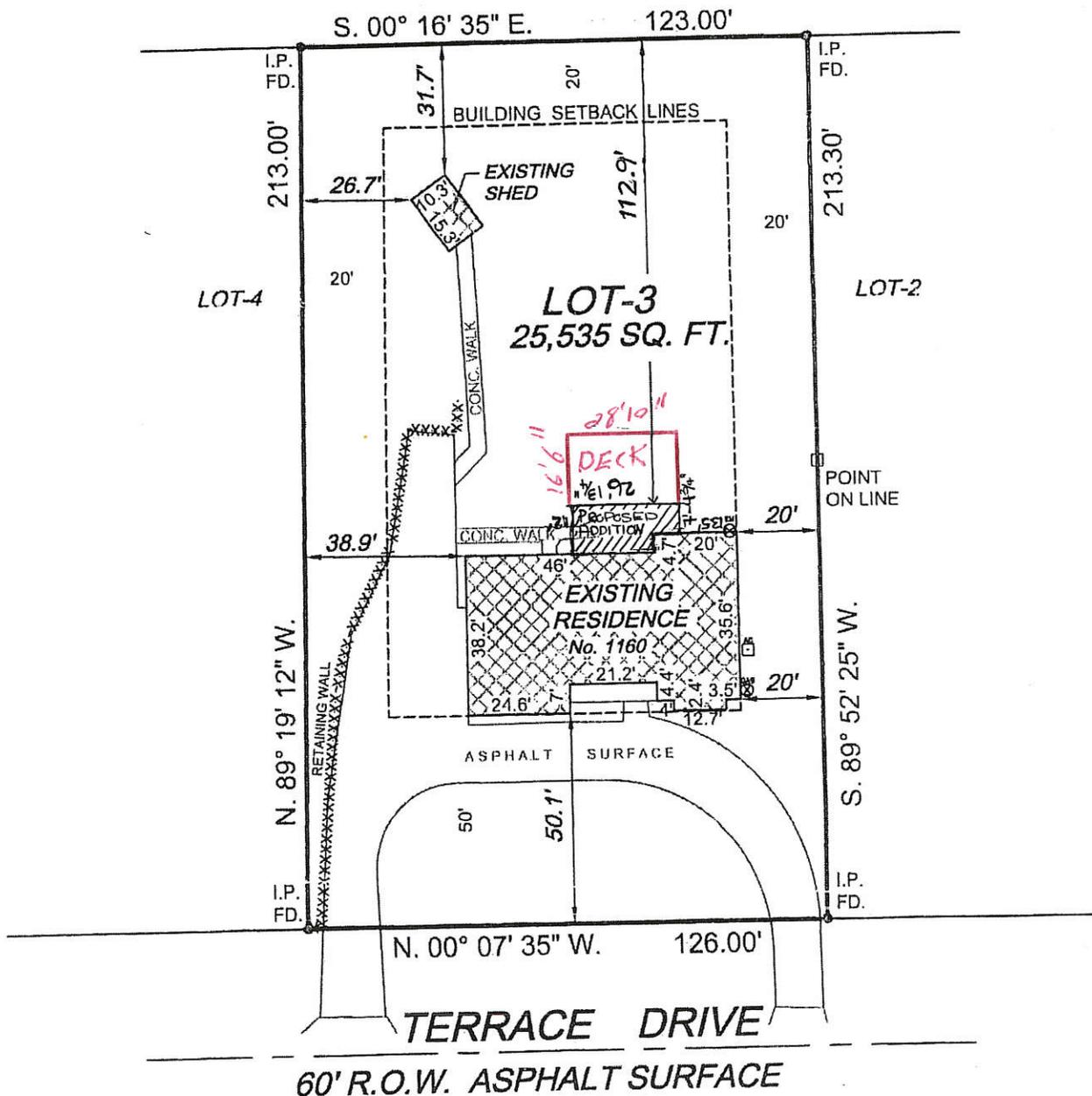
APPROVED  
VILLAGE OF ELM GROVE  
BUILDING BOARD

DATE 9/15/15 INITIAL CTG

RECEIVED

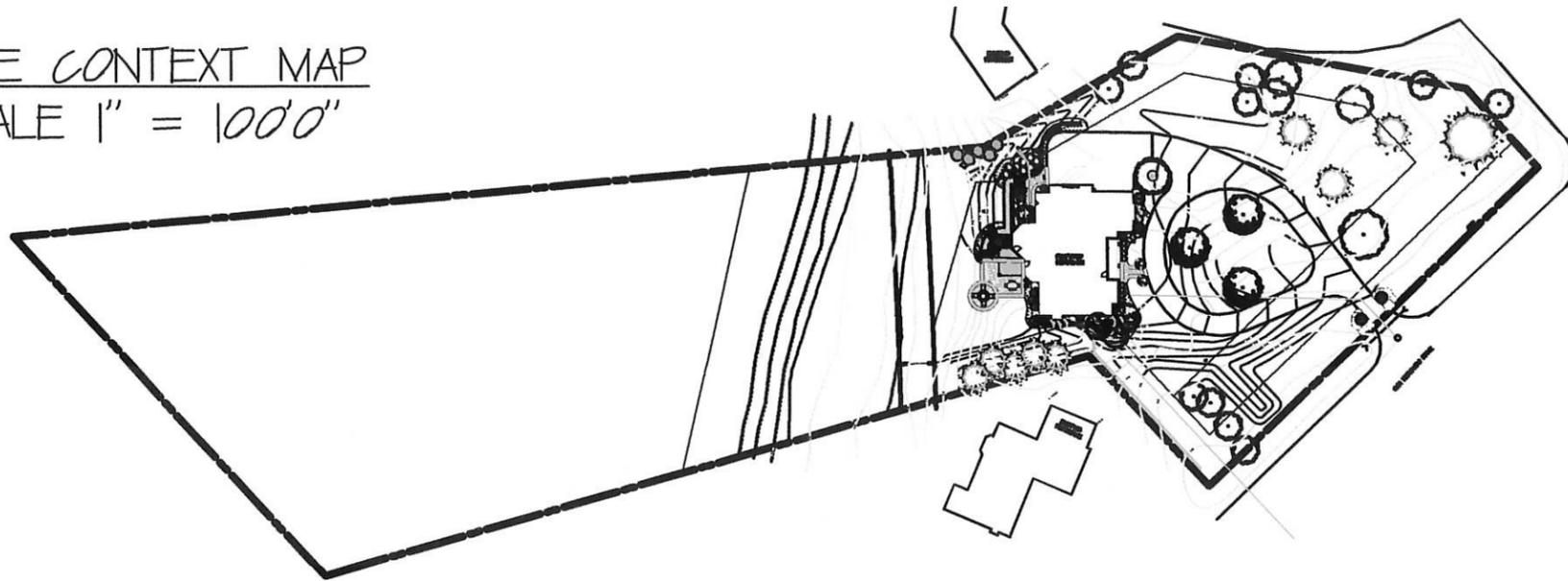
AUG 10 2015

VILLAGE OF ELM GROVE

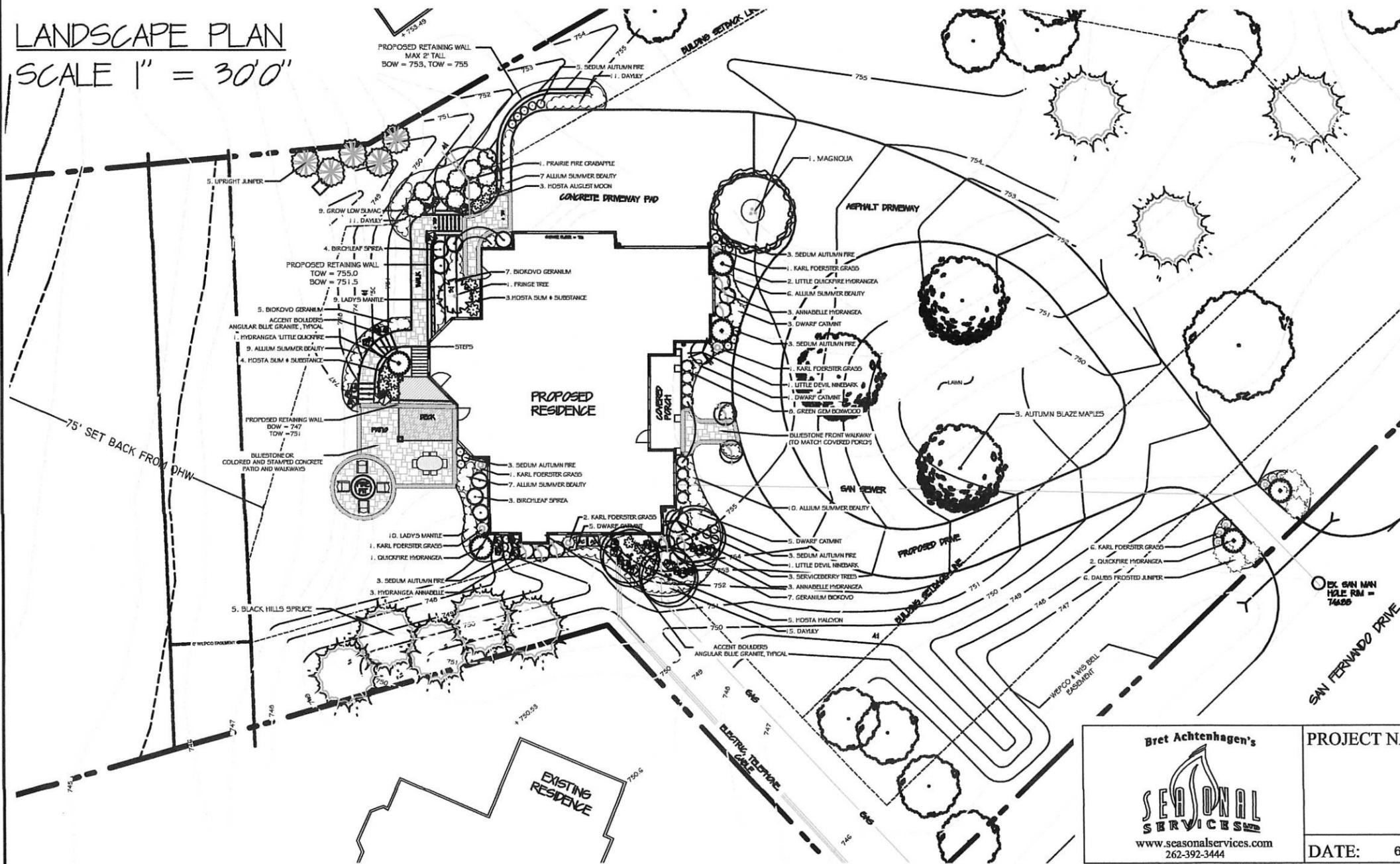




**SITE CONTEXT MAP**  
SCALE 1" = 100'0"



**LANDSCAPE PLAN**  
SCALE 1" = 30'0"



**PLANT KEY & SCHEDULE**

TREE	COMMON NAME	SCIENTIFIC NAME	SIZE	QTY.
	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	3" DIA	3
	LEONARD MESSEL MAGNOLIA	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	3" DIA	1
	SERVICEBERRY	AMELANCHIER GRANDIFLORA	8' CLUMP	3
	PRAIRIE FIRE CRABAPPLE	MALUS X 'PRAIRIE FIRE'	2" DIA	1
	FRINGE TREE	CHIONANTHUS VIRGINICUS	6' CLUMP	1
	BLACK HILLS SPRUCE	PICEA GLAUCA	8'	5
	UPRIGHT JUNIPER	JUNIPERUS CHINENSIS 'MOUNTBATTEN'	7'	5
SHRUB	COMMON NAME	SCIENTIFIC NAME	SIZE	QTY.
	T.F. HYDRANGEA LIMELIGHT	T.F. HYDRANGEA PAN. 'LIMELIGHT'	#7 CONT.	2
	ANNABELLE HYDRANGEA	HYDRANGEA ARB. 'ANNABELLE'	#5 CONT.	9
	LITTLE QUICKFIRE HYDRANGEA	HYDRANGEA PAN. 'LITTLE QUICKFIRE'	#3 CONT.	3
	QUICKFIRE HYDRANGEA	HYDRANGEA PAN. 'QUICKFIRE'	#5 CONT.	2
	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPUL. 'LITTLE DEVIL'	#3 CONT.	2
	BIRCHLEAF SPIREA	SPIREA BETULIFOLIA 'TOR'	#5 CONT.	7
	GRO LOW SUMAC	RHUS AROMATICA 'GRO LOW'	#5 CONT.	9
	DAUBS FROSTED JUNIPER	JUNIPERUS CHIN. 'DAUBS FROSTED'	#5 CONT.	6
	GREEN GEM BOXWOOD	BUXUS X 'GREEN GEM'	18" B&B	8
PERENNIAL	COMMON NAME	SCIENTIFIC NAME	SIZE	QTY.
	AUTUMN FIRE SEDUM	SEDUM X 'AUTUMN FIRE'	1 GAL. CONT.	20
	KARL FOERSTER GRASS	CALAMAGROSTIS 'KARL FOERSTER'	1 GAL. CONT.	6
	SUMMER BEAUTY ALLIUM	ALLIUM X 'SUMMER BEAUTY'	4.5". CONT.	39
	DWARF CATMINT	NEPETA X 'JR. WALKER'	1 GAL. CONT.	14
	AUGUST MOON HOSTA	HOSTA X 'AUGUST MOON'	1 GAL. CONT.	3
	HALCYON HOSTA	HOSTA X 'HALCYON'	1 GAL. CONT.	5
	SUM & SUBSTANCE HOSTA	HOSTA X 'SUM & SUBSTANCE'	1 GAL. CONT.	7
	BIOKOVO KARMINA GERANIUM	GERANIUM X 'BIOKOVO KARMINA'	1 GAL. CONT.	19
	LADY'S MANTLE	ALCHEMILLA MOLLIS	1 GAL. CONT.	19
	HAPPY RETURNS DAYLILY	HEMEROCALLIS X 'HAPPY RETURNS'	1 GAL. CONT.	37

**IMPERVIOUS SURFACE CALCULATIONS**

Lot Square Footage = 131,381 s.f.

Standard Allowable Impervious Surface S.F (30%) = 39,414.3 s.f.

Impervious Surface Calcs  
House/Porch = 3,867 s.f.  
Driveway (to prop. line) = 6,536 s.f.  
Front Walkway = 99 s.f.  
Patio, Back Walk & Steps = 1,020 s.f.

Total = 11,522 s.f. or 8.77% coverage

Bret Achtenhagen's  
**SEASONAL SERVICES**  
www.seasonalservices.com  
262-392-3444

PROJECT NAME:

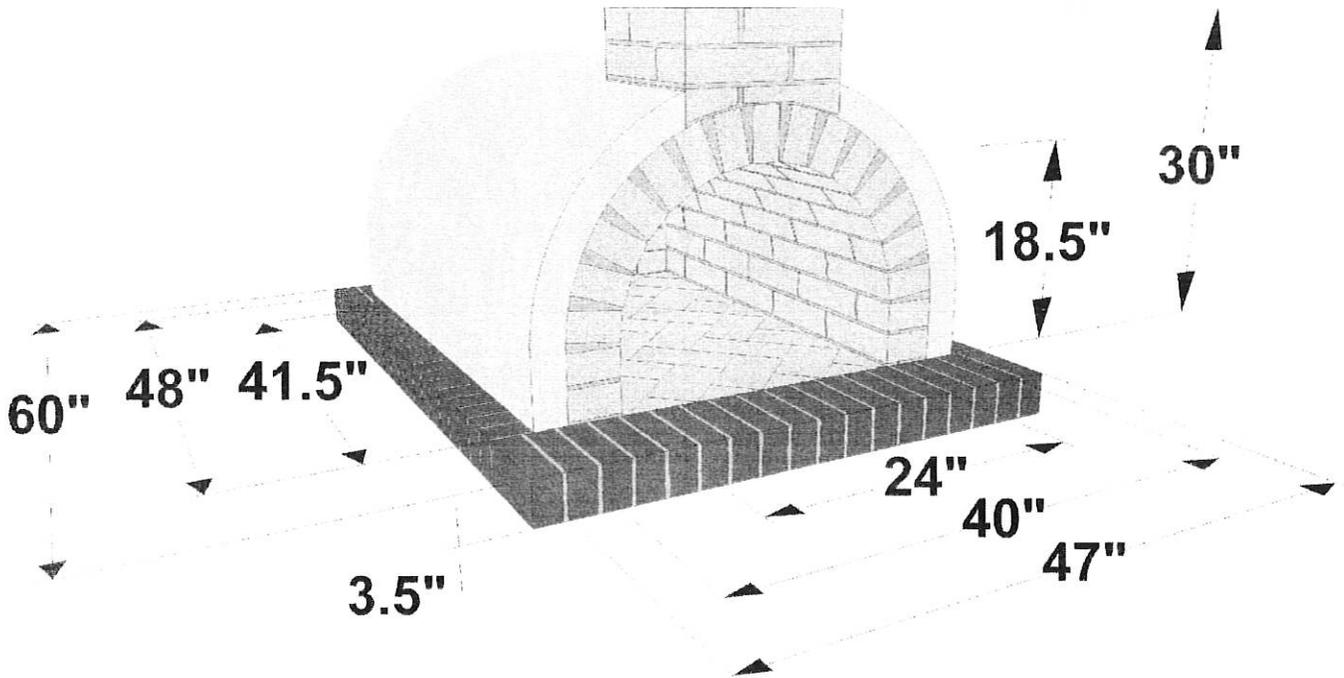
**HARMELINK**  
1775 and 1825 SAN FERNANDO DR.  
ELM GROVE, WI 53122

DATE: 6.13.16

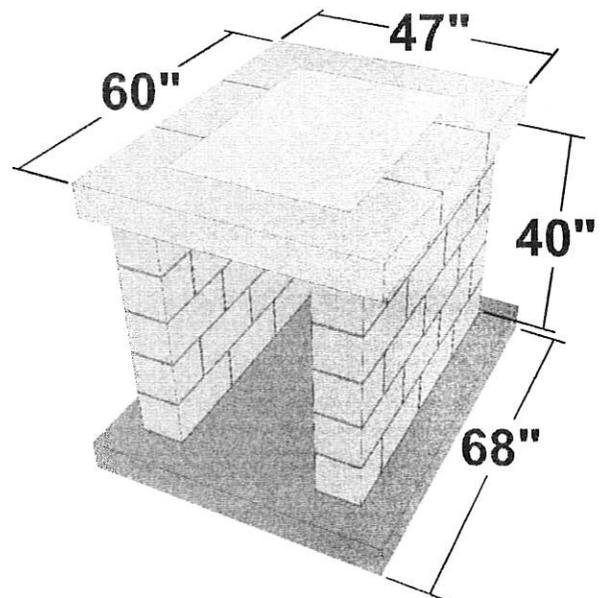
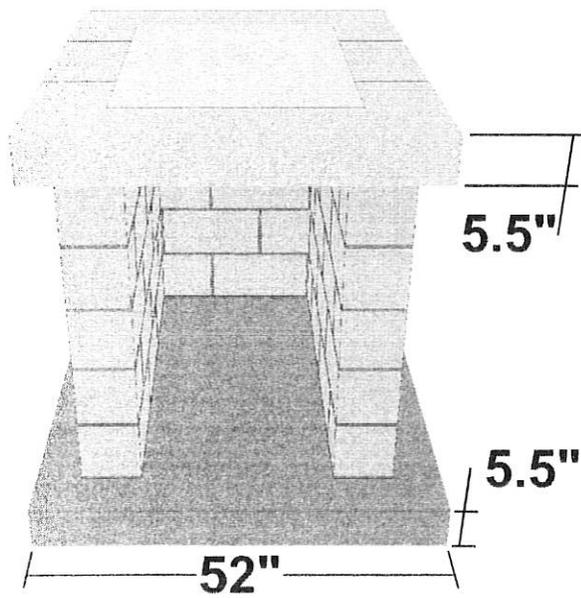
SCALE: 1" = 30'00"



**- INSULATED OVEN MEASUREMENTS -**



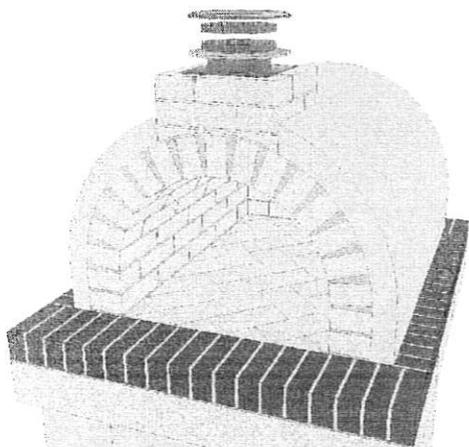
**- 47" x 60" INSULATED HEARTH SLAB & BASE MEASUREMENTS -**



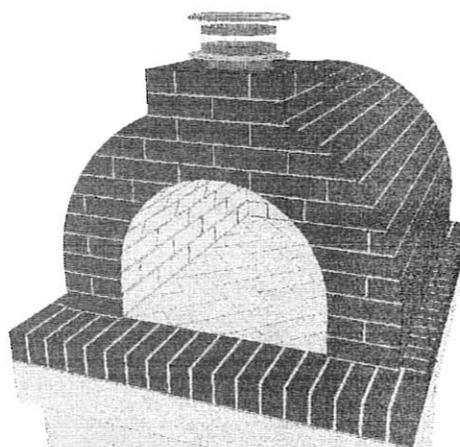
**- Finishing the Barile Series Oven -**

Once you have fully assembled your Cortile Barile oven, you **MUST** apply some sort of finish to protect the firebrick & unfinished stucco / mortar from the elements. The finish can be as simple as a couple of layers of paint on the stucco / mortar shell or an elaborate housing that would make any true Italian proud!

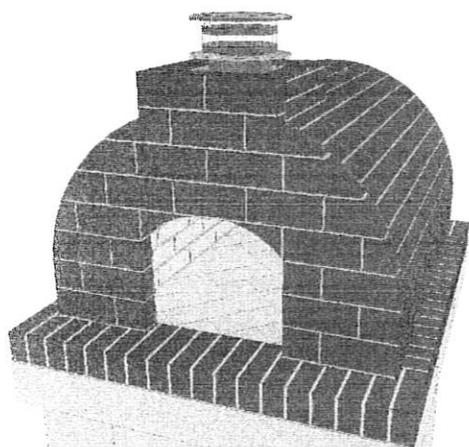
Before you even begin your project, visit your local Masonry and/or Building Supply and look through their various types of masonry veneers. Keep in mind, this oven will last for generations – **Make It Awesome!**



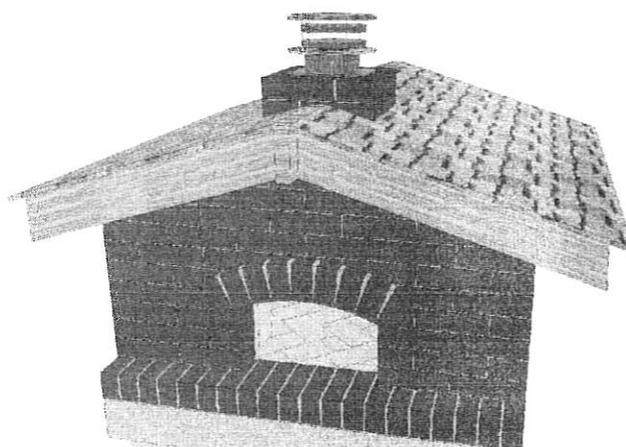
**Painted Stucco Shell**



**Thin Brick Veneer on Stucco Shell**



**Thin Brick Veneer Finish w/ Closed Front**

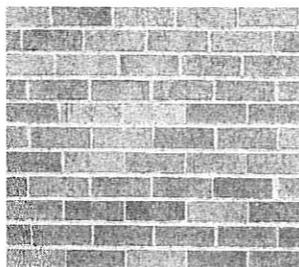


**Complete Brick Oven Housing**

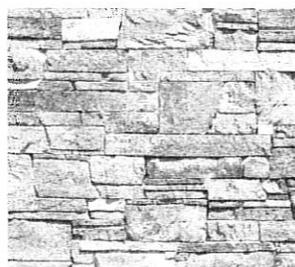
**- Basic Types of Masonry Finishes & Veneers -**



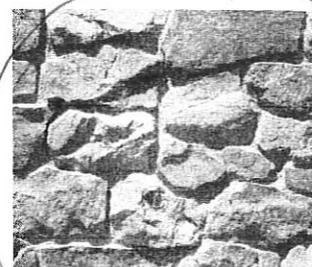
**STUCCO**



**BRICK VENEER**



**STONE VENEER**



**NATURAL STONE**

PROPERTY AT  
LEGAL DESCRIPTION:

Braemar Drive  
Lot 9, in Braemar, being a subdivision of a part of the North West 1/4 and West 1/4 of Section 25, Township 7 North, Range 20 East, in the Village of Grove, Waukesha County, Wisconsin.

I have surveyed the above described property and the representation thereof and shown size and location of the property, its exterior boundary lines, the location and dimensions of all structures thereon, fences, apparent easements, roadways and visible encroachments. This survey is made for the exclusive use of the present proprietors of the property, also those who purchase the same hereafter and as to them I warrant that this survey is made for the exclusive use of the present proprietors of the property, also those who purchase the same hereafter and as to them I warrant that mortgage or guarantee the title thereto within one year from date hereof and as to them I warrant that accuracy of said survey and map.

Prepared for Arthur B. Py

this 16th. day of June 1977.

Badger Surveying Co.,  
7970 N. 47th. Street  
Brown Deer, Wisc. 53  
354-9080

PLAT NO. B77-566

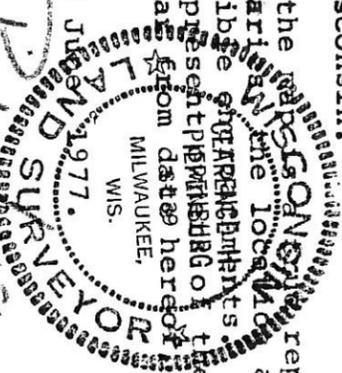
REV DW & LOC. 8/8/77

REV. DWLG 9/8/77

11/9/77

FOOTING CHECK  
11/23/77

*Clarence H. Piepenbush*  
CLARENCE H. PIEPENBUSH, IS A PROFESSIONAL SURVEYOR  
IF SEAL IS IMPRINTED IN REDS-139



N. 0° 28' 33" E.

50.00'

N. 1° 24' 20" E.

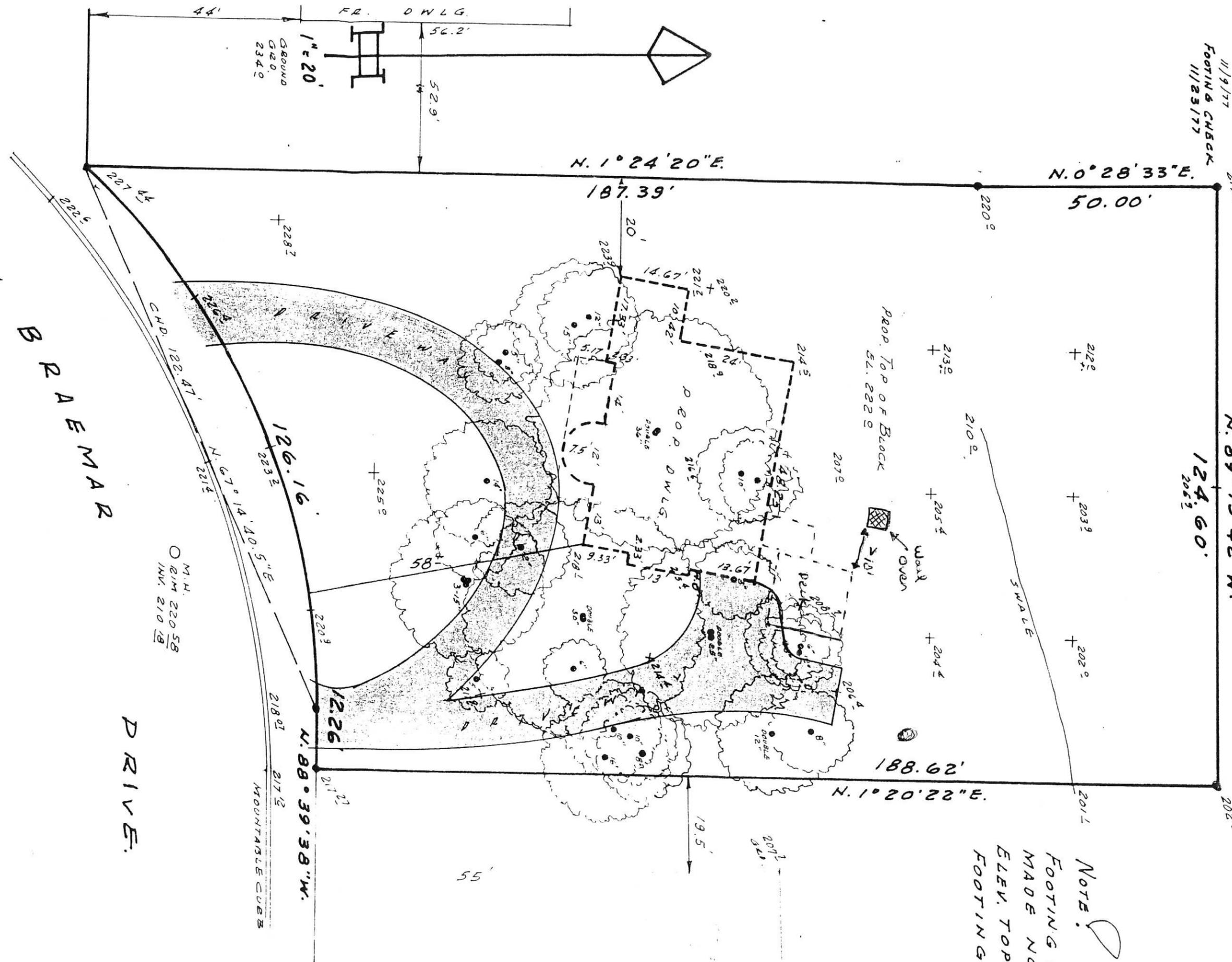
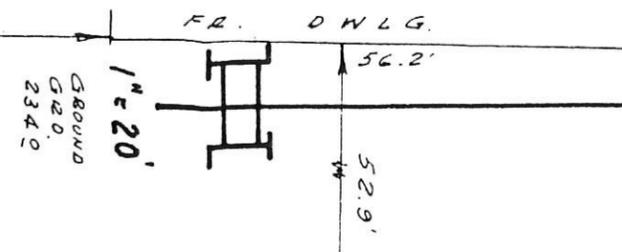
187.39'

124.60'

205 2

N. 1° 20' 22" E.

188.62'



NOTE: *D*

FOOTING CHECK  
MADE NOV. 23  
ELEV. TOP OF L  
FOOTING 209

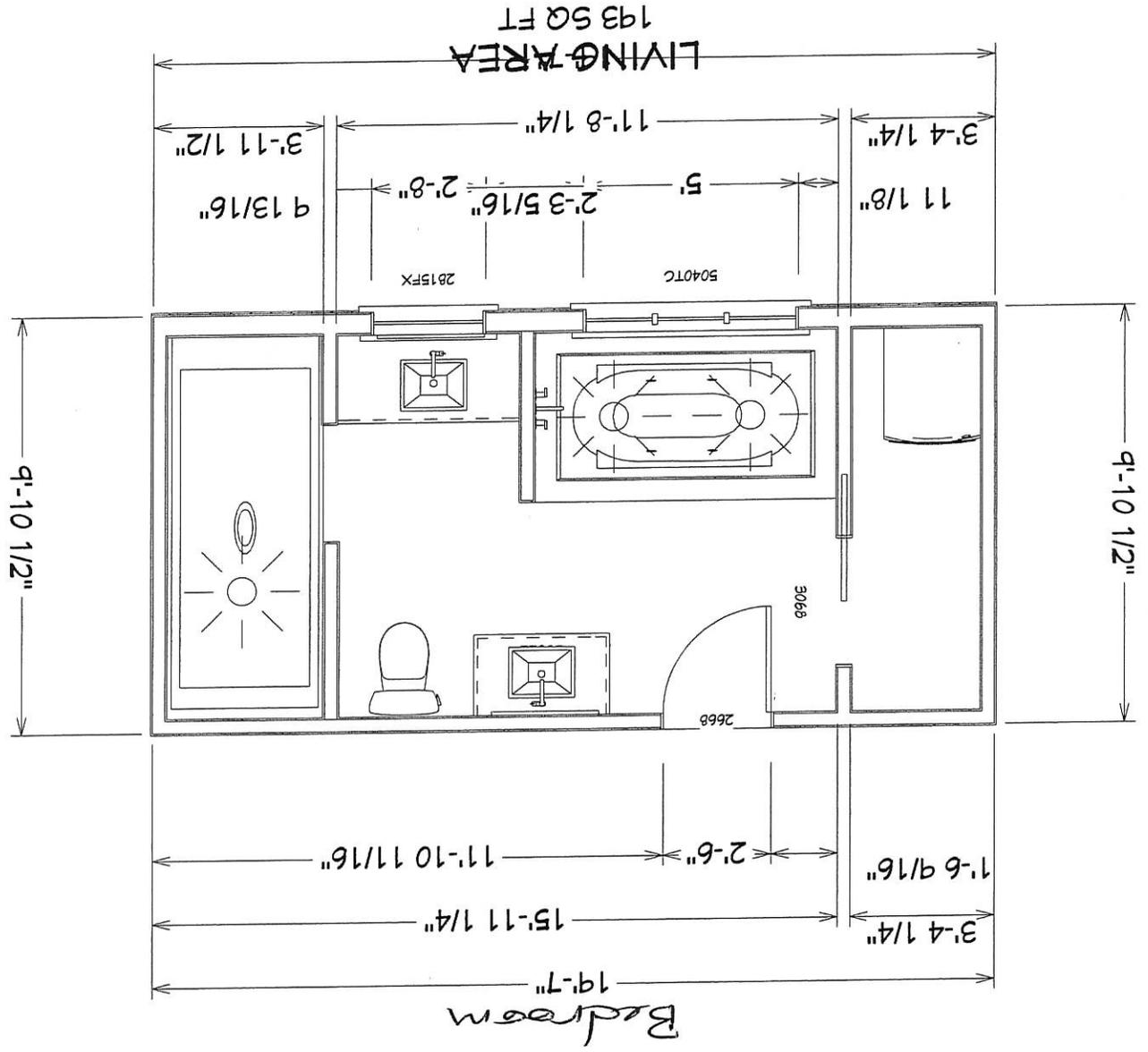
NOTE: *D*  
IRON PIPE  
ELEV REFER TO VILL. DATUM

BRAEMAR  
DRIVES.

M.H.  
O RIM 220.58  
I.M.V. 210.18

MOUNTAIN CURB

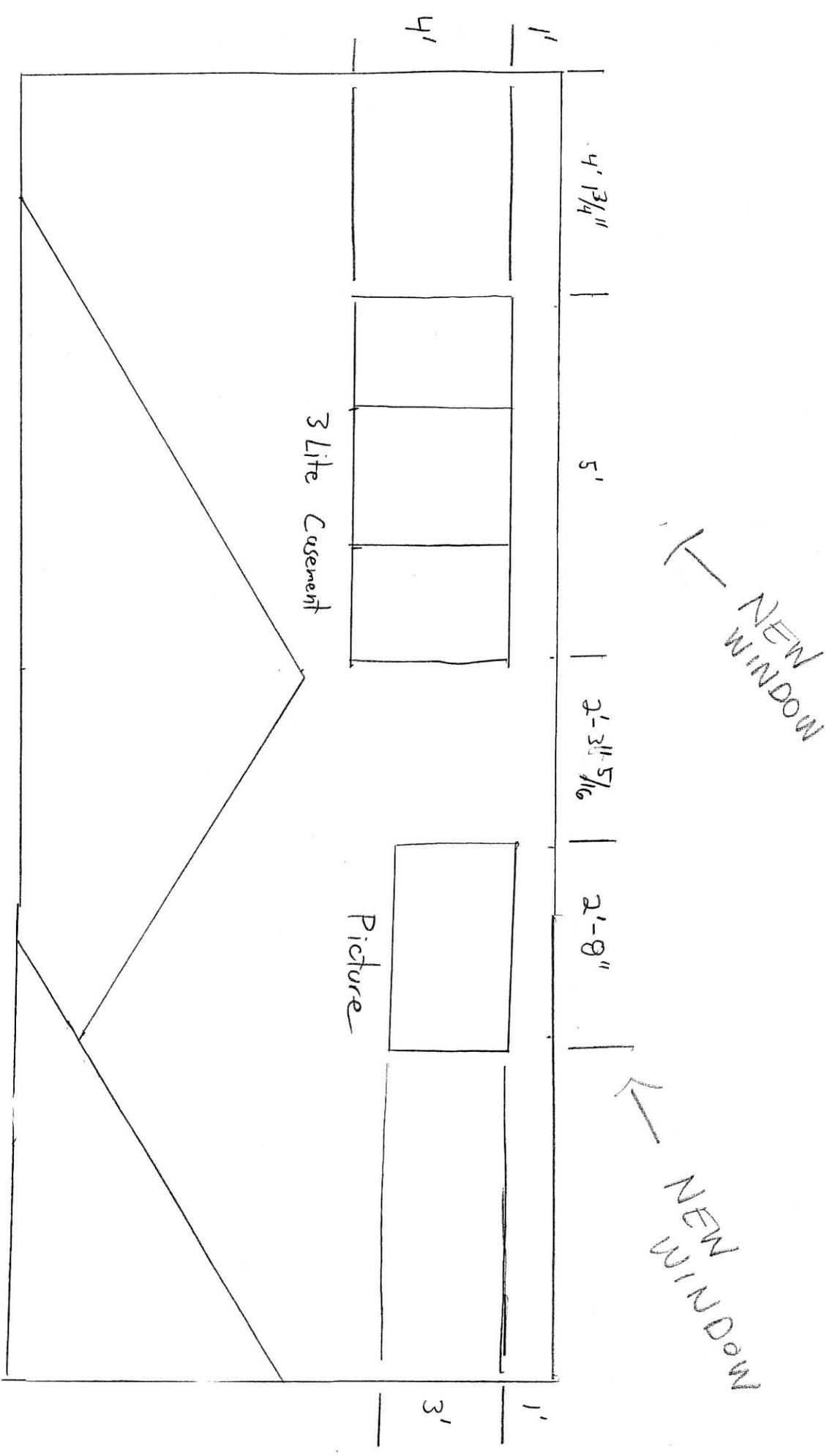
Inland Kitchen & Bath Contractor: Eric's Wood 262-623-2718



Karlene Hendon  
 785 Verdant Dr.  
 Cim Grove WI  
 262-844-4349

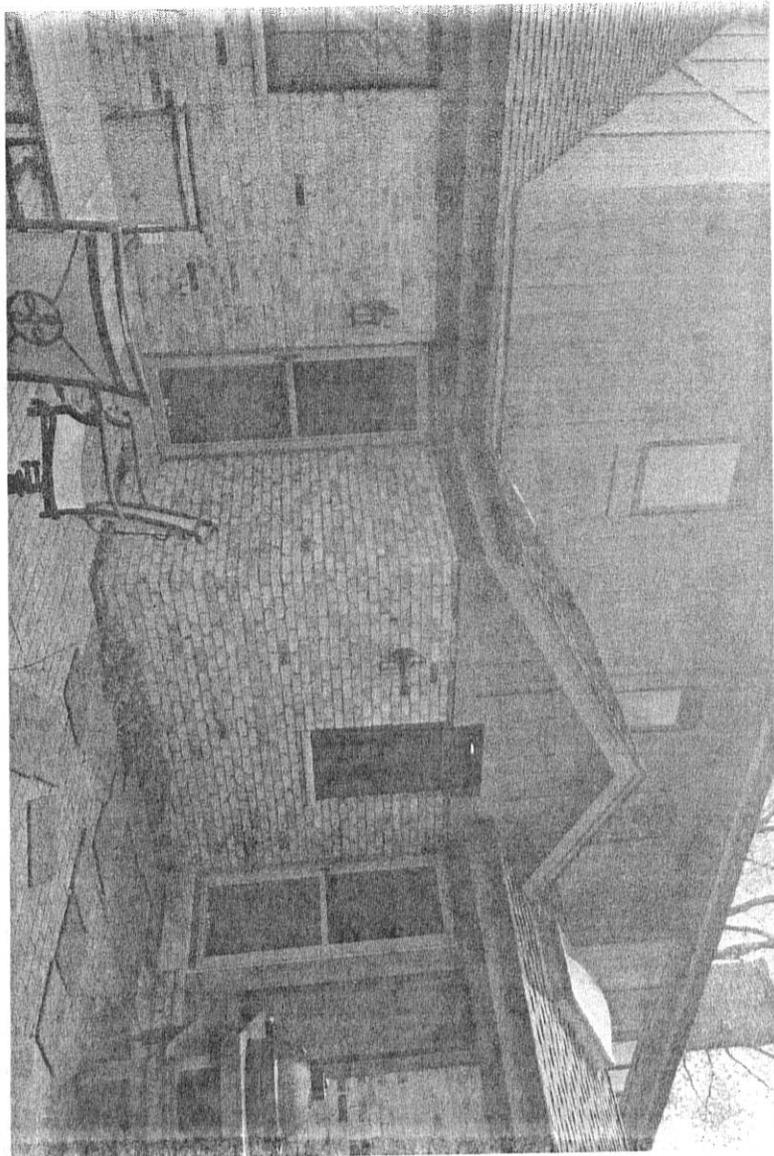
Assessor's copy

785 Verdant Dr  
Elm Grove



HOUSE  
OUTSIDE  
ELEVATION  
VIEW

+



Plat Of Survey

Property Address: 1655 Legion Drive, Elm Grove, Wisconsin

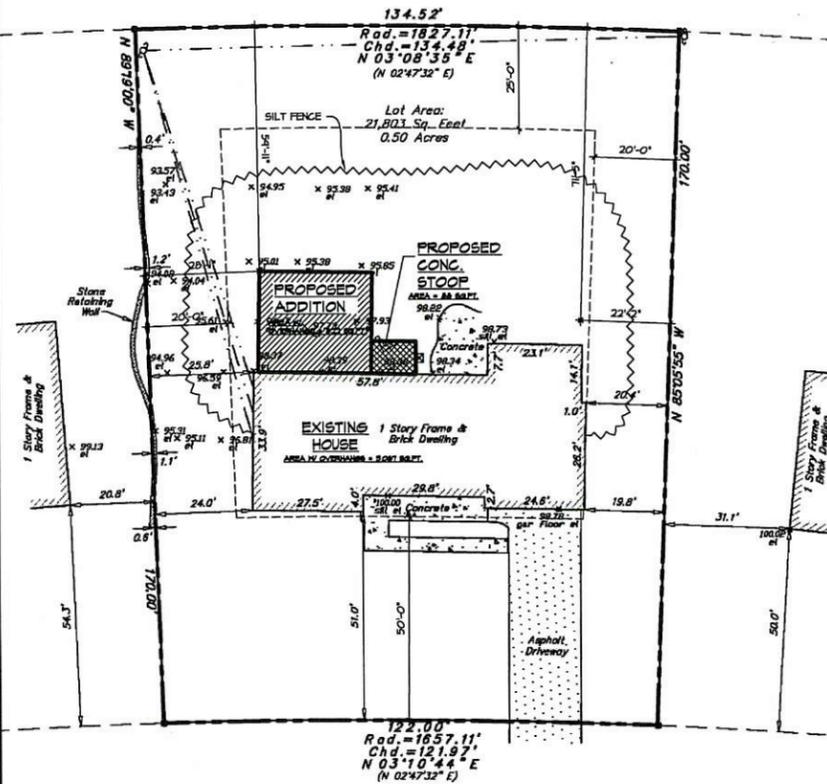
Property Description: Lot 4, Block E, MARIAN HEIGHTS, being a subdivision of part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 and part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 of Section 24, Township 7 North, Range 20 East, Village of Elm Grove, Waukesha County, Wisconsin

August 7, 2015

Prepared For: MKE Contracting



Survey No. 15131



PARCEL AREA:	21,003 S.F.
REQUIRED MAXIMUM BUILDING FOOTPRINT AREA (PER ZLM GROVE)	4,360 S.F. (20%)
EXISTING HOUSE (INCLUDING OVERHANGS)	3,067 S.F.
PROPOSED CONC. STOOP	89 S.F.
PROPOSED ADDITION (INCLUDING OVERHANGS)	822 S.F.
ACTUAL BUILDING FOOTPRINT AREA:	3,977 S.F. (18.2%)
REQUIRED MAXIMUM IMPERVIOUS SURFACE (PER ZLM GROVE)	6,541 S.F. (30%)
ACTUAL IMPERVIOUS AREA:	5,506 ± S.F. (25.2%)

**SITE DEVELOPMENT PLAN**

1" = 20'-0"

RECEIVED

JUN 10 2016

VILLAGE OF ELM GROVE

**GENERAL NOTES**

- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
- ALL STATE OF WISCONSIN, LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.
- 1/2" OSB SHALL BE NAILED TO TRUSSES AT A MAXIMUM OF 8" O.C. STEEL H-CLIPS SHALL BE USED BETWEEN TRUSSES.
- ALL HOOD FOR EXTERIOR WALLS, INTERIOR BEARING WALLS SHALL BE SFF-42 GRADE OR BETTER UNLESS OTHER WISE NOTES. FLOOR JOIST SHALL BE ENGINEERED JOIST. ALL HOOD REQUIRED TO COMPLETE THE ROOF SHALL BE PER ROOF TRUSS MANUFACTURER SPECIFICATIONS.
- DESIGN DATA:  
LIVE LOAD ROOF 30#/SQ.FT. WIND LOAD 20#/SQ.FT.  
LIVE LOAD FLOOR 40#/SQ.FT. LIVE LOAD STAIRS 80#/SQ.FT.  
CONCRETE 3000 PSI  
REINFORCED STEEL YIELD 60,000 PSI. CRSI SPECIFICATIONS.  
ASSUMED SOIL PRESSURE 3000 PSF.  
CONFACTION OF ANY FILL, REQUIRED UNDER FLOOR SHALL BE TO 15% MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D991). THIRD PARTY TESTS SHALL BE REQUIRED TO BE FURNISHED TO DESIGNER TO INSURE THAT THE COMPACTION IS PER ABOVE.
- ALL CONCRETE BLOCK SHALL BE STATE OF WISCONSIN APPROVED. BRICK SHALL BE SECURELY ATTACHED TO HOOD FRAMING WITH 22 GAUGE CORRUGATED GALVANIZED SHEET METAL TIES - 7/8" WIDE WITH AT LEAST ONE ANCHOR IN EVERY 2 SQUARE FEET OF WALL. MORTAR SHALL BE TYPE "M".
- THERMAL PERFORMANCE BY OTHERS
- VENTILATE ATTIC PER CODE.
- ALL FRAMED WALLS IN PERIMETER OF BASEMENT (BOTH STRUCTURAL & FURRED WALLS) MUST BE INSULATED PER PLAN OR MINIMUM R-II F.S. BATT.
- TRUSS MANUFACTURER TO VERIFY FIREPLACE VENTING SPACE FOR ALL FIREPLACES.
- ALL FRAMED WALLS IN PERIMETER OF BASEMENT (BOTH STRUCTURAL & FURRED WALLS) MUST BE INSULATED PER PLAN OR MINIMUM R-II F.S. BATT.
- TRUSS MANUFACTURER TO VERIFY FIREPLACE VENTING SPACE FOR ALL FIREPLACES.
- ALL WINDOW SIZES DEPICTED IN FRAME SIZE IN INCHES.  
(EXAMPLE 24/54 GSMT = CASEMENT WINDOW FRAME SIZE OF 24" WIDE BY 54" TALL)

**PLAN NOTES:**

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT GENERAL CONTRACTOR OR THE ARCHITECT WITH ANY QUESTIONS.
- FOR PLACEMENT OF HOUSE ON LOT REFER TO SURVEYORS DRAWINGS. GRADES SHOWN ON THESE PLANS ARE ASSUMED, CONFIRM ALL GRADES WITH SURVEY OR SITE VERIFY.
- ALL INTERIOR WALLS ARE 4-1/2" UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS ARE 6-1/2" UNLESS OTHERWISE NOTED
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP., APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS

**SCOPE OF DRAWING:**

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

**WALL KEY:**

- = EXIST. WALL TO REMAIN
- = EXIST. WALL TO BE REMOVED
- = NEW STUD WALL
- = BEARING WALL

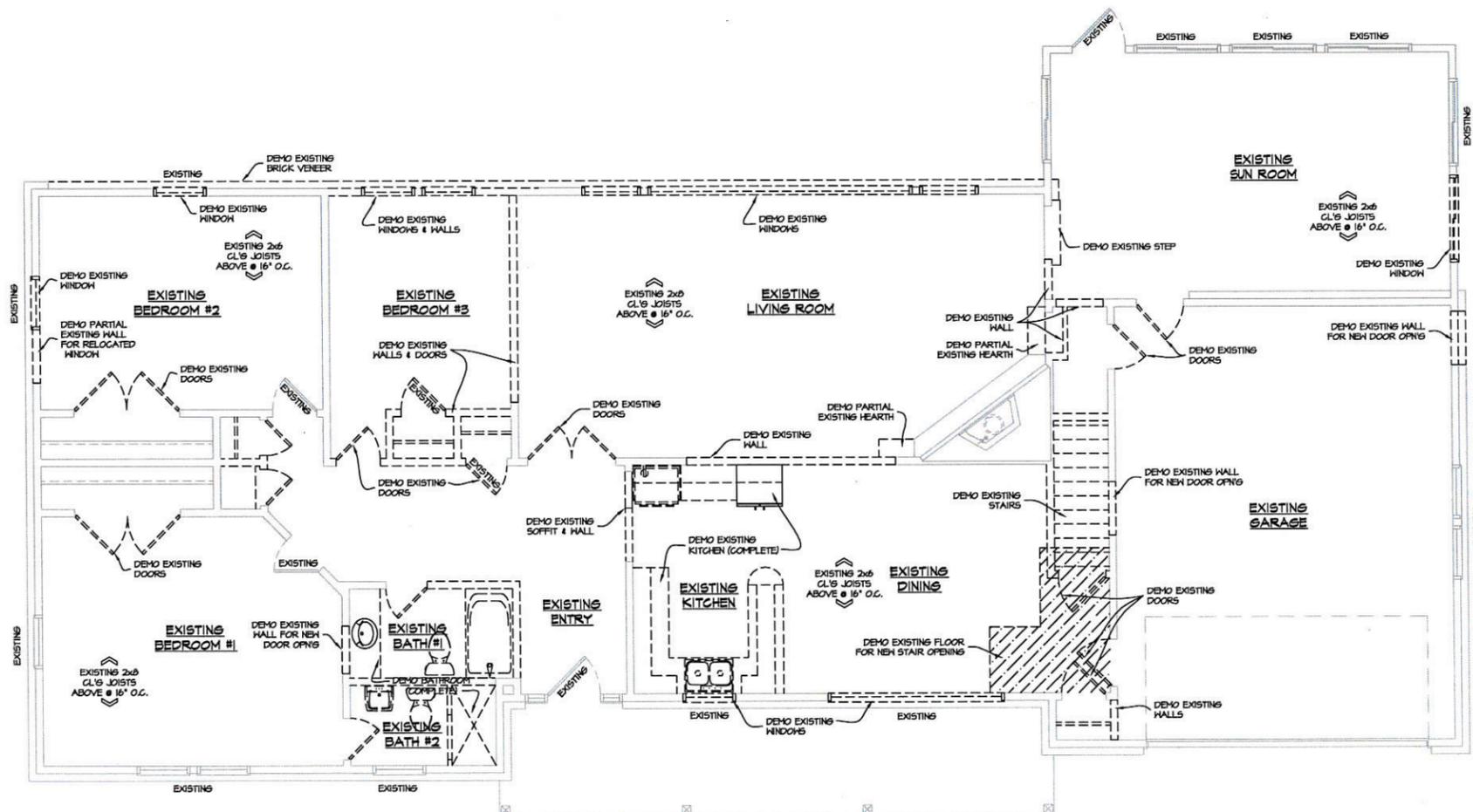
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND ADJUST THE PLANS AS NECESSARY TO ACCOMMODATE.

**SHEET INDEX:**

SHEET EX-1	PROPOSED SITE DEVELOPMENT PLAN, GENERAL NOTES
SHEET EX-2	EXISTING/DEMO FLOOR PLAN
SHEET EX-3	EXISTING/DEMO FOUNDATION PLAN
SHEET A-1	EXISTING/DEMO ELEVATIONS
SHEET A-2	PROPOSED FLOOR PLAN & STAIR SECTION
SHEET A-3	PROPOSED EAST & WEST ELEVATIONS
SHEET A-4	PROPOSED LEFT, RIGHT, SOUTH COURT YARD & NORTH COURT YARD
SHEET S-1	LATERAL BRACING

REVISIONS:

8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN 'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS



**EXISTING/DEMO FLOOR PLAN**

1/4" = 1'-0"

**LEHMKUHL REMODEL**

1655 LEGION DRIVE  
ELM GROVE, WI  
SHEET TITLE:

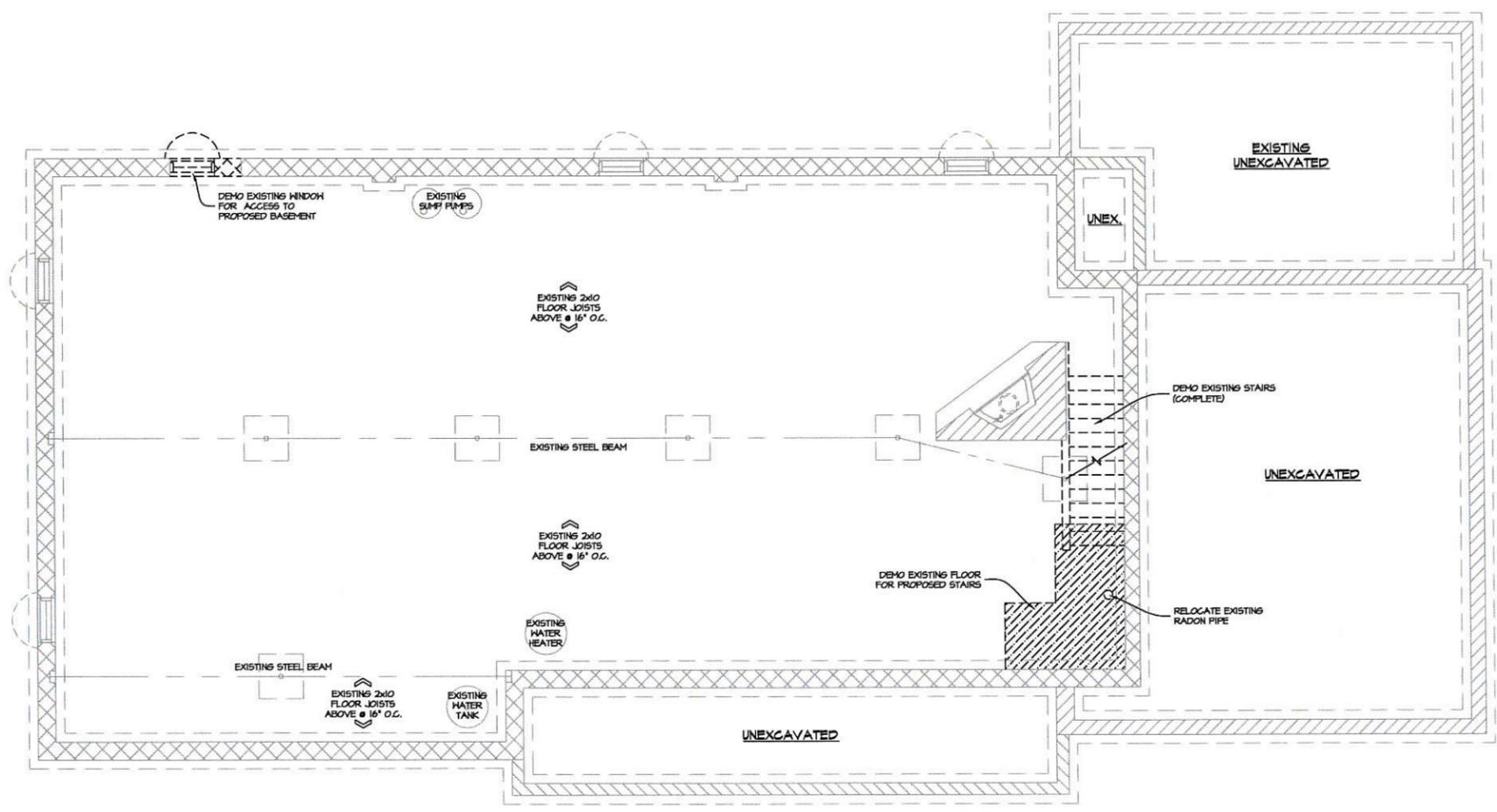
PROPOSED SITE PLAN, EXISTING FLOOR PLAN & GENERAL NOTES

**EX-1**

DATE: AUG, 13TH 2015

PROJECT NUMBER: 15-309

**PATERA** LLC  
Excellence in Architecture  
2601 S. Sunny Slope Rd. • New Berlin, WI 53151  
262-786-6776 FAX 262-786-7036



**EXISTING/DEMO FOUNDATION PLAN**

1/4" = 1'-0"

**WALL KEY:**

	= EXIST. WALL TO REMAIN
	= EXIST. WALL TO BE REMOVED
	= NEW STUD WALL
	= BEARING WALL

**LEHMKUHL REMODEL**

1655 LEGION DRIVE  
ELM GROVE, WI

SHEET TITLE:  
**EXISTING/DEMO FOUNDATION PLAN**

**EX-2**

DATE: AUG, 13TH 2015

PROJECT NUMBER: 15-309

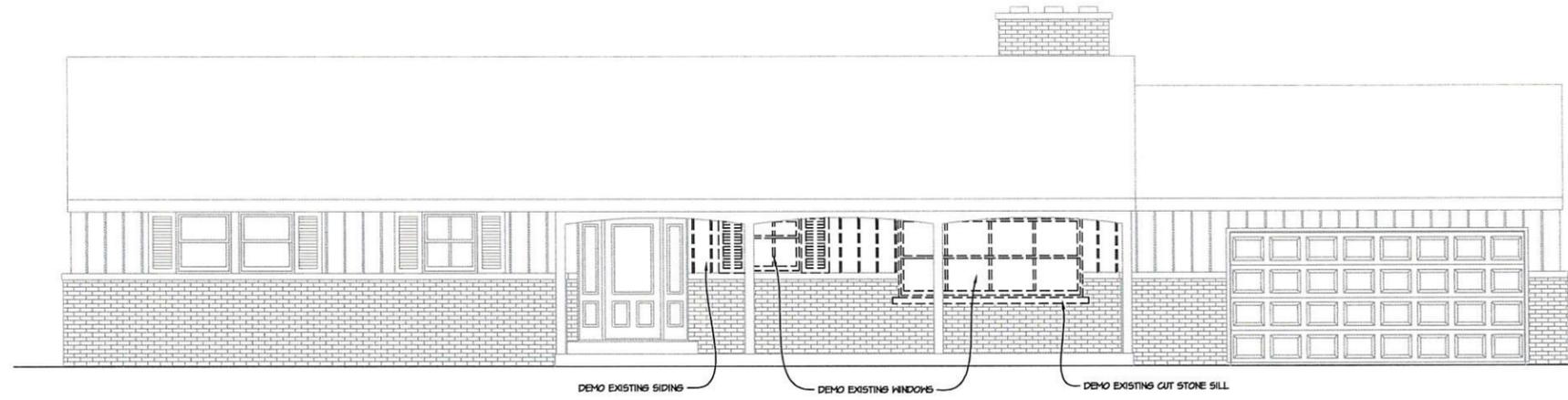
**REVISIONS:**

8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS



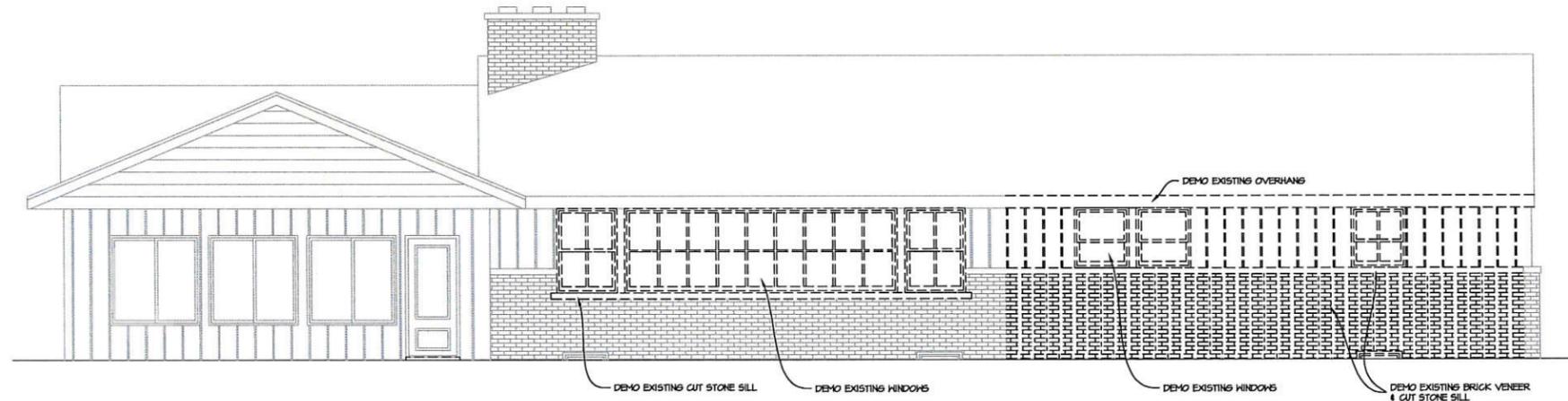
**PATERA** LLC  
 Excellence in Architecture  
 2601 S. Sunny Slope Rd. • New Berlin, WI 53151  
 262-786-6776 FAX 262-786-7036

COPYRIGHT: PATERA LLC...IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA LLC.



**EXISTING/DEMO FRONT ELEVATION**

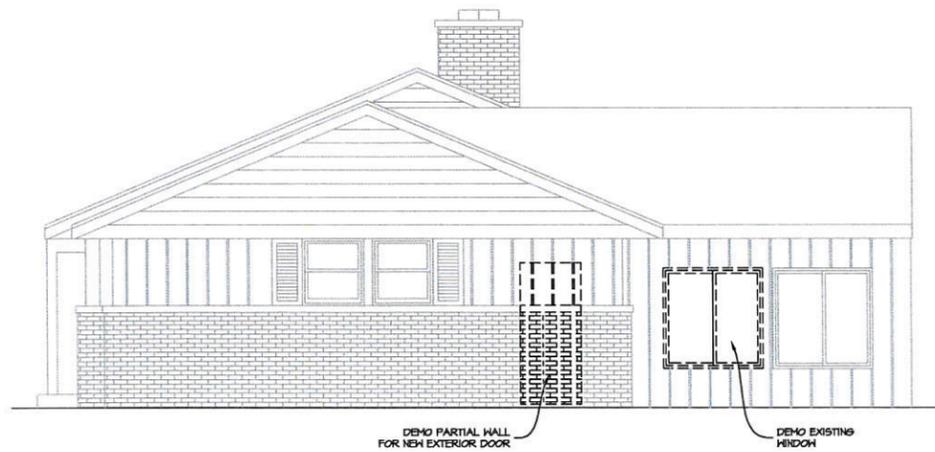
1/4" = 1'-0"



**EXISTING/DEMO REAR ELEVATION**

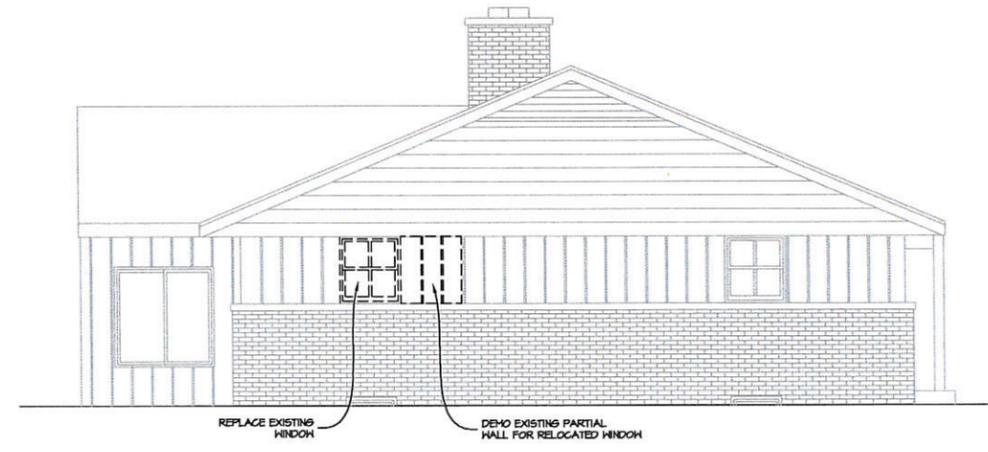
1/4" = 1'-0"

WALL KEY:	
	= EXIST. WALL TO REMAIN
	= EXIST. WALL TO BE REMOVED
	= NEW STUD WALL
	= BEARING WALL



**EXISTING/DEMO RIGHT ELEVATION**

1/4" = 1'-0"



**EXISTING/DEMO LEFT ELEVATION**

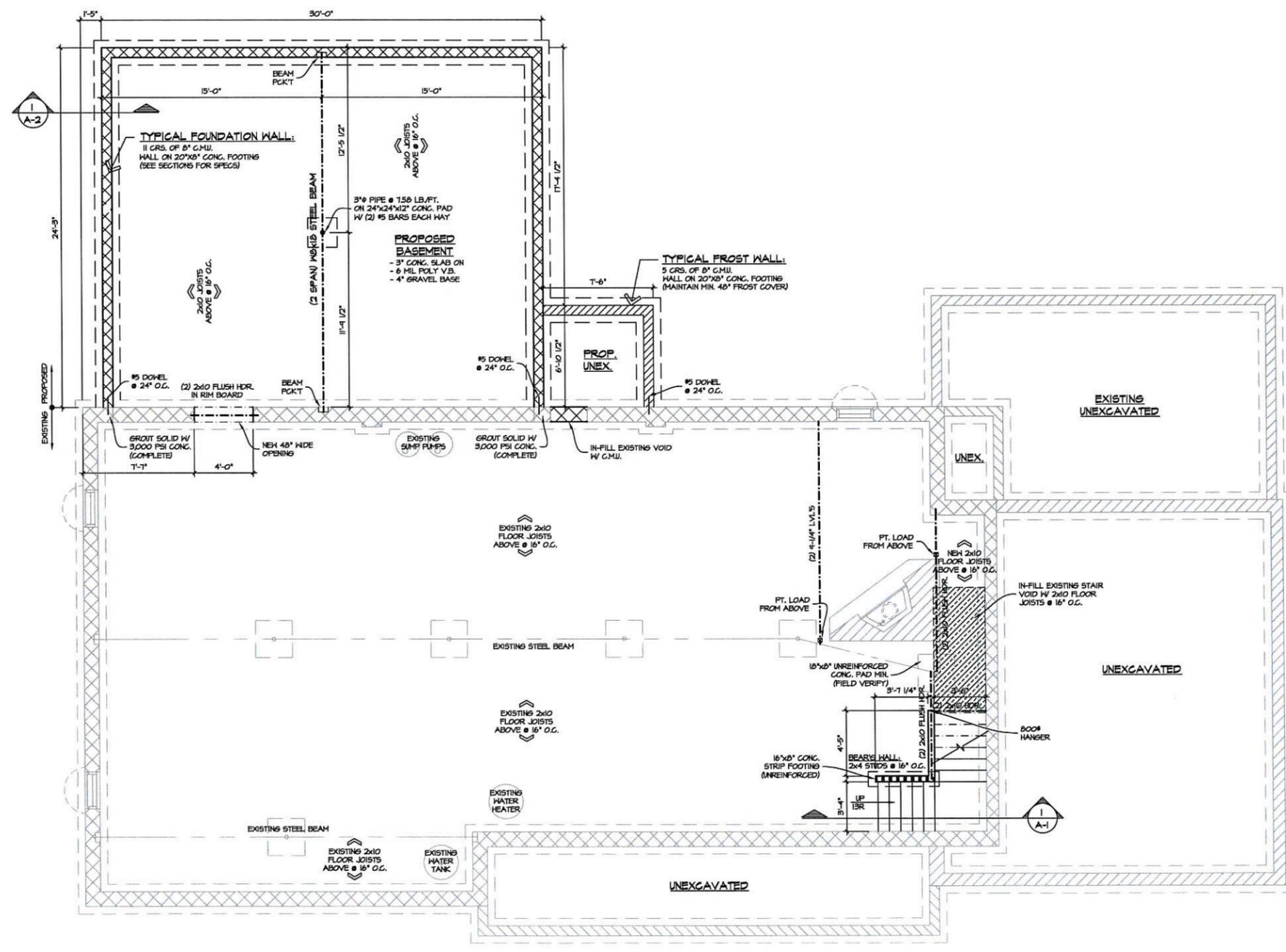
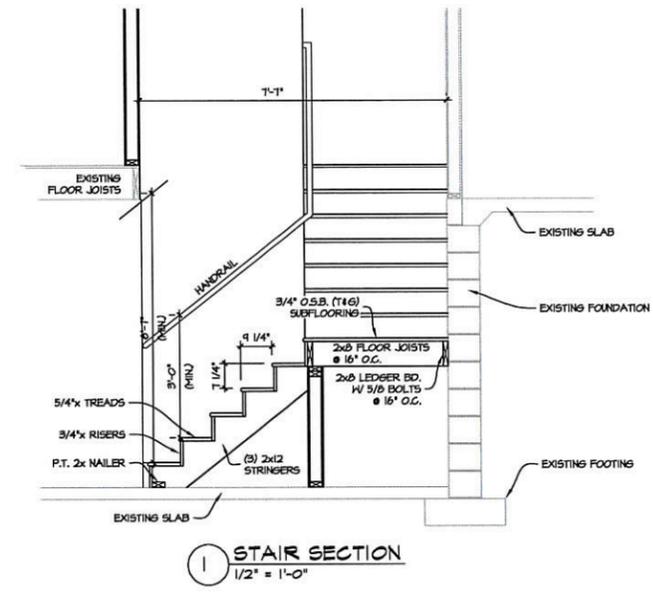
1/4" = 1'-0"

REVISIONS:	
8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS

REVISIONS:

8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS

**LEHMKUHL REMODEL**  
 1655 LEGION DRIVE  
 ELM GROVE, WI  
 SHEET TITLE:  
**PROPOSED FOUNDATION PLAN**

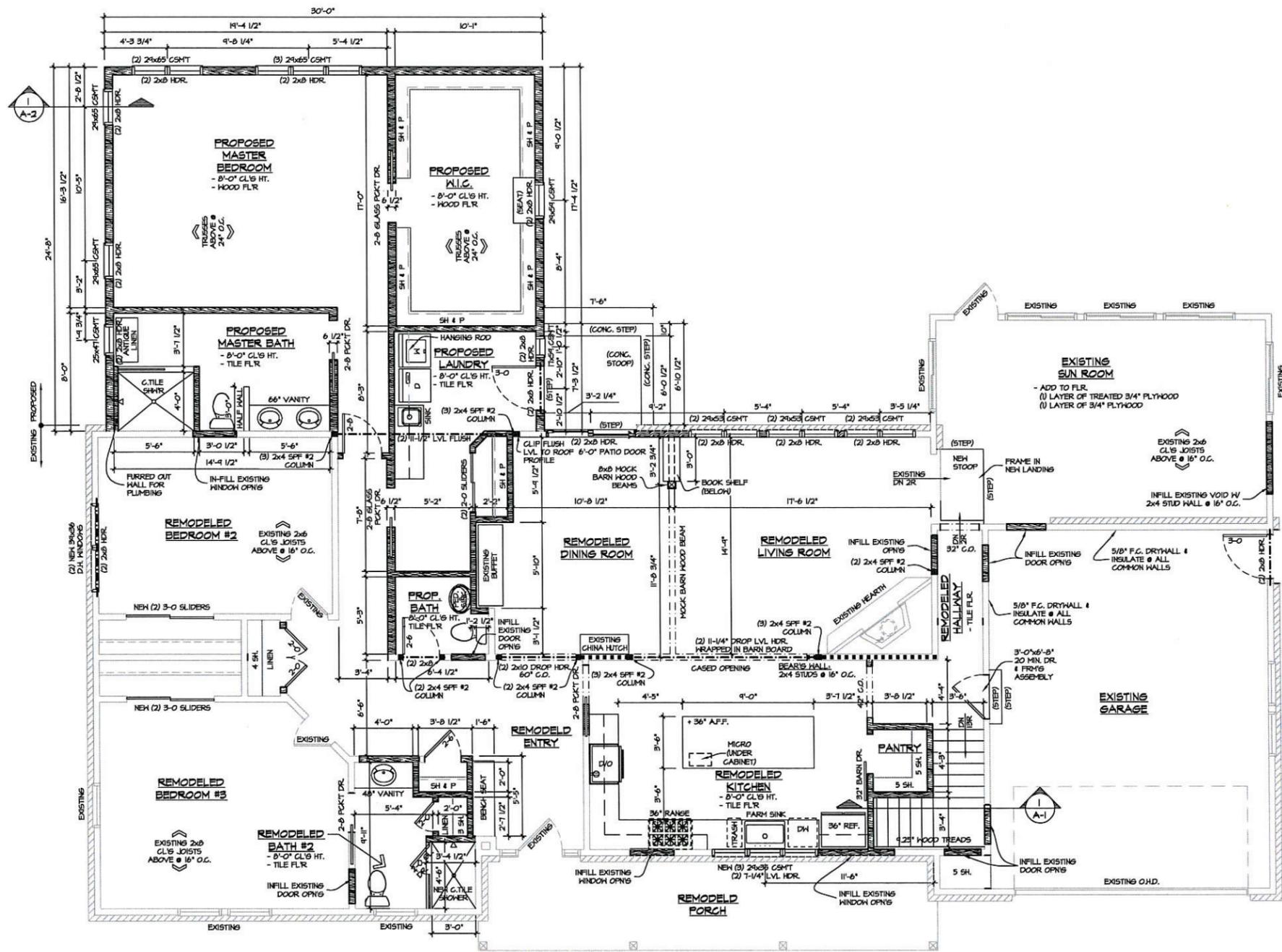


**WALL KEY:**

—	= EXIST. WALL TO REMAIN
- - - - -	= EXIST. WALL TO BE REMOVED
▬▬▬▬▬	= NEW STUD WALL
▬▬▬▬▬▬▬	= BEARING WALL

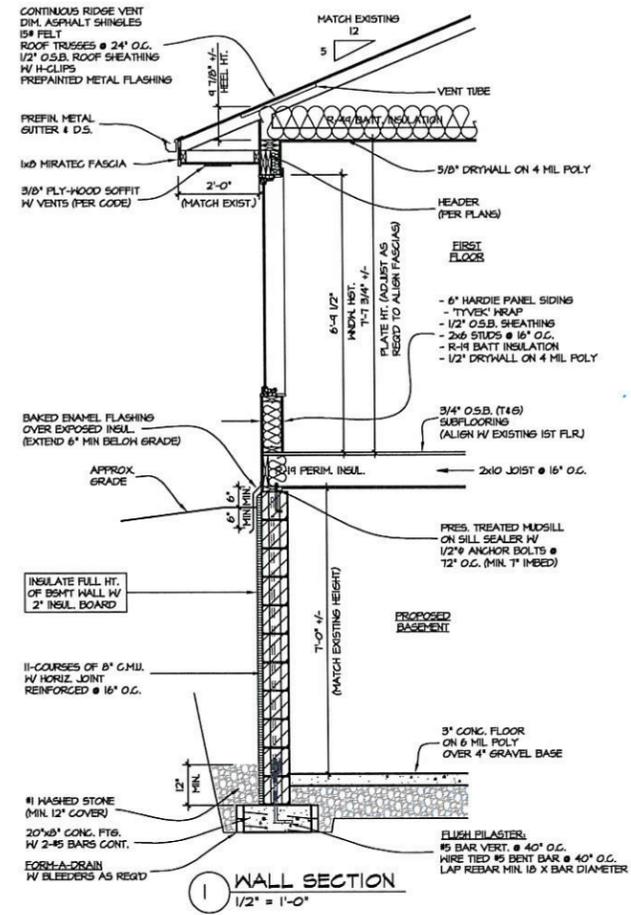
**PROPOSED FOUNDATION PLAN**  
 1/4" = 1'-0"

COPYRIGHT: PATERA LLC... IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA LLC.



## PROPOSED FLOOR PLAN

1/4" = 1'-0"



1 WALL SECTION  
1/2" = 1'-0"

WALL KEY:	
	= EXIST. WALL TO REMAIN
	= EXIST. WALL TO BE REMOVED
	= NEW STUD WALL
	= BEARING WALL

# LEHMKUHL REMODEL

1655 LEGION DRIVE  
ELM GROVE, WI  
SHEET TITLE:

PROPOSED FLOOR PLAN

## A-2

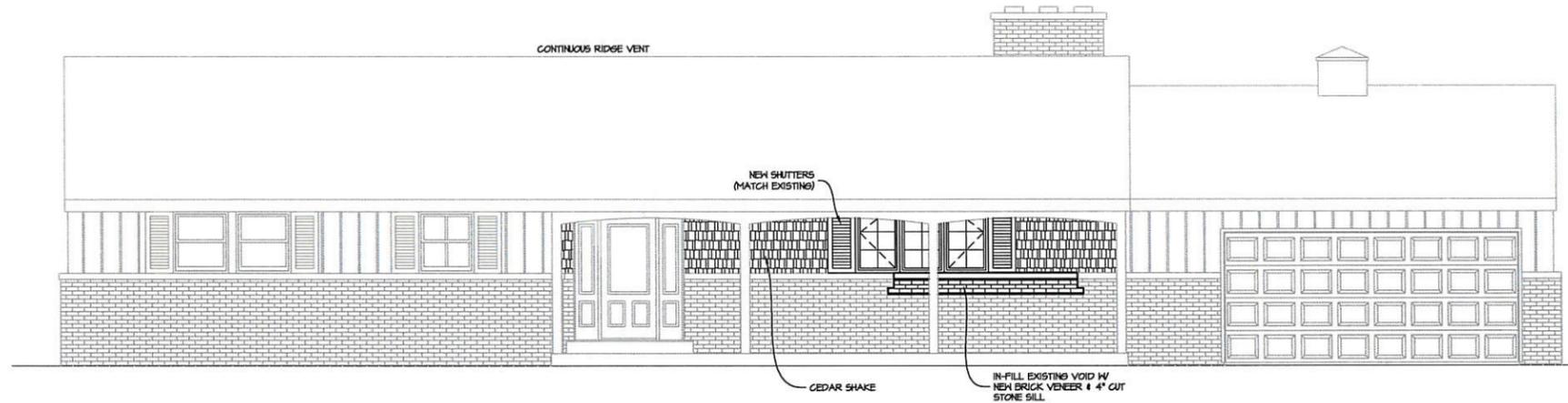
DATE: AUG, 13TH 2015

PROJECT NUMBER: 15-309

- REVISIONS:
- 8/24/15: PRELIM #1
  - 8/26/15: PRELIM #2
  - 8/31/15: PLAN'G COMMITTEE
  - 10/16/15: CHECK SET
  - 11/12/15: CD'S ISSUED
  - 4/8/16: OWNERS REVISIONS

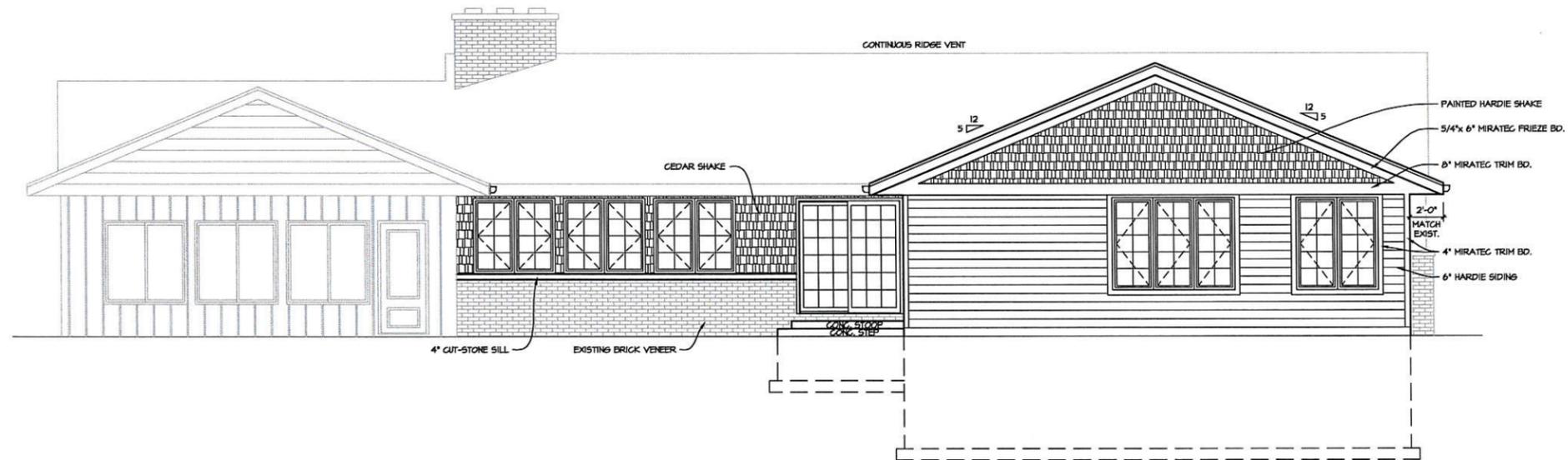


**PATERA** LLC  
 Excellence in Architecture  
 2601 S. Sunny Slope Rd. • New Berlin, WI 53151  
 262-786-6776 FAX 262-786-7036



**PROPOSED FRONT (EAST) ELEVATION**

1/4" = 1'-0"



**PROPOSED REAR (WEST) ELEVATION**

REVISIONS:

8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS

**LEHMKUHL REMODEL**

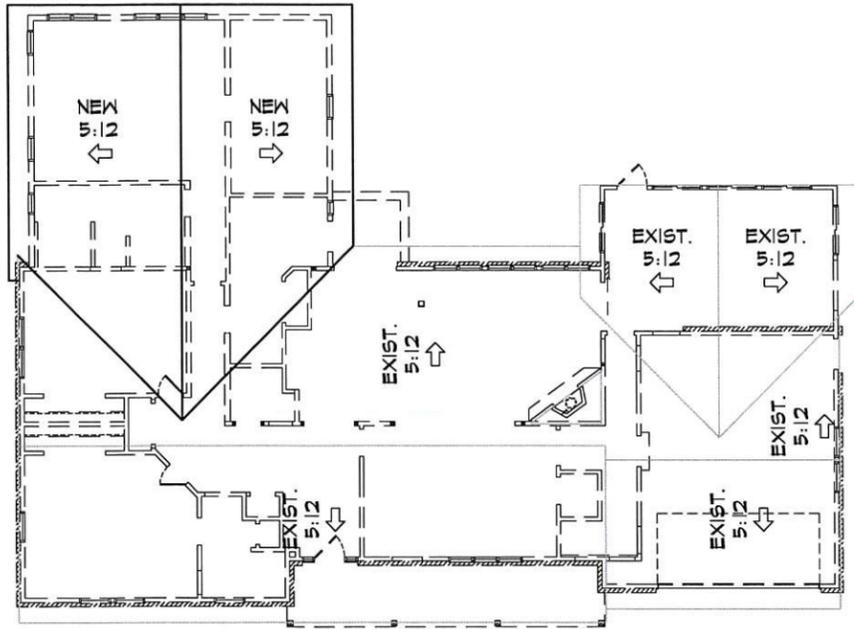
1655 LEGION DRIVE  
 ELM GROVE, WI  
 SHEET TITLE:

**PROPOSED EAST & WEST ELEVATIONS**

**A-3**

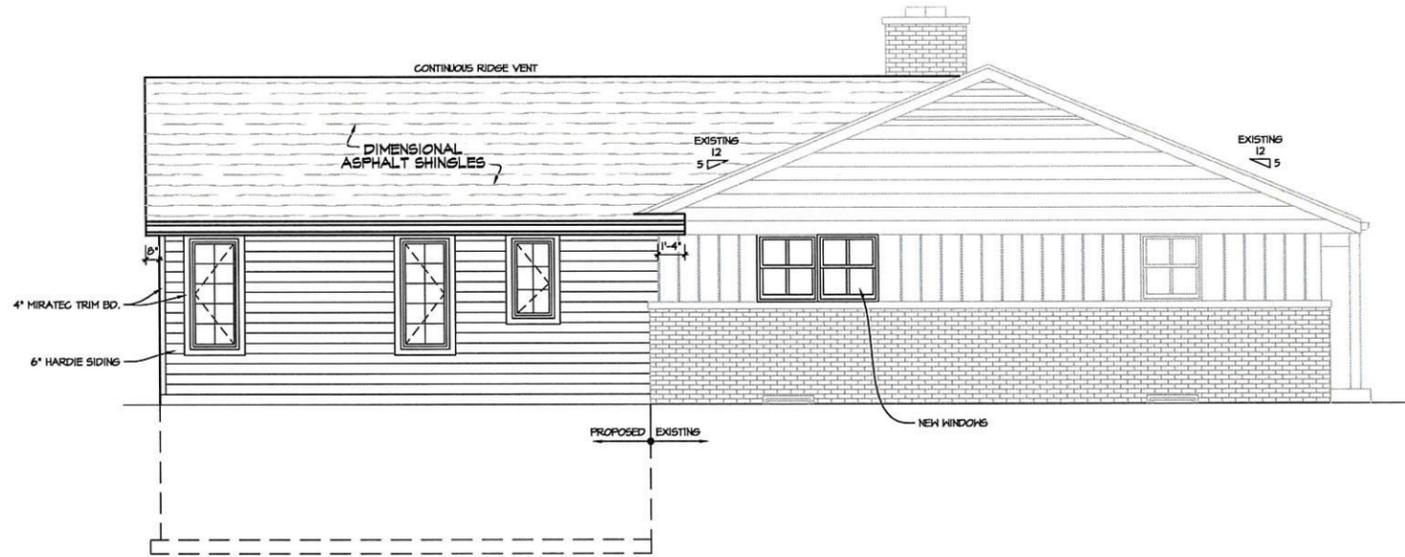
DATE: AUG, 13TH 2015

PROJECT NUMBER: 15-309



**ROOF PLAN**

1/8" = 1'-0"



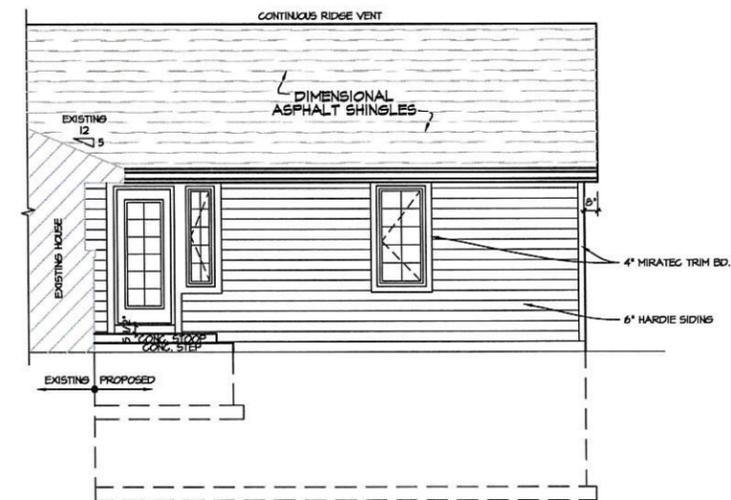
**PROPOSED LEFT (SOUTH) ELEVATION**

1/4" = 1'-0"



**PROPOSED RIGHT (NORTH) ELEVATION**

1/4" = 1'-0"



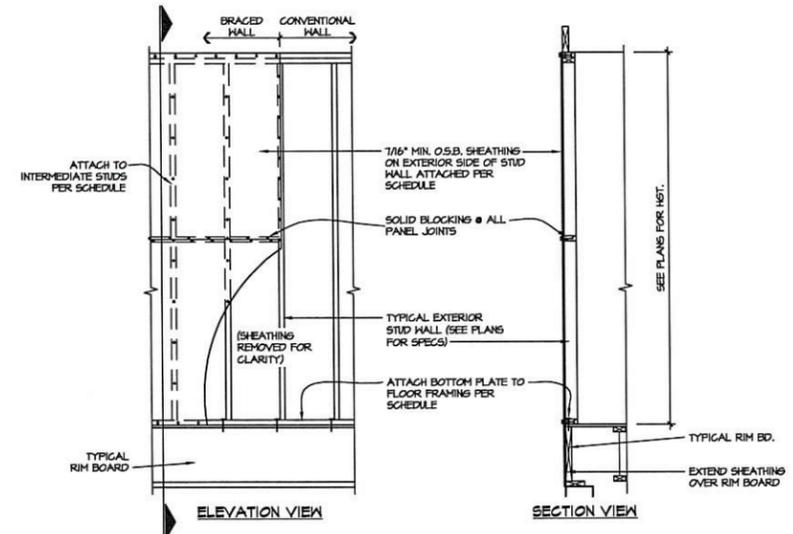
**PROPOSED COURT YARD ELEVATION  
(LOOKING SOUTH)**

1/4" = 1'-0"

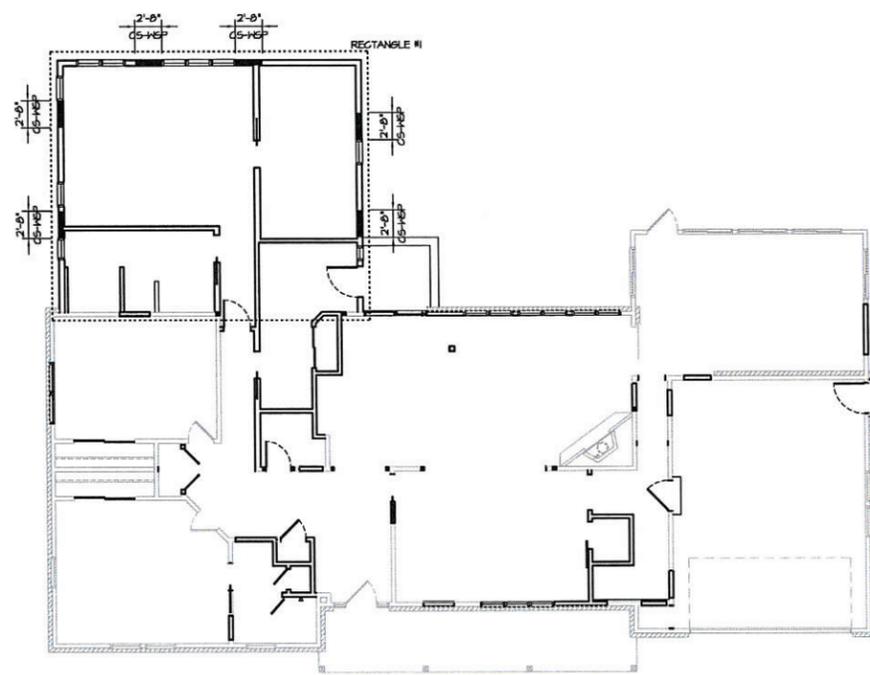
REVISIONS:

8/24/15:	PRELIM #1
8/26/15:	PRELIM #2
8/31/15:	PLAN'G COMMITTEE
10/16/15:	CHECK SET
11/12/15:	CD'S ISSUED
4/8/16:	OWNERS REVISIONS

PERSCRIPTIVE WALL BRACING SCHEDULE (PER SPS-APPENDIX)					
MARK	SHEATHING	SHEATHING ATTACHMENT	TOP PLATE ANCHOR TO ROOF OR FLOOR ABOVE	BOTTOM PLATE ANCHOR FLOOR OR BLOCKING BELOW	MIDSILL ATTACHMENT
WSP OR CS-WSP	BLOCKED 7/16" (MIN) O.S.B. SHEATHING	6d COMMON NAILS @ 8" O.C. @ ALL PANEL EDGES AND 12" O.C. IN THE FIELD OR 16 ga. 1 1/4" LONG STAPLES @ 3" O.C. @ EDGES & 6" O.C. IN FIELD.	(3) 16d COMMON NAIL @ 16" O.C. MINIMUM	(3) 16d COMMON NAIL @ 16" O.C. MINIMUM	1" DIA. ANCHOR BOLTS OR SIMPSON "LH42Z" STRAPS @ 12" O.C.



"WSP" & "CS-WSP" SHEATHED WOOD  
**STRUCTURAL PANEL DETAIL**  
 1/2" = 1'-0"



**LATERAL BRACING PLAN**  
 1/4" = 1'-0"

**PATERA** LLC  
 Excellence in Architecture  
 2601 S. Sunny Slope Rd. • New Berlin, WI 53151  
 262-786-6776 FAX 262-786-7036



- REVISIONS:**
- 8/24/15: PRELIM #1
  - 8/26/15: PRELIM #2
  - 8/31/15: PLAN'G COMMITTEE
  - 10/16/15: CHECK SET
  - 11/12/15: CD'S ISSUED
  - 4/8/16: OWNERS REVISIONS

**LEHMKUHL REMODEL**

1655 LEGION DRIVE  
 ELM GROVE, WI  
 SHEET TITLE:

**LATERAL BRACING PLAN & DETAILS**

**S-1**

DATE: AUG, 13TH 2015

PROJECT NUMBER: 15-309

COPYRIGHT: PATERA LLC...IT IS UNLAWFUL FOR ANYONE TO USE OR REPRODUCE BY ANY MEANS ALL OR ANY PORTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF PATERA, LLC.

# Renovations Group Inc

RECEIVED

JUN 07 2016

VILLAGE OF ELM GROVE

*DBA- Owner Assisted Remodeling & Renovators Ltd*

---

**Owner:** Jerry or Rhonda Topliff  
**Address:** 865 Kurtis Drive

---

**Parcel Area:** 13,600 ft<sup>2</sup>

**Existing Home Area:** 1,557 ft<sup>2</sup>

**Proposed Addition:** 257 ft<sup>2</sup>

**Sidewalk, Driveway, Stoop, & Back Patio:** 1,282 ft<sup>2</sup>

---

**Total Building Footprint** = Existing Home + Proposed Addition  
= 1,557 + 257 = 1,814 ft<sup>2</sup>

**% of Building Footprint to Parcel Area:** 13.3 %

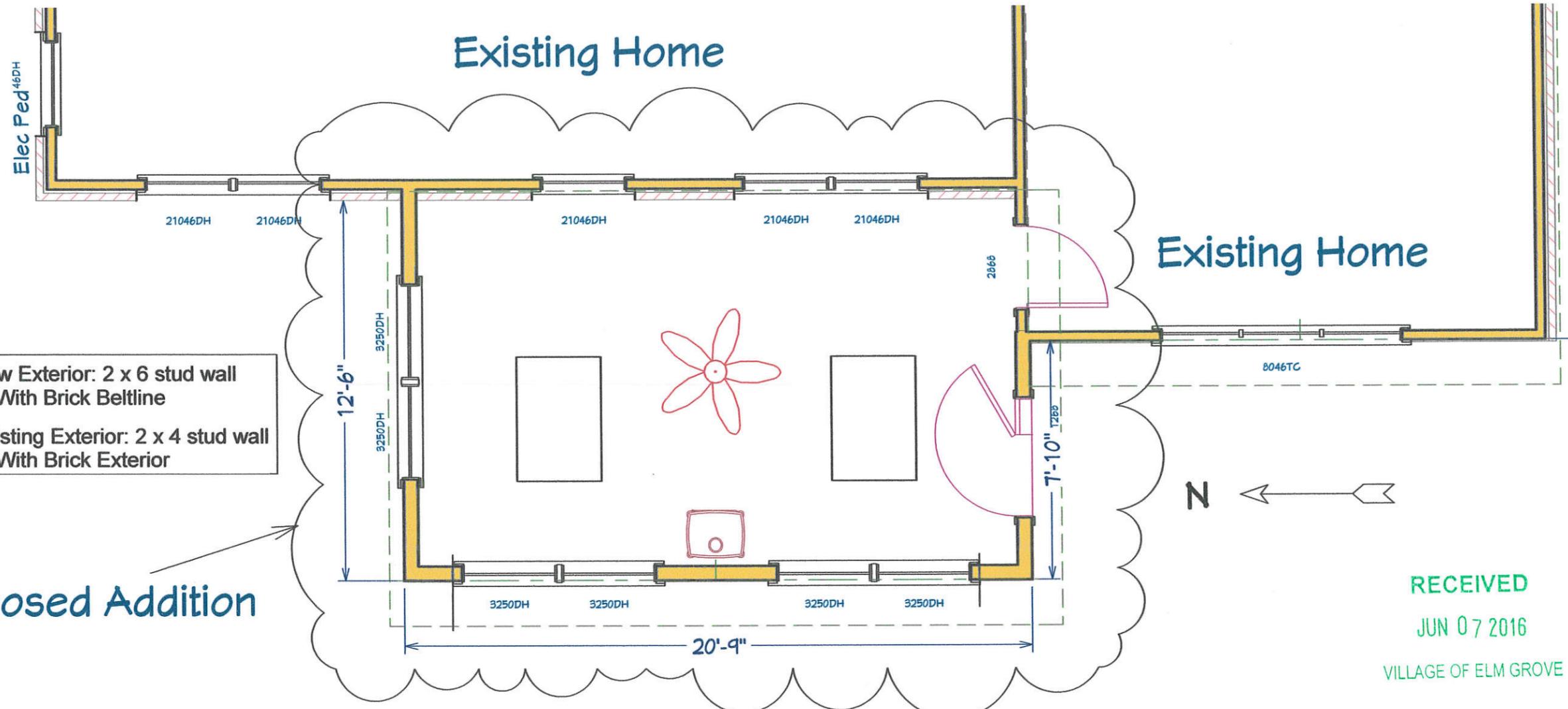
**20% Maximum Generally Allowed** = 2,720 ft<sup>2</sup>

---

**Total Impervious Surface Area** = Total Building Footprint + Sidewalk/Driveway/Stoop/Patio:  
= 1,814 + 1,282 = 3,096 ft<sup>2</sup>

**% of Total Impervious Surface Area to Parcel** = 22.8 %

**30% Maximum Generally Allowed** = 4,080 ft<sup>2</sup>

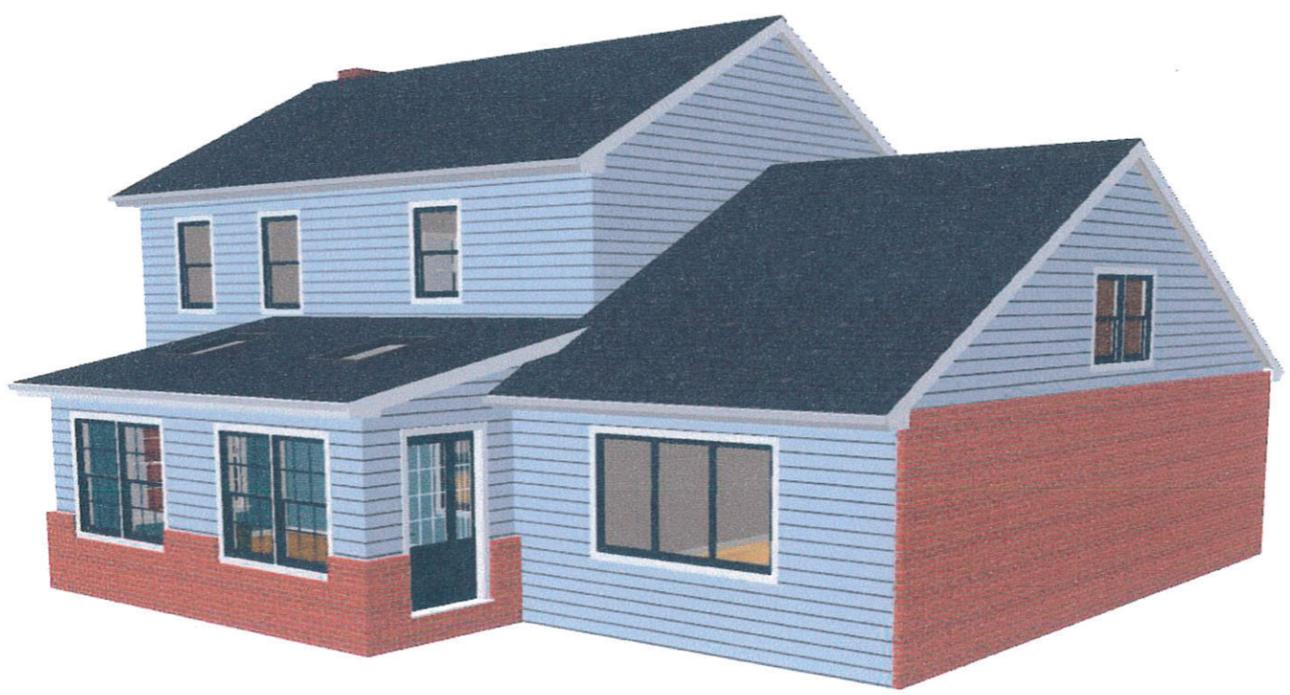


**Legend:**  
 New Exterior: 2 x 6 stud wall With Brick Beltline  
 Existing Exterior: 2 x 4 stud wall With Brick Exterior

**Proposed Addition**

**Existing Home**

RECEIVED  
 JUN 07 2016  
 VILLAGE OF ELM GROVE



These plans are copyrighted by Renovations Group, Inc. expressly for the Client listed in the title block. Renovations Group, Inc. retains all intellectual property rights to the content herein, and these rights are not transferable without express written consent on our letterhead. These documents may not be reproduced in any form without consent.

**Topliff Sunroom**  
 Jerry & Rhonda Topliff  
 865 Kurtis Drive  
 Elm Grove, WI 53122



**Renovations Group Inc**  
 13390 Watertown Plank Rd.  
 Elm Grove, WI 53122  
 262-821-1100

DATE:  
 6/6/2016

SCALE:  
 1/4" = 1'

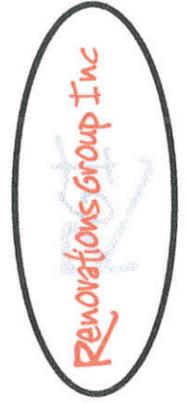
SHEET:  
 1 of 4



West Elevation

These plans are copyrighted by Renovations Group, Inc. expressly for the Client listed in the title block. Renovations Group, Inc. retains all intellectual property rights to the content herein, and these rights are not transferable without express written consent on our letterhead. These documents may not be reproduced in any form without consent.

**Topliff Sunroom**  
Jerry & Rhonda Topliff  
865 Kurtis Drive  
Elm Grove, WI 53122

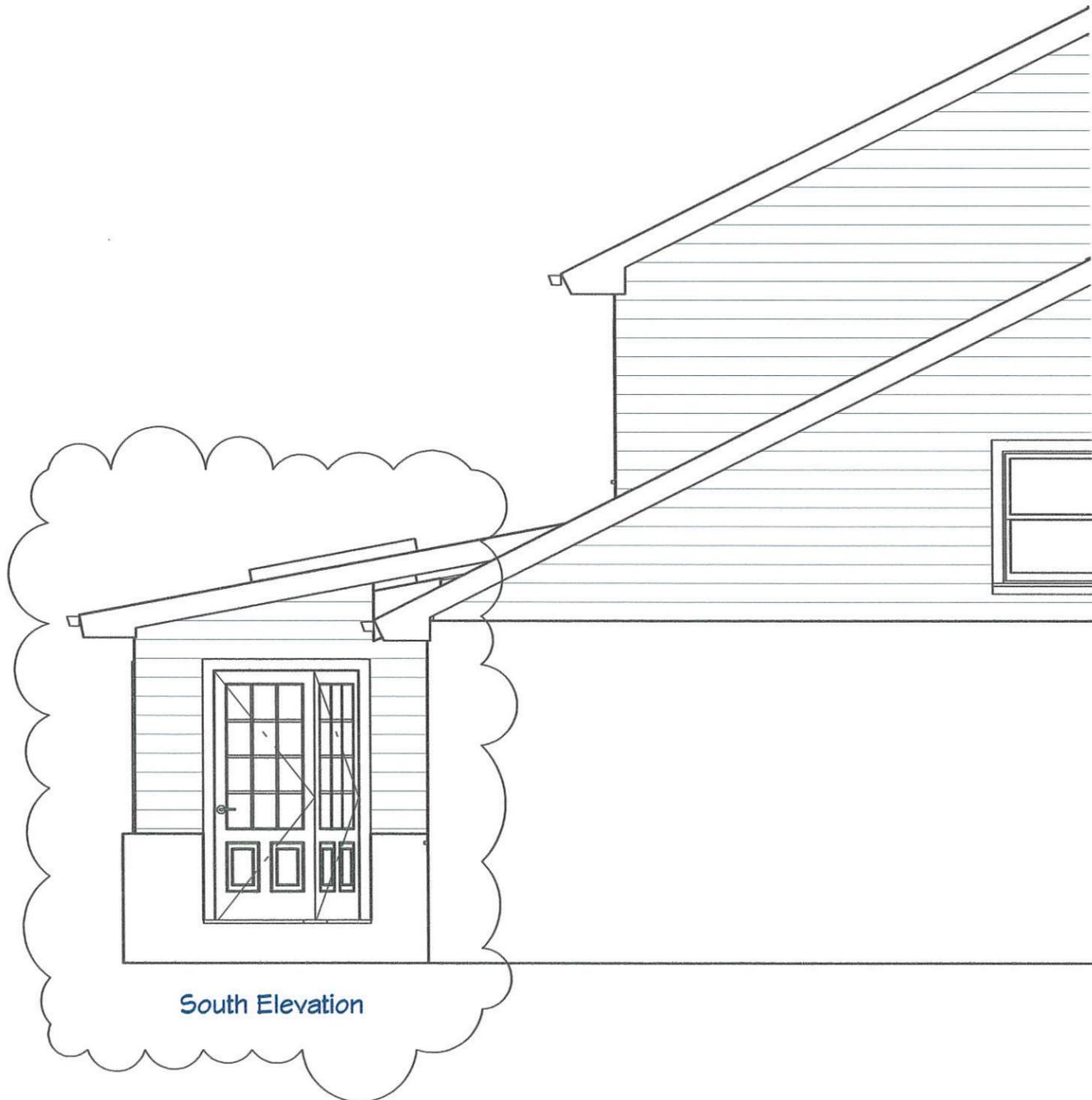


**Renovations Group Inc**  
13390 Watertown Plank Rd.  
Elm Grove, WI 53122  
262-821-1100

DATE:  
6/6/2016

SCALE:  
1/4" = 1'

SHEET:  
2 of 4



South Elevation

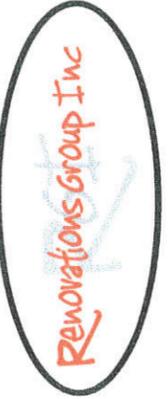


North Elevation

These plans are copyrighted by Renovations Group, Inc. expressly for the Client listed in the title block. Renovations Group, Inc. retains all intellectual property rights to the content herein, and these rights are not transferable without express written consent on our letterhead. These documents may not be reproduced in any form without consent.

**Topliff Sunroom**

Jerry & Rhonda Topliff  
865 Kurtis Drive  
Elm Grove, WI 53122



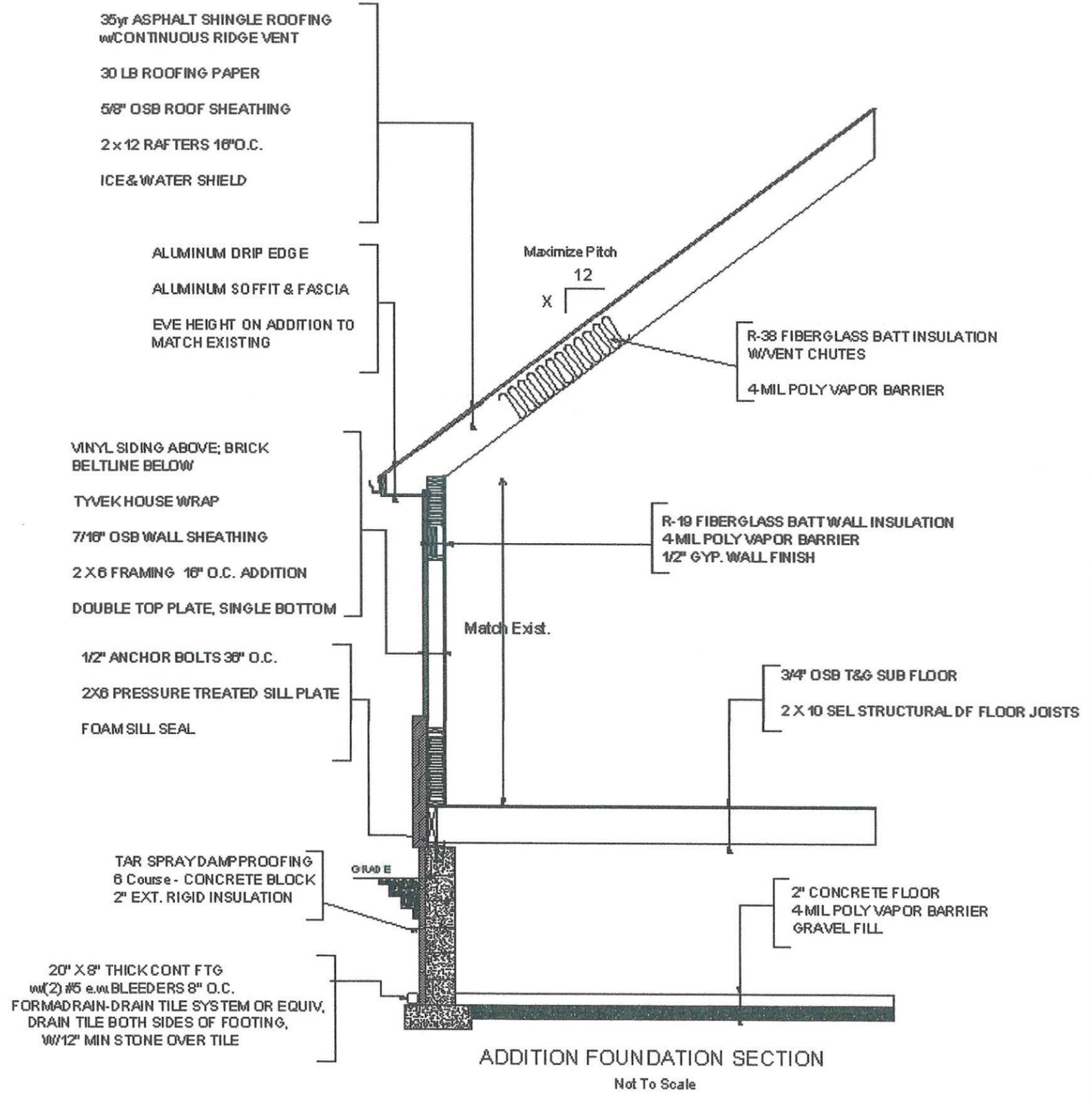
**Renovations Group Inc**

13390 Watertown Plank Rd.  
Elm Grove, WI 53122  
262-821-1100

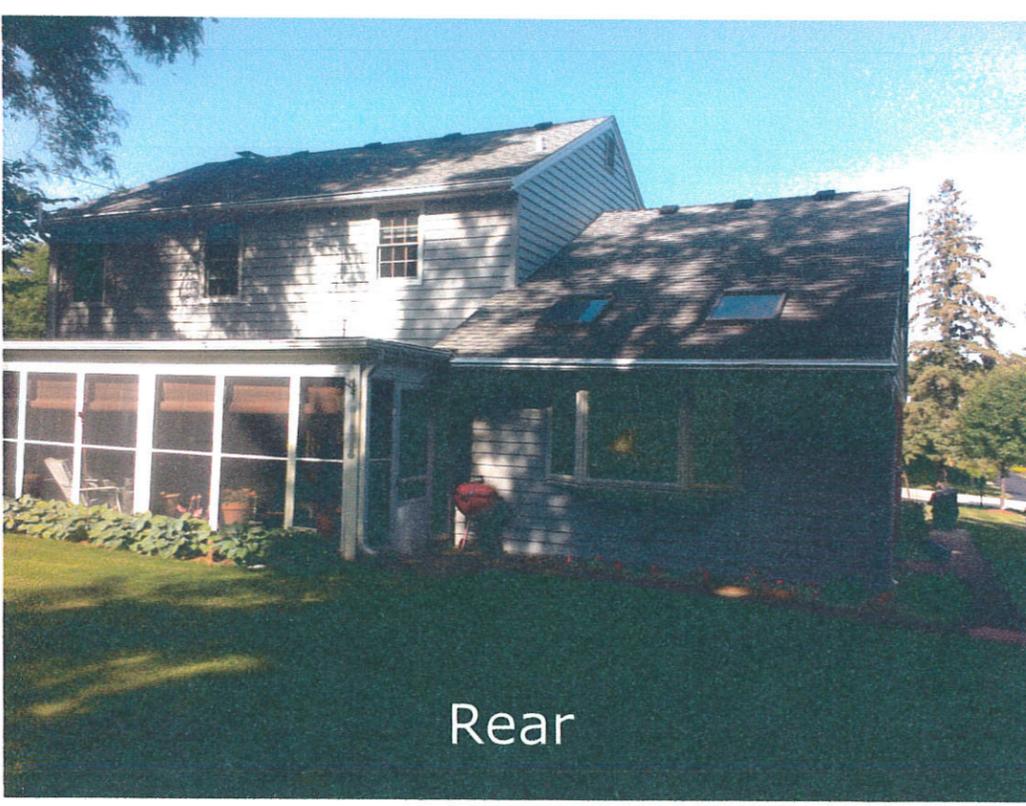
DATE:  
6/7/2016

SCALE:  
1/4" = 1'

SHEET:  
3 of 4



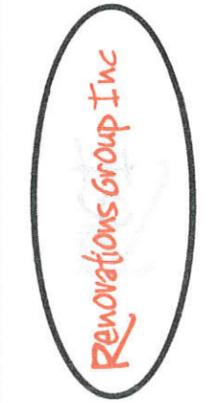
Front



Rear

These plans are copyrighted by Renovations Group, Inc. expressly for the Client listed in the title block. Renovations Group, Inc. retains all intellectual property rights to the content herein, and these rights are not transferable without express written consent on our letterhead. These documents may not be reproduced in any form without consent.

**Topliff Sunroom**  
Jerry & Rhonda Topliff  
865 Kurtis Drive  
Elm Grove, WI 53122



**Renovations Group Inc**  
13390 Watertown Plank Rd.  
Elm Grove, WI 53122  
262-821-1100

DATE:  
6/7/2016

SCALE:  
1/4" = 1'

SHEET:  
4 of 4

**PLAT OF SURVEY**

LOT 5, BLOCK 3, BRINSMERE NO. 2, being a subdivision in the Northeast 1/4 of Section 26, Town 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin.

Address: 865 Kurtis Drive

EXISTING DWELLING

815.60  
SEWER MANHOLE  
RIM: 815.60'



2554 N. 100TH STREET P.O. BOX 26596  
WAUWATOSA, WISCONSIN 53226  
(414) 257-2212 FAX: (414) 257-2443  
SAI@WI.RR.COM  
FREDERICK W. SHIBILSKI R.L.S.

RECEIVED

JUN 07 2016

VILLAGE OF ELM GROVE



SCALE: 1" = 20'

Area of Property = 13,600 Sq. Ft.

**LOT COVERAGE**

DWELLING.....	1,814 SF
INCLUDES SCREEN PORCH	
CONCRETE.....	170 SF
PAVERS.....	139 SF
ASPHALT.....	973 SF

Surveyed for: **RENOVATIONS GROUP**

"I have surveyed the above described property from the legal description furnished by the client named on this survey."  
"This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."



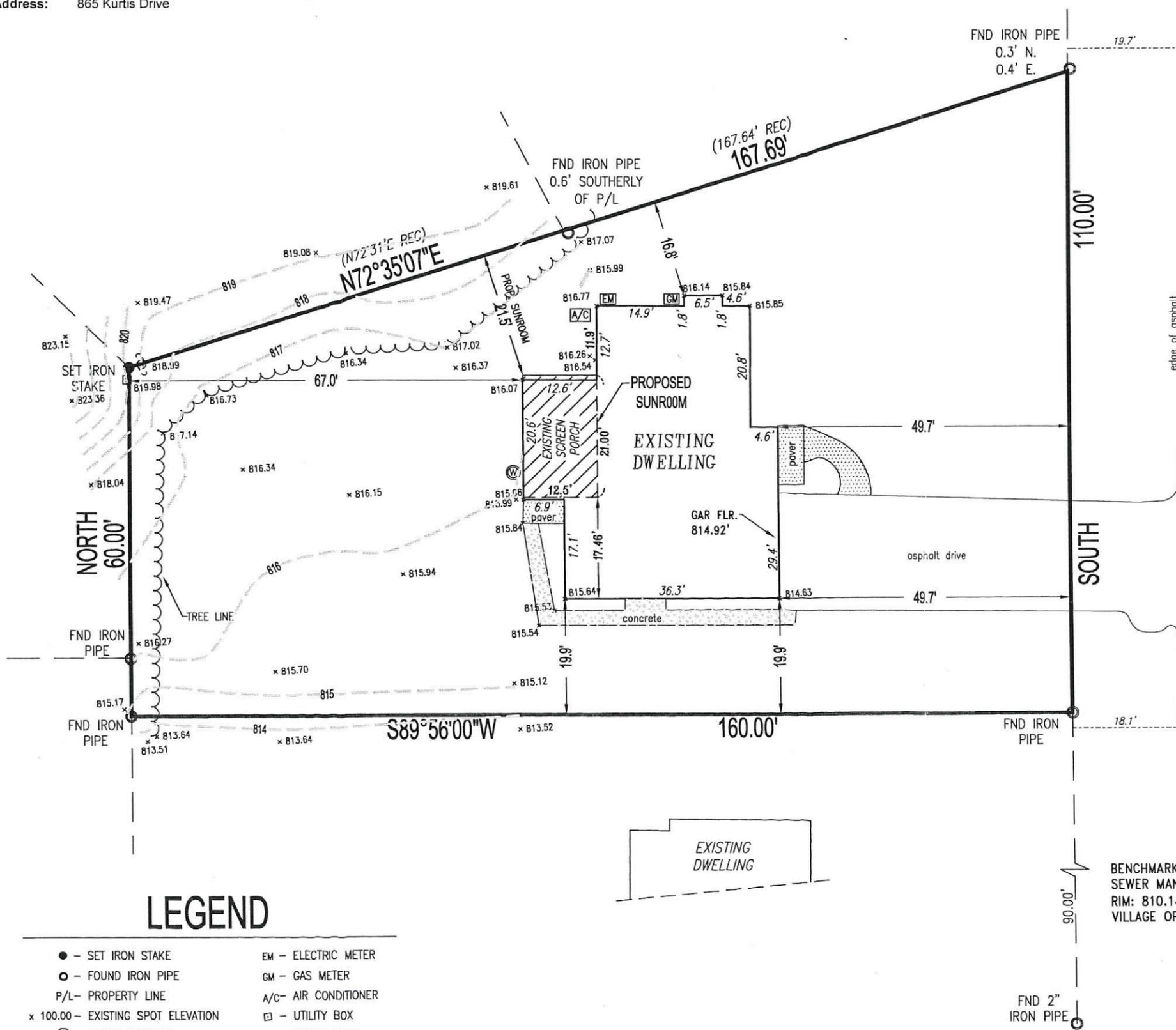
NOTE: THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.

MAY 25, 2016  
DATE

MFS/MW  
FIELD WORK BY

JTY  
DRAWN BY

34784  
JOB NUMBER



KURTIS DRIVE  
(60' WIDE PUBLIC R.O.W.)

BENCHMARK FOR ELEVATIONS  
SEWER MANHOLE  
RIM: 810.14'  
VILLAGE OF ELM GROVE DATUM

**LEGEND**

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/L - PROPERTY LINE
- x 100.00 - EXISTING SPOT ELEVATION
- ⊙ - SEWER MANHOLE
- ⊕ - EXISTING WELL
- EM - ELECTRIC METER
- GM - GAS METER
- A/C - AIR CONDITIONER
- - UTILITY BOX
- ⊕ - UTILITY POLE

May 26, 2016 - 12:05pm - \\diskstation\SAT\_Production\SAT\_Jobs Current\34784 - Renovations Group - 865 Kurtis Dr, Elm Grove.dwg\34784.dwg