

VILLAGE OF ELM GROVE

13600 Juneau Boulevard
Elm Grove, WI 53122

BUILDING BOARD

Tuesday, March 15, 2016 * 5:30 PM * Park View Room

AGENDA

1. Roll Call

Documents: 031516 BBmemo.pdf

2. Review and act on meeting minutes dated March 1, 2016

Documents: BB030116dm.pdf

3. Review and act on a request by Ryan and Leanne Walz at 1075 Highland Drive for an alteration (revision).

Documents: 1075 Highland Dr - Plans.pdf, 1075 Highland Dr - photo.pdf

4. Review and act on a request by John Bonfilio and Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home (revision).

Documents: 14980 Juneau Blvd.pdf

5. Review and act on a request by Mark and Pam Todd at 1645 Blue Ridge Boulevard for an alteration

Documents: 1645 Blue Ridge Blvd.pdf

6. Review and act on a request by Sarah and Joseph Puchner at 13365 Marquette Avenue for an alteration.

Documents: 13365 Marquette Ave.pdf

7. Review and act on a request by Marcia Richards at 675 Park Circle for an alteration (deck).

Documents: 675 Park Circle.pdf

8. Review and act on a request by Rob Sutherland at 13580 Braemar Drive for an alteration (deck).

Documents: 13580 Braemar Dr - Plans.pdf, 13580 Braemar Dr - Survey.pdf

9. Review and act on a request by Robert Feind at 825 Brinsmere Drive for a shed.

Documents: 825 Brinsmere Dr.pdf

10. Review and act on a request by Chris and Isis Kolbe at 1310 Victoria Circle South for a new home.

Documents: 1310 Victoria Circle South Plans.pdf

11. Other Business

12. Adjournment

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

Memo

To: Building Board

From: Casey Griffiths, Zoning & Planning Administrator/ Asst. to the Village Manager

Date: March 10, 2016

Re: Review of Agenda for Tuesday – March 15, 2016

Item 3. Review and act on a request by Ryan and Leanne Walz at 1075 Highland Drive for an alteration (revision).

The applicants are requesting approval of an alteration. The proposed alteration will be a master bathroom addition to the second floor of the home. The materials on the proposed alteration are to match existing materials. Please see enclosed plans.

Item 4. Review and act on a request by John Bonfilio and Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home (revision).

The applicants are requesting approval of a new home. The proposed plans are a revision of the plans approved on March 1. Please see enclosed plans.

Item 5. Review and act on a request by Mark and Pam Todd at 1645 Blue Ridge Boulevard for an alteration.

The applicants are requesting approval of an alteration. The proposed alteration includes a window replacement and the addition of a new vinyl sliding door and a new wood door. Please see enclosed plans.

Item 6. Review and act on a request by Sarah and Joseph Puchner at 13365 Marquette Avenue for an alteration.

The applicants are requesting approval of an alteration. The proposed alteration includes the addition of a white vinyl sliding patio door and a white vinyl garden window, both in place of existing windows. Please see enclosed plans.

Item 7. Review and act on a request by Marcia Richards at 675 Park Circle for an alteration (deck).

The applicants are requesting approval of an alteration for a deck. The deck is a replacement of an existing deck, including new deck material and railing. Please see the enclosed plans.

Item 8. Review and act on a request by Rob Sutherland at 13580 Braemar Drive for an alteration (deck).

The applicants are requesting approval of a deck. The proposed deck will replace the existing deck with similar layout. Please see enclosed plans.

Item 9. Review and act on a request by Robert Feind at 825 Brinsmere Drive for a shed.

The applicants are requesting approval of a shed. The proposed shed will be located in the northwest corner of the property, five feet from the rear and side lot lines. The owner has obtained approval of the neighboring property owners due to its placement in the setback area as per ordinance requirements.

Item 10. Review and act on a request by Chris and Isis Kolbe at 1310 Victoria Circle South for a new home.

The applicants are requesting approval of a new home. The home was previously reviewed and approved by the Building Board on October 6, 2015. The new proposal is essentially the same home design, with a smaller footprint. Please see enclosed plans.

DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD

**BUILDING BOARD
MEETING MINUTES
Tuesday, March 1, 2016**

Meeting was called to order at 5:30 p.m. by Mr. Olson.

1. Roll Call.

Present: Mr. Olson, Mr. Matola, Mr. Janusz, Mr. Liechty, Mr. Schoenecker, and Mr. Domaszek (arrived at 5:35).

Absent: Mr. Wollersheim, Ms. Steindorf, and Mr. Riebesehl (all excused)

Also Present: Mr. Griffiths, Ms. Nelson, and Applicants

2. Review and act on meeting minutes dated January 19, 2016.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve the meeting minutes as submitted. Motion carried 5-0.

3. Review and act on a request by Lisa Lehman at 1800 Village Green Court for an alteration.

David Kaiser from Link Builds was present before the board.

Mr. Olson asked if the railing will be removed. Mr. Kaiser stated that yes, it would be removed. Mr. Olson asked if it was a safety issue and Mr. Kaiser stated the homeowner no longer wanted access, the door that was added leaks, and the homeowner wanted the wall back.

Mr. Liechty asked if the proposed window will match the existing windows. Mr. Kaiser said yes.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve plans as submitted.

Motion carried 5-0.

4. Review and act on request by Joel and Sarah Nack at 14280 Woodlawn Circle for a landscape revision.

Joel Nack and Jeff Wiberg of Flagstone Landscaping were present before the board.

Mr. Domaszek arrived at the meeting and recused himself at 5:35 pm.

Mr. Schoenecker asked if the pillars would match the existing stone. Mr. Wiberg said yes.

Mr. Liechty motioned and Mr. Janusz seconded to approve plans as submitted.

Motion carried 5-0.

Mr. Domaszek rejoined the meeting at 5:36pm.

5. Review and act on a request by Sara and Craig Schedler at 13015 Elmhurst Parkway for an addition (deck).

Craig Schedler was present before the board.

Mr. Liechty asked if the deck was increasing in size to the South and East. Mr. Schedler stated that it was moving about 10 inches to the East.

Mr. Matola asked where the back corner would be located. Mr. Schedler stated that the back corner of the deck is moving slightly out towards the property line.

Mr. Liechty asked the homeowner to elaborate on the planned lighting. Mr. Schedler stated that there would not be any lighting on the posts and that they are proposing lights in the soffit and low voltage lights in the steps.

Mr. Liechty asked if the proposed deck will be extending past the arborvitae and if the arborvitae will be extended 6-8 feet. The homeowner said that the proposed deck will not occupy any more space than the current deck, except for the step and that they did plan to plant more arborvitae to screen the deck.

Mr. Liechty asked about the material for the new deck. Mr. Schedler stated that it will be a brown composite material and the pergola will be natural cedar.

Mr. Liechty asked if the lighting will be angled down. Mr. Schedler stated yes. Mr. Liechty stated that if lights were to be added to the pergola, he would be concerned about the angle. Mr. Matola also stated that if lights were to be added in the future that they should aim down just to illuminate the deck. Mr. Schedler agreed.

Mr. Matola motioned and Mr. Schoenecker seconded to approve plans with the condition that if lights are added in the future they must aim downwards.

Motion carried 6-0.

6. Review and act on a request by Jeff Ausprung at 625 Vernon Place for an addition.

Jeff Ausprung and Perry Szpek from JDJ were present before the board.

Mr. Liechty asked if the addition will have an overhang and Mr. Szpek stated that it will extend nine feet and will be flush with the garage. Mr. Liechty asked if the overhang will be to the West. Mr. Szpek stated the overhang would be at the rear of the house and there would be no overhang on the garage side.

Mr. Olson asked if the siding will be smaller than the existing siding on the home. Mr. Szpek stated that the homeowner redid the siding a few years ago so the new siding on the addition will match what was already installed.

Mr. Liechty asked if the trim color will match existing trim and if the window would be white. Mr. Szpek said yes.

Mr. Matola asked if roofing material would be readily available. Mr. Szpek said there will not be any issues.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve plans as submitted.

Motion carried 6-0.

7. Review and act on a request by Ryan and Leanne Walz at 1075 Highland Drive for an alteration.

Bob Riemer from Mukwonago Remodeling was present before the board.

Mr. Liechty asked if there is a projection on the back. Mr. Riemer stated yes and there will be a soffit underneath.

Mr. Liechty asked if they are matching all the existing colors and materials. Mr. Riemer said yes that was correct.

Mr. Olson asked if there would be a downspout off that section of the roof. Mr. Riemer said yes, there would be a downspout that was not shown on the drawing. Mr. Olson asked where it would drain. Mr. Riemer stated it would drain towards the side of windows and down the corner.

Mr. Matola asked about siding material. Mr. Riemer stated it would be lap siding. Mr. Matola asked if there will be corner boards. Mr. Riemer said yes. Mr. Matola asked if just the addition will be getting new siding. Mr. Riemer said yes.

Mr. Liechty asked if there is hard surface in the back. Mr. Riemer stated he thought so but was not sure.

Mr. Schoenecker asked if there was an existing downspout that drained onto the patio. Mr. Riemer stated the downspout runs off to the west side of the house.

Mr. Domaszek left the meeting at 6:01 pm.

Mr. Olson stated that the details in the drawing were unclear and there were details that needed to be clarified. Mr. Matola also stated that it was not clear how the corner of the addition will tie in to the house.

Mr. Matola asked if it would be possible if the addition shared the existing wall. Mr. Olson also stated that his recommendation would be that to have the addition be continuous with the existing walls of the home.

Mr. Domaszek returned at 6:14 pm.

Mr. Riemer stated that he will need to discuss with the homeowners and requested to table the item.

Mr. Liechty motioned and Mr. Schoenecker seconded to table the item per the applicants request.

Motion carried 6-0.

8. Review and act on a request by John Bonfilio and Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

Julie Mick-Bonfilio, Rob Miller of Rob Miller Homes, and Kyle Kohlman were present before the board.

Review of Architecture and Design

Ms. Mick-Bonfilio stated that the new plans are similar in design to the plans previously submitted. The home will look like a modern farmhouse and will have cream city brick in the front instead of stone. Ms. Mick-Bonfilio stated that there had been a small change in design to the windows above the porch. The windows will now be separated and smaller in size. They will now be consistent with the window to the right of the front door.

Mr. Matola asked about the color of the metal roof. Mr. Miller stated it will be black.

Mr. Olson asked about the light fixtures. Mr. Miller stated these will also be black.

Mr. Matola asked about the window trim. Ms. Mick-Bonfilio stated that the trim and siding will be white.

Mr. Liechty asked if the support brackets on the windows will be visible from the side. Mr. Miller said that the brackets are attached to and extend from the wall and they will be visible only from the roof.

Mr. Liechty asked about the material underneath the front porch. Mr. Miller said that it will be a wooden bead board ceiling.

Mr. Liechty asked if the light fixture hanging above the front door will have the appearance of a vintage lantern. Mr. Miller said that was correct.

Mr. Matola asked about the color of the front door. Ms. Mick-Bonfilio stated that will be a dark stained wood, probably gray in color and that the garage doors will be painted black.

Mr. Liechty asked about the railings on the front porch. Mr. Miller said they will be white railings with silver cable running through.

Mr. Matola asked if there will be a pillar on the left elevation railing by the patio doors. Mr. Miller said that yes, there will be a newel post.

Mr. Liechty asked about the deck material. Mr. Miller said it will be a composite material. Mr. Matola asked if the deck will have a skirt board. Mr. Miller said yes it will be white and the deck itself will probably be gray.

Mr. Liechty asked if the chimney will be cream city brick. Mr. Miller said yes.

Mr. Matola asked if the cupola will be the same metal as the roof and if it will be white. Mr. Miller said yes.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve the architecture and design with the revised windows on front elevation.

Motion carried 6-0.

Review of Site Plan and Grading

Mr. Matola asked if the siting was similar to what was previously submitted. Mr. Miller said yes.

Mr. Liechty asked if the first floor elevation was the same. Mr. Griffiths stated that it was three feet higher.

Mr. Liechty referred to page 2, final paragraph in the Ruekert-Mielke letter and asked if the low point was being addressed. Mr. Miller said it is being worked on and a revised site plan will be submitted.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve site plan and grading contingent upon meeting the requirements set out in the Ruekert-Mielke letter.

Motion carried 6-0.

Review of Landscaping

Mr. Kohlman stated they are planning on a collection of hardy perennials and shrubs and the overgrown vegetation will be pruned and trimmed.

Mr. Liechty asked about the material for the proposed retaining wall. Mr. Kohlman presented sample material and stated it would be dry stacked limestone and they would possibly be terracing into two four foot walls with a planting terrace in between.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve plans as submitted.

Motion carried 6-0.

9. Other Business

Mr. Griffiths stated that the agenda for the next meeting will include a conceptual review of the plans for the Reinders development.

7. Adjournment

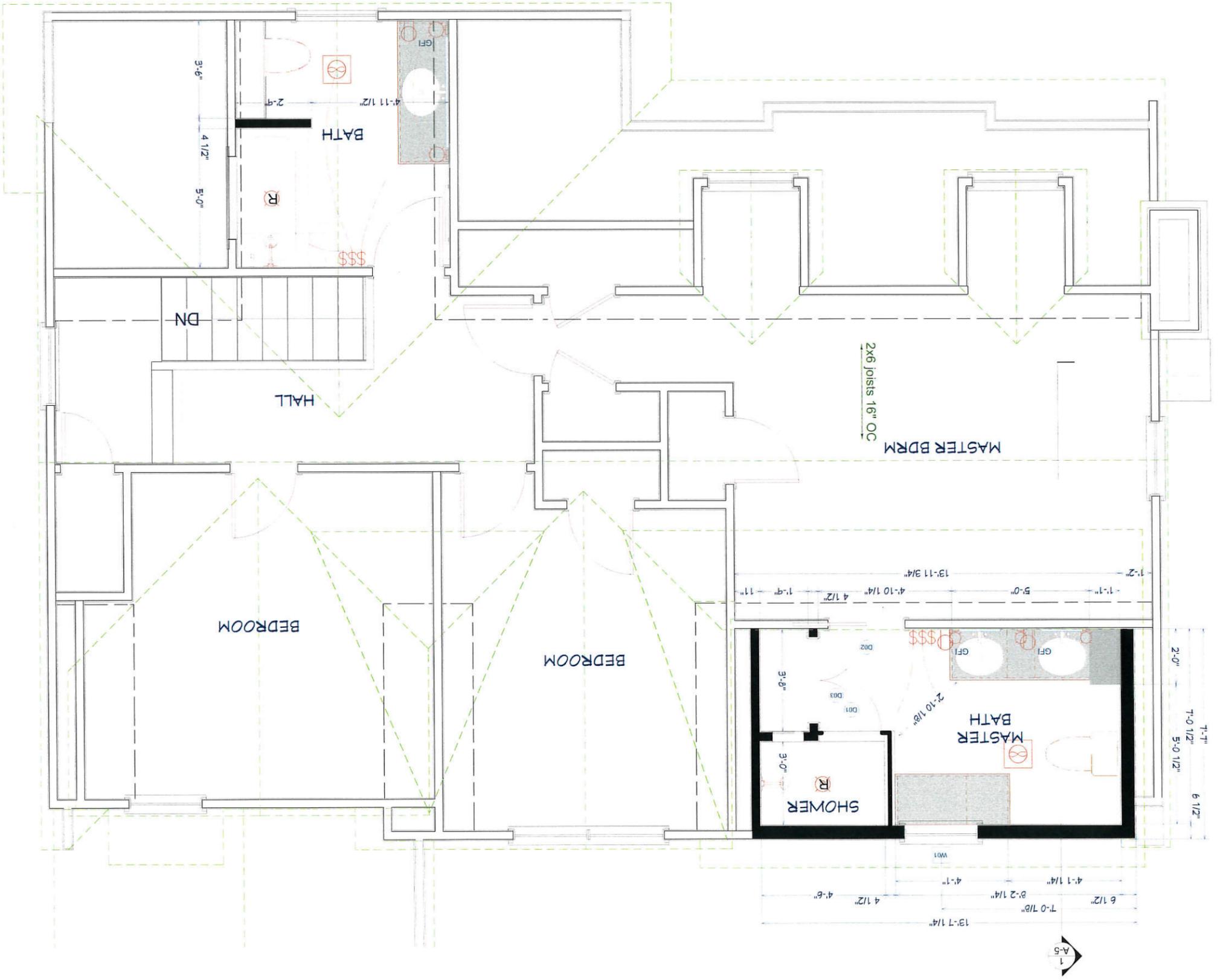
Mr. Liechty motioned and Mr. Domaszek seconded to adjourn the meeting. Motion carried 6-0.

Meeting adjourned at 6:43 p.m.

Respectfully Submitted,

Carey Nelson
Administrative Assistant

1 NEW SECOND FLOOR PLAN
A-1 SHED ROOF OPTION
1/4" = 1'-0"



RECEIVED
MAR 09 2016
VILLAGE OF ELM GROVE

NOTES:
WOOD SPECIES:
STAIN COLOR:
DOOR STYLE:
FINISHED SIDES:
BACKSLASH MATERIAL:
BACKSLASH SIDES:
COUNTERTOP MATERIAL:
Signature: _____
DESIGN SET - NOT FOR
CONSTRUCTION
CONTRACT DOCUMENTS
CONSTRUCTION DRAWINGS

DATE BY DATE BY
2/10/16 RD
2/26/16 RD
3/8/16 RD

DATE BY DATE BY
1/14/16 RD
1/14/16 RD

JOB NO.: WALZ
SCALE: AS NOTED
SHEET: A-1
OF 6 SHEETS

REVISIONS

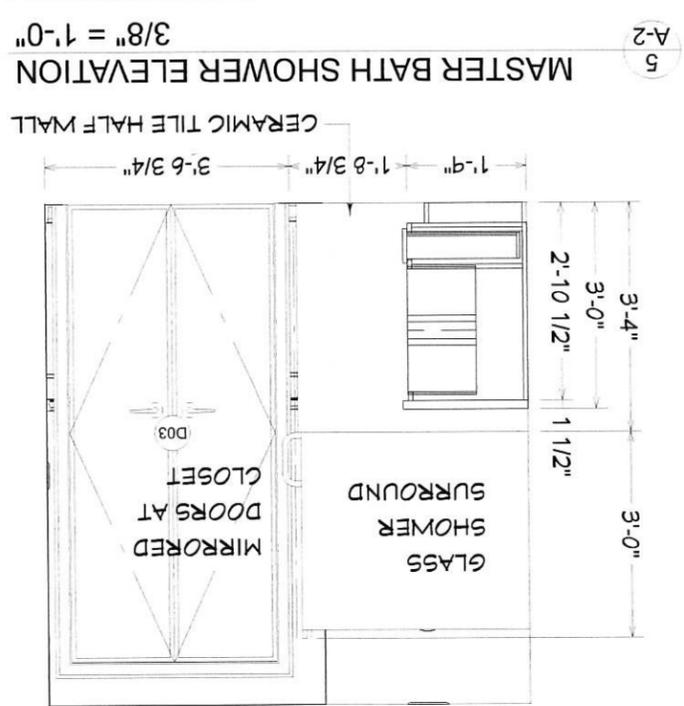
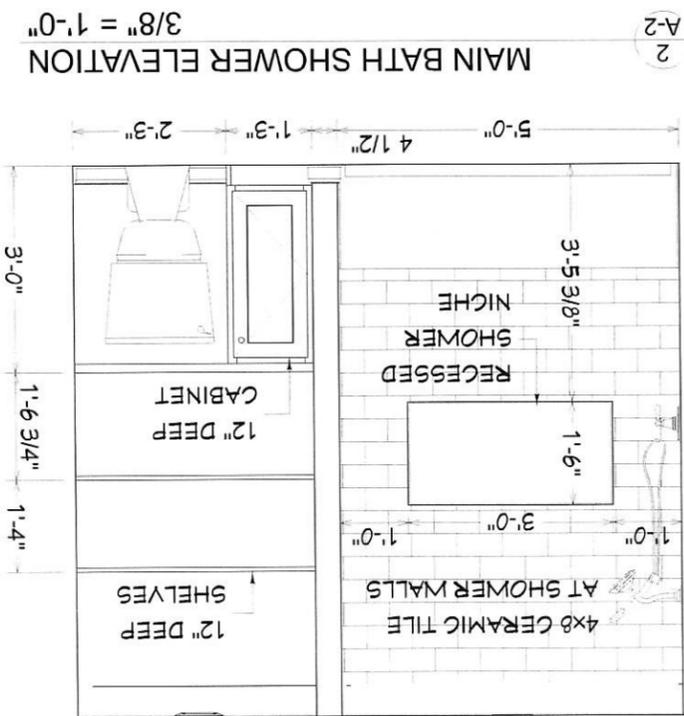
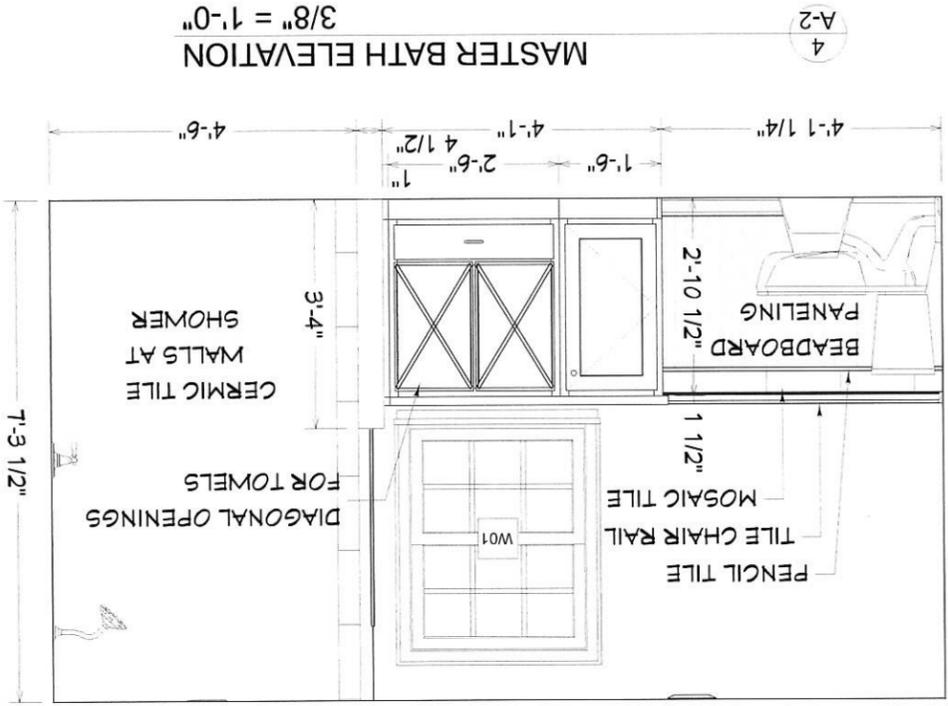
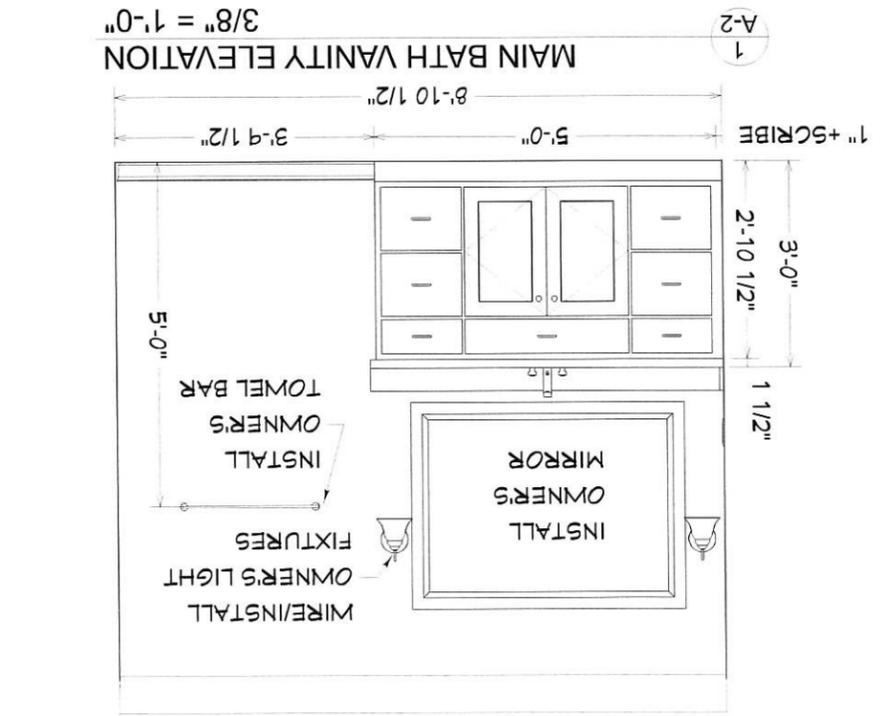
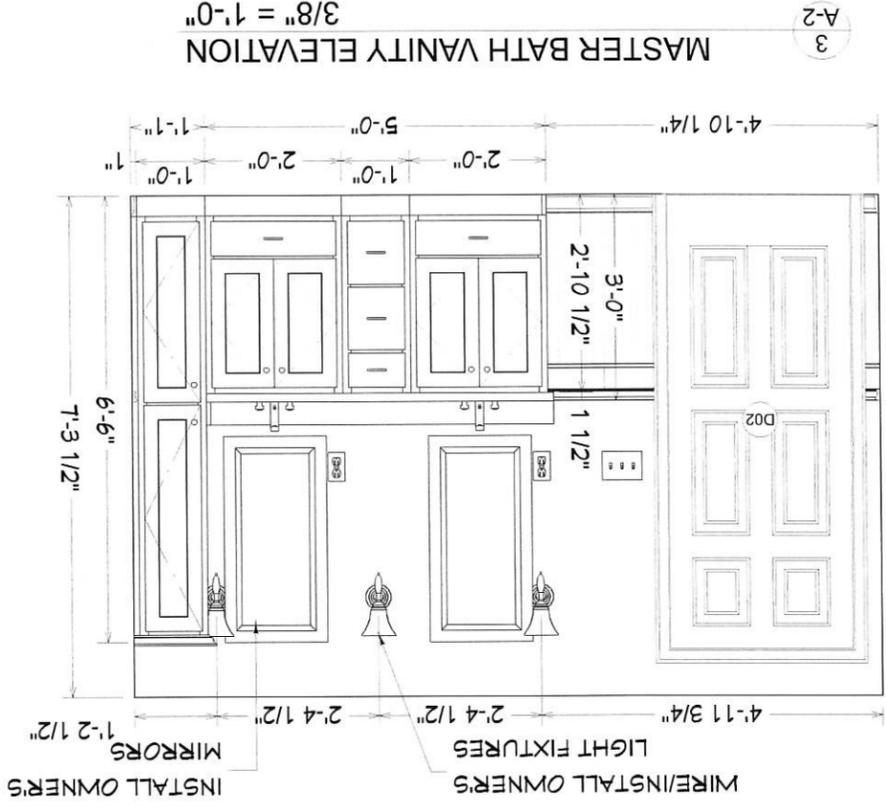
DATE	BY	DATE	BY
2/10/16	RD		
2/26/16	RD		
3/8/16	RD		

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
1075 HIGHLAND DR
ELM GROVE, WI
414-550-5092

Mukwonago Remodeling

WISCONSIN'S
LEADING
REMODELER
515 BAY VIEW ROAD - SUITE 105
MUKWONAGO, WISCONSIN 53149
O: 262-353-9762 F: 262-353-4614
CONTRACTOR #: 033561
QUALIFIER #: 033511

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NOTES:
 WOOD SPECIES:
 STAIN COLOR:
 DOOR STYLE:
 FINISHED SIDES:
 BACKSPLASH MATERIAL:
 BACKSPLASH SIDES:
 COUNTERTOP MATERIAL:
 Signature: _____

DESIGN SET - NOT FOR CONSTRUCTION
 CONTRACT DOCUMENTS
 CONSTRUCTION DRAWINGS

DATE: 1/14/16
 JOB NO.: WALZ
 SCALE: AS NOTED
 SHEET: A-2
 OF 6 SHEETS

PROPOSED "BATH ADDITION" FOR THE:

WALZ RESIDENCE

1075 HIGHLAND DR
 ELM GROVE, MI
 414-550-5092

REVISIONS	DATE	BY	DATE	BY
	2/10/16	RD	2/26/16	RD
	3/8/16	RD		

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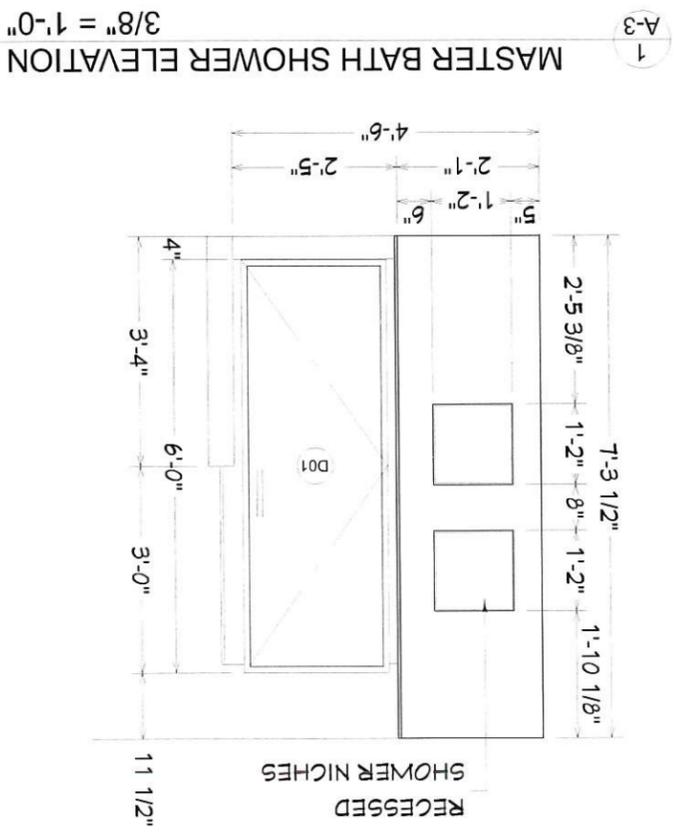
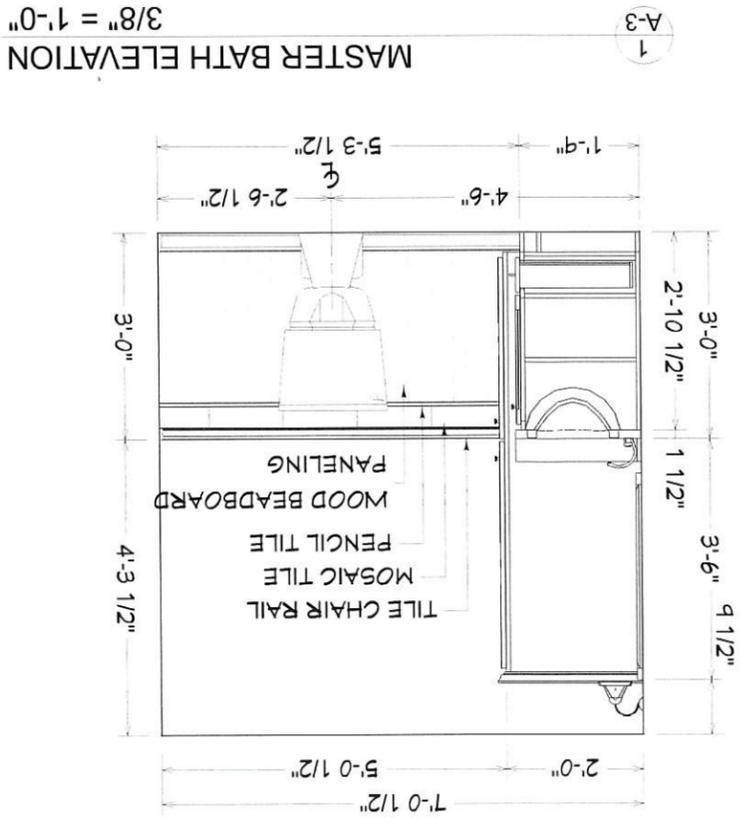
WISCONSIN'S LEADING REMODELER

575 BAY VIEW ROAD - SUITE 105
 MUKWONAGO, WISCONSIN 53149
 O: 262-363-9762 F: 262-363-4619
 CONTRACTOR #: 6855671
 QUALIFIER #: 6855711

NOTICE: In accordance with the plan, specs, and specifications... (small text)

NUMBER	LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	THICKNESS
D01	2260	1	26"	72"	HINGED-GLASS DOOR SC02	1/2"
D02	2868	1	32"	80"	POCKET-DOOR P09	1 3/8"
D03	3068	1	36"	80"	DOUBLE HINGED-MIRROR DOOR SC01	1 3/8"

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	TEMPERED	MANUFACTURER
W01	2834DH	1	2834DH	32"	40"		DOUBLE HUNG	2X6X36 1/2" (2)	YES	



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BACKSPLASH SIDES:
COUNTERTOP MATERIAL:
Signature:

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CONSTRUCTION DRAWINGS

DATE: 1/14/16
JOB NO.: WALZ
SCALE: AS NOTED
SHEET: A-3
OF 6 SHEETS

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
1075 HIGHLAND DR
ELM GROVE, MI
414-550-5092

Mukwonago Remodeling

WISCONSIN'S LEADING REMODELER
575 BAY VIEW ROAD - SUITE 105
MUKWONAGO, WISCONSIN 53149
O: 262-363-4762 F: 262-363-4614
CONTRACTOR #: 685561
QUALIFIER #: 685571

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DATE: 1/14/16
 JOB NO.: WALZ
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 SHEET: A-5
 OF 6 SHEETS

DATE	BY	DATE	BY
2/10/16	RD	2/10/16	RD
2/26/16	RD	2/26/16	RD
3/8/16	RD	3/8/16	RD

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
 1075 HIGHLAND DR
 ELM GROVE, MI
 414-550-5092

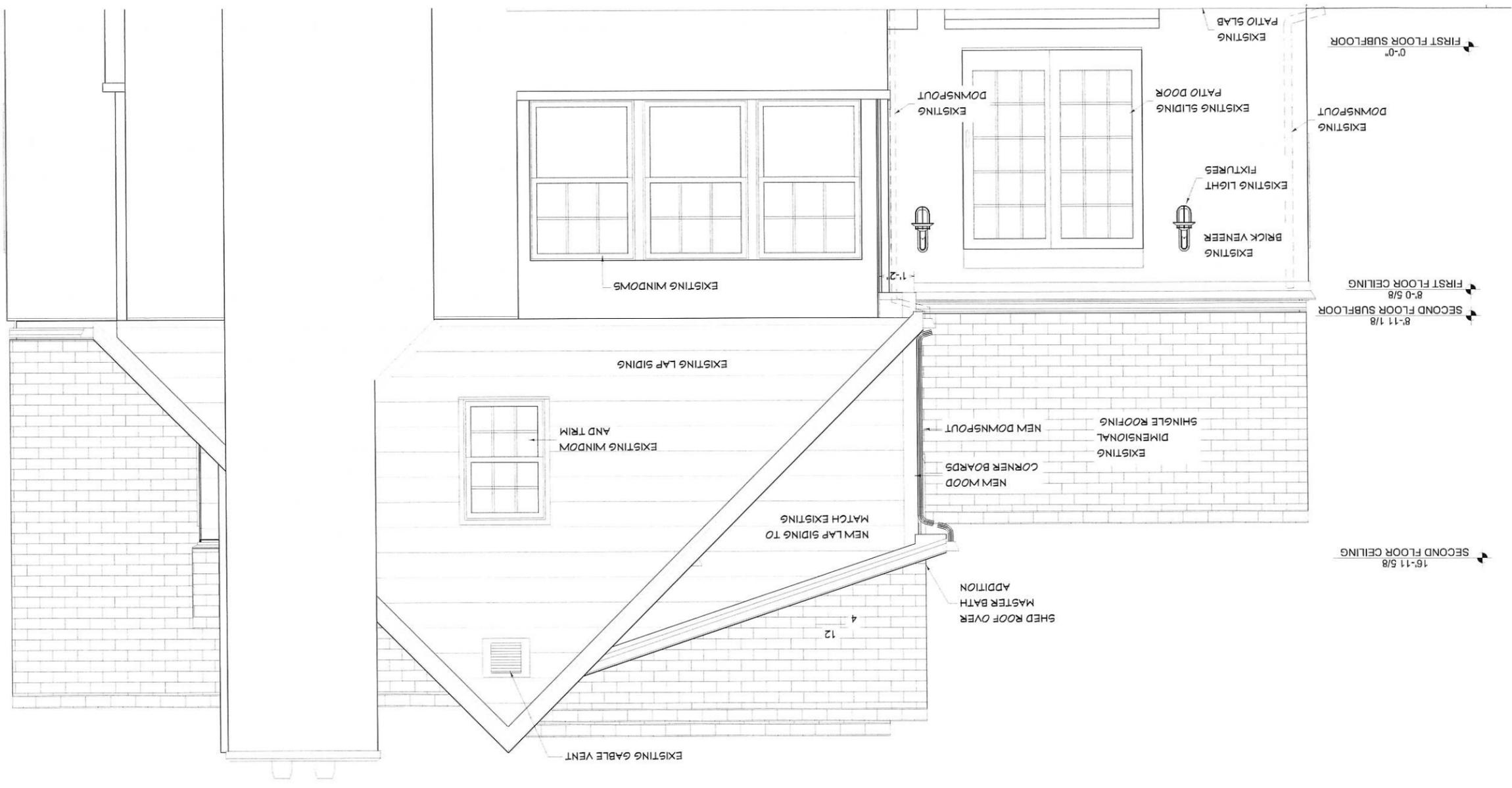


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 575 BAY VIEW ROAD - SUITE 105
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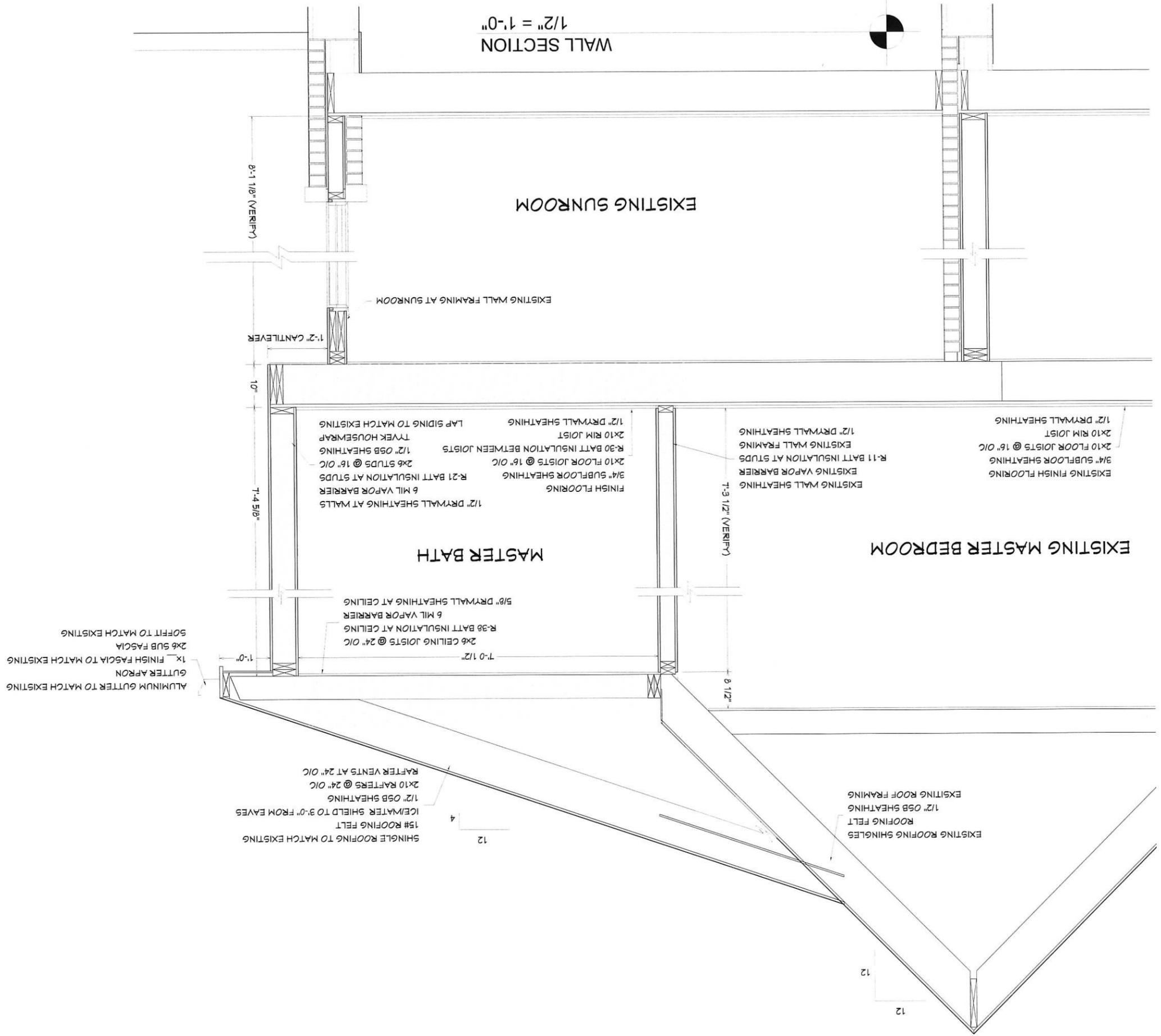
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LEFT (SOUTH) ELEVATION
 1/4" = 1'-0"



0'-0" FIRST FLOOR SUBFLOOR
 8'-0 5/8" SECOND FLOOR SUBFLOOR
 8'-11 1/8" SECOND FLOOR CEILING
 16'-11 5/8" SECOND FLOOR CEILING

EXISTING PATIO SLAB
 EXISTING PATIO DOOR
 EXISTING SLIDING PATIO DOOR
 EXISTING LIGHT FIXTURES
 EXISTING BRICK VENEER
 EXISTING DOWNSPOUT
 EXISTING WINDOWS
 EXISTING LATH SIDING
 EXISTING WINDOW AND TRIM
 EXISTING GABLE VENT
 NEW WOOD CORNER BOARDS
 EXISTING DIMENSIONAL SHINGLE ROOFING
 NEW DOWNSPOUT
 NEW LATH SIDING TO MATCH EXISTING
 SHED ROOF OVER MASTER BATH ADDITION



NOTES:
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BACKSPASH MATERIAL:
BACKSPASH SIDES:
COUNTERTOP MATERIAL:
Signature:

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SCALE:
DATE: 1/14/16
JOB NO.: WALZ
DRAWN: RD

AS NOTED
SHEET: A-6
OF 6 SHEETS

PROPOSED "BATH ADDITION" FOR THE:

WALZ RESIDENCE
1075 HIGHLAND DR
ELM GROVE, WI
414-550-5092

REVISIONS	DATE	BY	DATE	BY
	2/10/16	RD	2/10/16	RD
	2/26/16	RD	2/26/16	RD
	3/8/16	RD	3/8/16	RD

Mukwonago Remodeling

WISCONSIN'S LEADING REMODELER

575 BAY VIEW ROAD - SUITE 105
MUKWONAGO, WISCONSIN 53149
O: 262-363-4762 F: 262-363-4619
CONTRACTOR #: 683561
QUALIFIER #: 683571

NOTICE:
It is understood that the plans, details, designs, and specifications contained herein were prepared by the architect as noted and the contractor shall be responsible for the construction of the work shown on the drawings. The contractor shall be responsible for the construction of the work shown on the drawings. The contractor shall be responsible for the construction of the work shown on the drawings.





REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS:

SIDING: 4" PRE-FINISHED CEMENT BOARD SIDING
 1 BOARD + BATTEN (1X12 BOARDS + 1X3 BATTEN)
 PRE-FINISHED CEMENT BOARD SIDING
 (ALL SIDING IS PAINTED WHITE)

WINDOW + DOOR TRIM: SIDES: 5/4 X 4 MIRATEC - PRIMED
 BOTTOM: 5/4 X 6 MIRATEC HORIZONTAL PITCHED BILL
 (EXTEND 1 1/2" BEYOND VERTICAL TRIM)
 W/ 5/4" X 4 MIRATEC TRIM BELOW
 CAP: 5/4" X 4" MIRATEC - PRIMED
 W/ 4" FYPON CROWN MOLDING CAP
 (ALL TRIM IS PAINTED WHITE)

CORNER TRIM: 5/4 X 4 MIRATEC - PRIMED (ALL TRIM IS PAINTED WHITE)

FASCIA/SOFFIT: 1 X 8 MIRATEC - PRIMED, FIR SOFFIT PLY
 1X3 MIRATEC DBL FASCIA
 (ALL TRIM IS PAINTED WHITE)

ACCENT BOARD: 5/4 X 6 - MIRATEC PRIMED (ALL TRIM IS PAINTED WHITE)

SKIRT BOARD: 5/4" X 10 - MIRATEC PRIMED (ALL TRIM IS PAINTED WHITE)

FREIZE BOARD: GABLES ONLY 5/4X4 MIRATEC - PRIMED (ALL TRIM IS PAINTED WHITE)

SHINGLES: LIMITED LIFETIME DIMENSIONAL ASPHALT SHINGLES

BRICK: FULL BRICK W/ BRICK CAP
 THIN VENEER BRICK ON FIREPLACE CHASE

ALL GABLE OVERHANGS ARE 1'-4" (DORMER 6")

ALL EAVE OVERHANGS ARE 1'-4" (DORMER 12")

POSTS + HEADERS: DOUG FIR -PAINTED WHITE

CHIMNEY FLUE CAPS: SELECTION BY OWNER

BRACKETS: FYPON (PAINTED)

5" PRE-FINISHED SEAMLESS ALUMINUM GUTTER
3"x4" PRE-FINISHED RECTANGULAR DOWNSPOUTS

2016 COPYRIGHT
 DESIGN + STYLE, LLC

DESIGN + Style
 ARCHITECTURE + INTERIORS

NOTICE TO CONTRACTORS + SUPPLIERS
 ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING
 THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS
 THE RESPONSIBILITY OF THE SUBCONTRACTOR OR SUPPLIER
 TO CONTACT GEORGE OR DISCREPANCIES DURING THE
 CONSTRUCTION OF THESE PLANS.

P.O. BOX 180559
 DELAWARE, OH 43018
 PHONE: 262-370-3100
 FAX: 262-646-9199
 WWW.ROBMILLERHOMES.COM

ROB MILLER
Homes

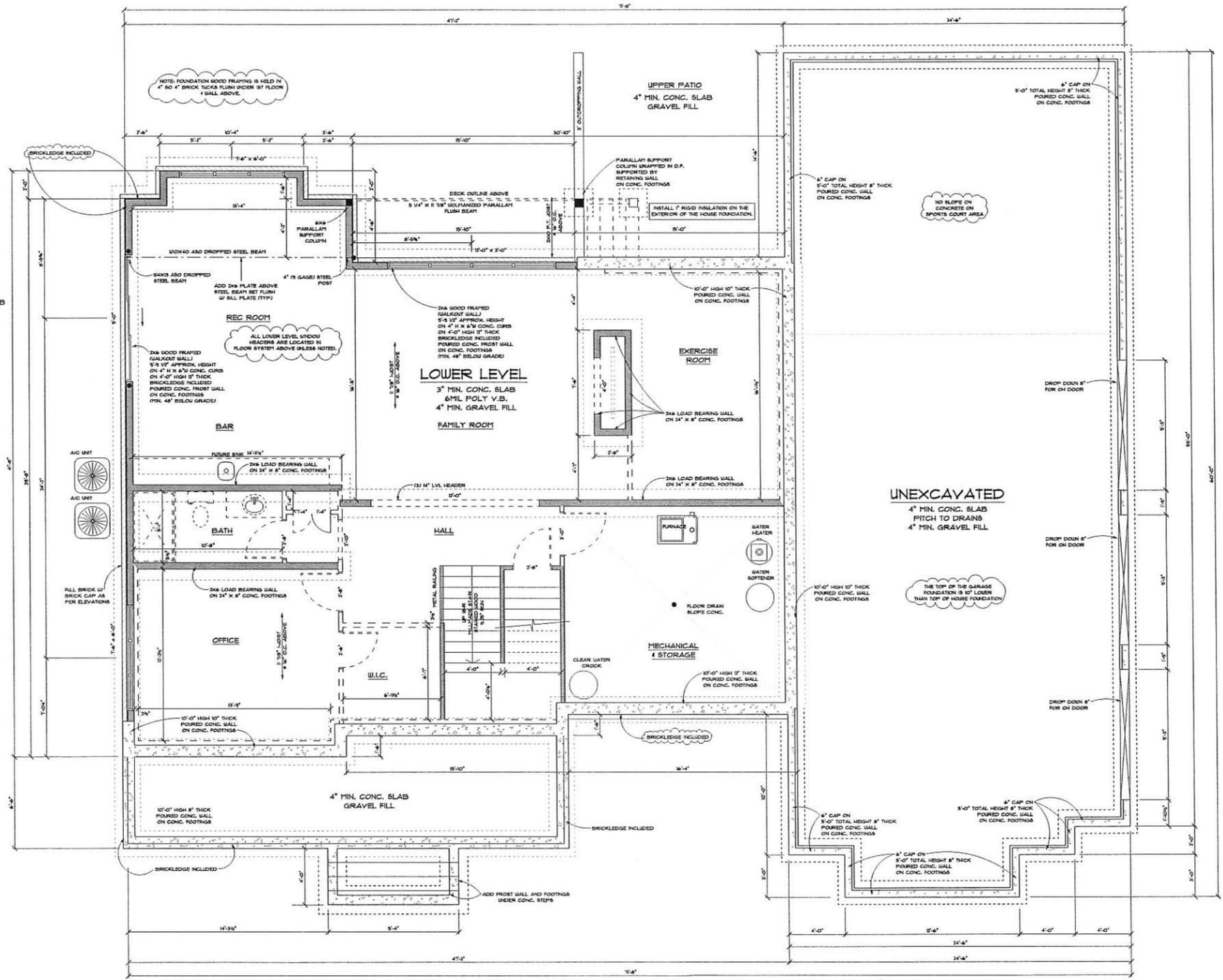
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49	11.16.16	ISSUE FOR PERMITS
50	11.16.16	ISSUE FOR PERMITS

OWNER: ROBERT GONZALEZ
 ADDRESS: 11111 GARDEN BLVD
 SUITE 1000
 DUBLIN, OH 43017

PAGE
2 OF 1

NOTICE TO CONTRACTORS & SUPPLIERS
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR OR SUPPLIER TO CONTACT GENERAL CONTRACTOR OR ARCHITECT HERE TO VERIFY THE ACCURACY OF THE PLANS DURING THE CONSTRUCTION OF THESE PLANS.

P.O. BOX 18088
DENVER, CO 80218
PHONE: 303-370-3100
FAX: 303-646-9189
ROB@ROBMILLERHOMES.COM
WWW.ROBMILLERHOMES.COM



LOWER LEVEL LAYOUT
SCALE 1/4" = 1'-0"

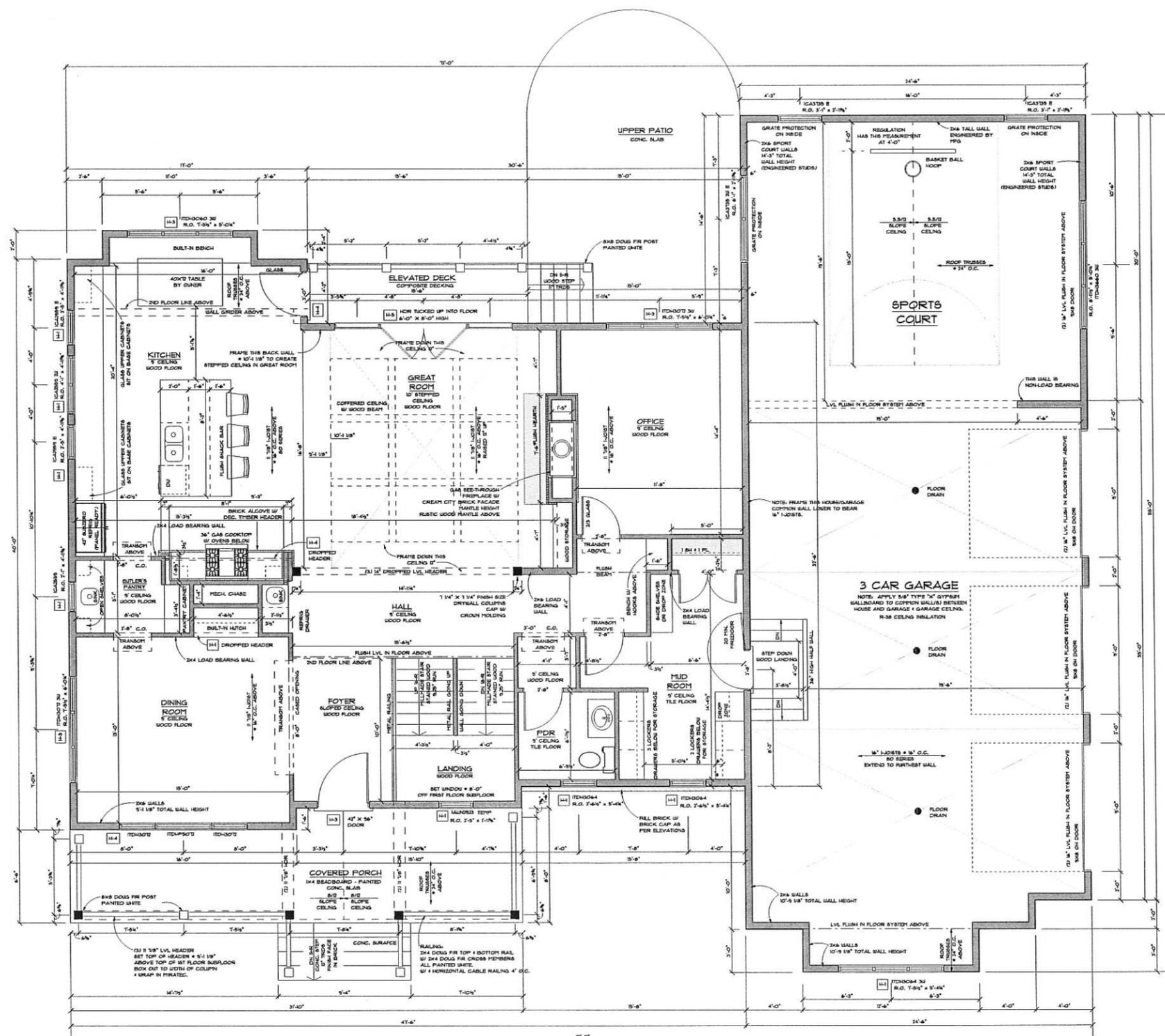
- SPECIFICATIONS:**
- ALL OPENINGS ARE CASED, UNLESS NOTED.
 - INTERIOR DOORS: 2 PANEL FLAT - PAINTED
 - LOWER LEVEL: 8'-0" HIGH DOOR (FUTURE)
 - MAIN: 6'-8" HIGH DOOR
 - 2ND: 6'-8" HIGH DOOR
 - ALL MILLWORK ON ALL 2 LEVELS IS PAINTED
 - 1 1/4" HIGH BASE - PAINTED
 - 3 1/2" CABING - PAINTED (REFERENCE HOLDING DETAIL ON PAGE 1)
 - ALL WINDOWS ARE WOOD INTERIOR & CLAD EXTERIOR.
 - GRILLS PER ELEVATIONS.
 - WINDOW BRAND MARVIN INTEGRITY
 - GRANITE C-TOPS IN KITCHEN.
 - ORANGE PEEL TEXTURE DRYWALL FINISH.
 - SQUARE BEAD DRYWALL CORNERS
 - ALL CLOSETS DESIGNS ARE LABELED ON PLAN. MATERIAL FOR CLOSETS IS MAPLE PLYWOOD.
 - INCLUDE KITCHEN APPLIANCE ALLOWANCE.
 - WINDOW FRAMING:
 - LOWER LEVEL: SET BOTTOM OF WINDOW HEADER # 6'-0"
 - FIRST FLOOR: SET BOTTOM OF WINDOW HEADER # 8'-0"
 - SECOND FLOOR: SET BOTTOM OF WINDOW HEADER: VARIES

1ST LIVING	1730 SQ. FT.
2ND LIVING	2279 SQ. FT.
LOWER LIVING	000 SQ. FT.
TOTAL LIVING	4009 SQ. FT.
SPORTS COURT	+ 481 SQ. FT.
GARAGE	922 SQ. FT.

HEADER SCHEDULE

H-1	(2) 2X10'S D.F. #2 or btr
H-2	(2) 2X12'S D.F. #2 or btr
H-3	(2) 1 3/4" X 9 1/2" LVL 2.0E
H-4	(2) 1 3/4" X 11 1/8" LVL 2.0E
H-5	(3) 1 3/4" X 14" LVL 2.0E
H-6	(3) 1 3/4" X 5 1/2" LVL 2.0E
H-7	(3) 1 3/4" X 11 1/8" LVL 2.0E

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1	1	sq. ft.	1730	1730
2	1	sq. ft.	2279	2279
3	1	sq. ft.	000	000
4	1	sq. ft.	4009	4009
5	1	sq. ft.	481	481
6	1	sq. ft.	922	922



1ST FLOOR LAYOUT
SCALE: 1/4" = 1'-0"



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 - LOWER LEVEL: 6'-0" HIGH DOOR (FUTURE)
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 - 1 1/4" HIGH BASE - PAINTED
 - 3 1/2" CASING - PAINTED (REFERENCE MOLDING DETAIL ON PAGE 1)
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 - GRILL & PER ELEVATIONS.
 - WINDOW BRAND MARVIN INTEGRITY
 - GRANITE C-TOP & IN KITCHEN.
 - ORANGE PEEL TEXTURE DRYWALL FINISH.
 - SQUARE BEAD DRYWALL CORNERS
 - ALL CLOSET DESIGNS ARE LABELED ON PLAN. MATERIAL FOR CLOSETS IS MAPLE PLYWOOD.
 - INCLUDE KITCHEN APPLIANCE ALLOWANCE.
 - WINDOW FRAMING.
 - LOWER LEVEL: SET BOTTOM OF WINDOW HEADER # 8'-0"
 - FIRST FLOOR: SET BOTTOM OF WINDOW HEADER # 8'-0"
 - SECOND FLOOR: SET BOTTOM OF WINDOW HEADER: VARIES

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H-6	(3) 1 3/4" X 5 1/2" LVL 2.0E
H-7	(3) 1 3/4" X 11 7/8" LVL 2.0E

2016 COPYRIGHT
DESIGN & STYLE, LLC

DESIGN & STYLE
INTERIOR ARCHITECTURE

NOTICE TO CONTRACTORS & SUPPLIERS:
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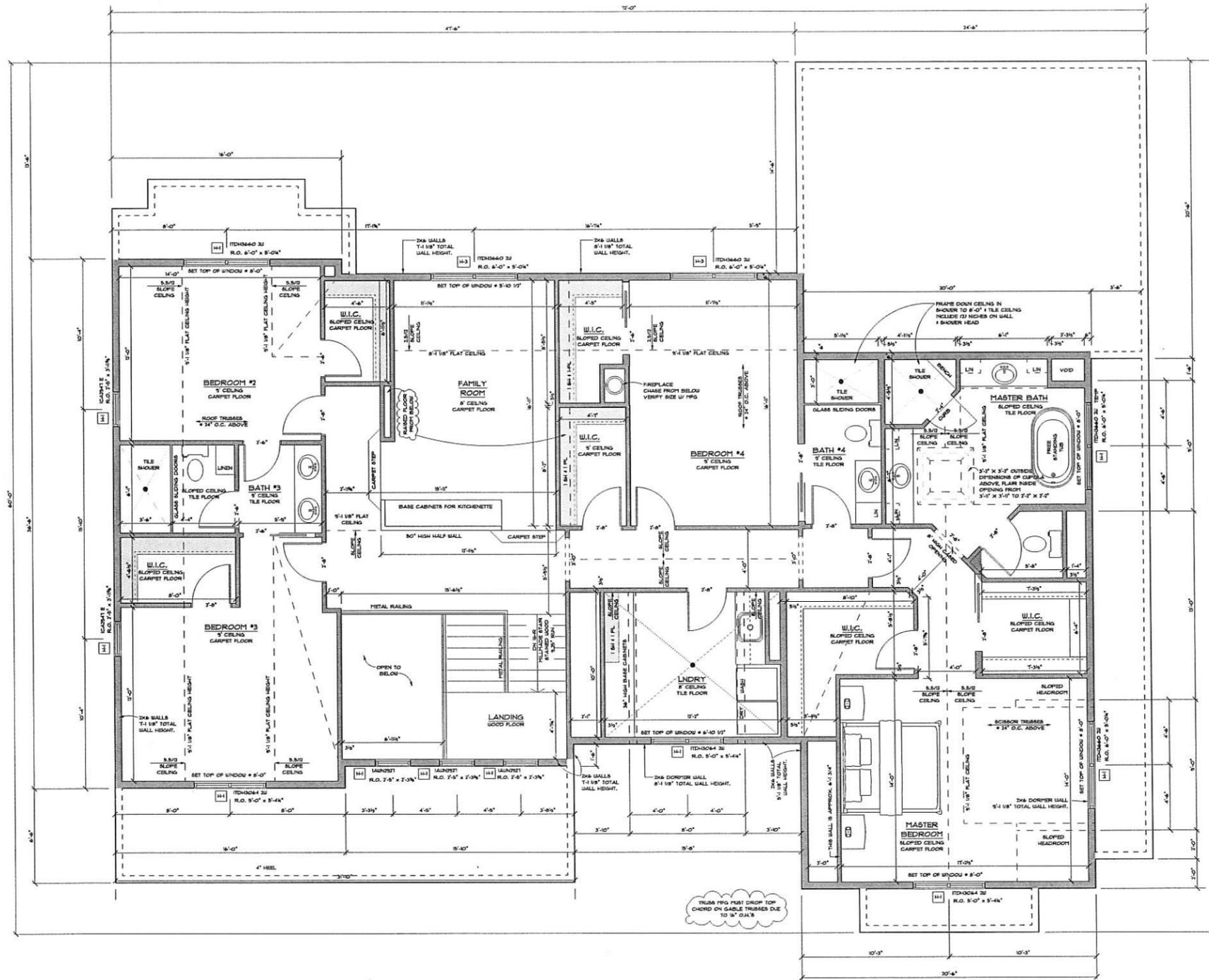
R.O. BOX 180958
DELAWARE, WI 53018
PHONE: 262-370-3100
FAX: 262-646-9199
R02@ROBMILLERHOME.COM
WWW.ROBMILLERHOME.COM

ROB MILLER
Home

PREP. DATE: 3.1.16	PREP. DATE: 3.1.16	REV. DATE: 3.1.16	REV. DATE: 3.1.16
PREP. DATE: 3.1.16	PREP. DATE: 3.1.16	REV. DATE: 3.1.16	REV. DATE: 3.1.16
PREP. DATE: 3.1.16	PREP. DATE: 3.1.16	REV. DATE: 3.1.16	REV. DATE: 3.1.16
PREP. DATE: 3.1.16	PREP. DATE: 3.1.16	REV. DATE: 3.1.16	REV. DATE: 3.1.16

FUTURE RESIDENCE OR (ENTER)
1000 SENECA RESIDENCE
JOHN J. WILE
ADDRESS:
1000 SENECA BLVD
EAST WAUWATOSA, WI

PAGE
4 OF 1



2ND FLOOR LAYOUT
SCALE: 1/4" = 1'-0"

- SPECIFICATIONS:**
- ALL OPENINGS ARE CASED, UNLESS NOTED.
 - INTERIOR DOORS: 2 PANEL FLAT - PAINTED
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 - SQUARE BEAD DRYWALL CORNERS
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 - INCLUDE KITCHEN APPLIANCE ALLOWANCE.
 - WINDOW FRAMING:
 - LOWER LEVEL: SET BOTTOM OF WINDOW HEADER # 8'-0"
 - FIRST FLOOR: SET BOTTOM OF WINDOW HEADER # 8'-0"
 - SECOND FLOOR: SET BOTTOM OF WINDOW HEADER, VARIES

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LOWER LIVING	000 SQ. FT.
TOTAL LIVING	4009 SQ. FT.
SPORTS COURT	+ 481 SQ. FT.
GARAGE	922 SQ. FT.

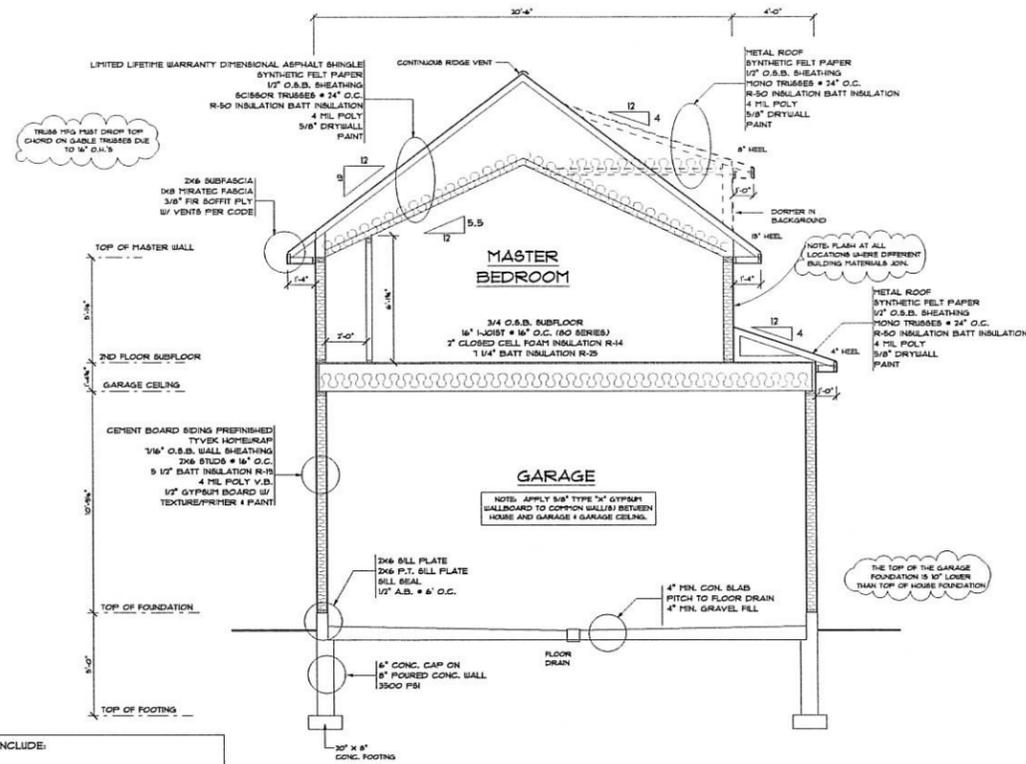
HEADER SCHEDULE	
H-1	(2) 2X10'S D.F. #2 or br
H-2	(2) 2X12'S D.F. #2 or br
H-3	(2) 1 3/4" x 9 1/2" LVL 2.OE
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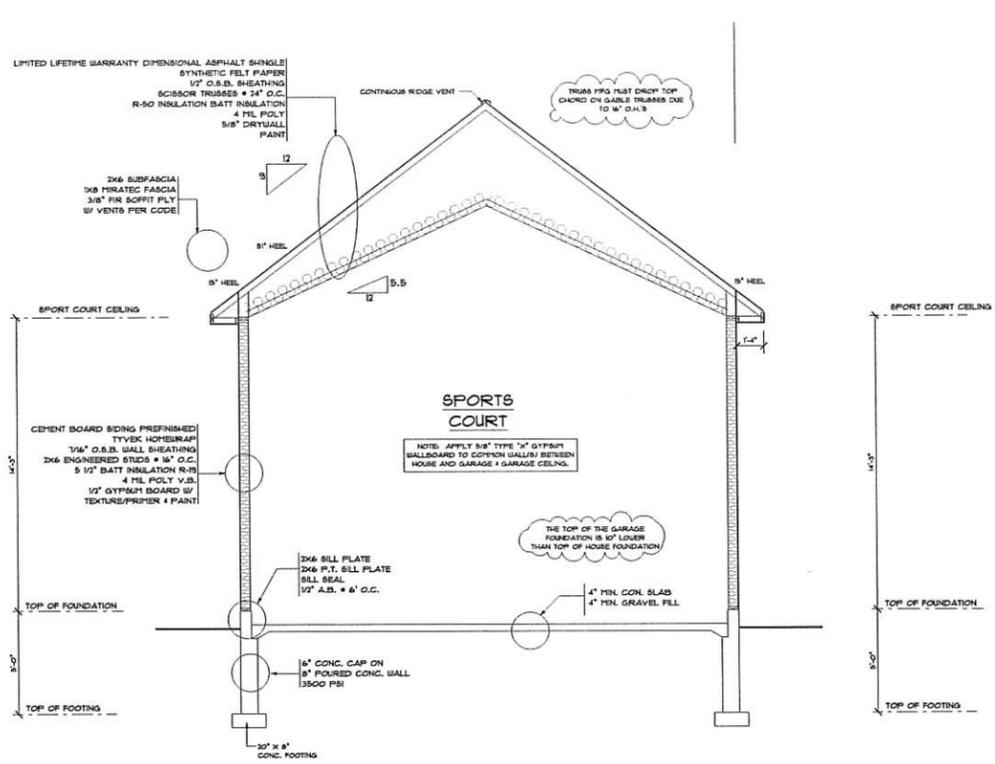
P.O. BOX 10088
DALLAS, TX 75210-3100
PHONE: 262-310-3100
FAX: 262-646-3198
ROB@ROBMILLERHOMES.COM
WWW.ROBMILLERHOMES.COM



| PREP. DATE |
|------------|------------|------------|------------|------------|------------|------------|------------|
| 12.14.16 | 12.14.16 | 12.14.16 | 12.14.16 | 12.14.16 | 12.14.16 | 12.14.16 | 12.14.16 |
| REV. 01 | REV. 02 | REV. 03 | REV. 04 | REV. 05 | REV. 06 | REV. 07 | REV. 08 |



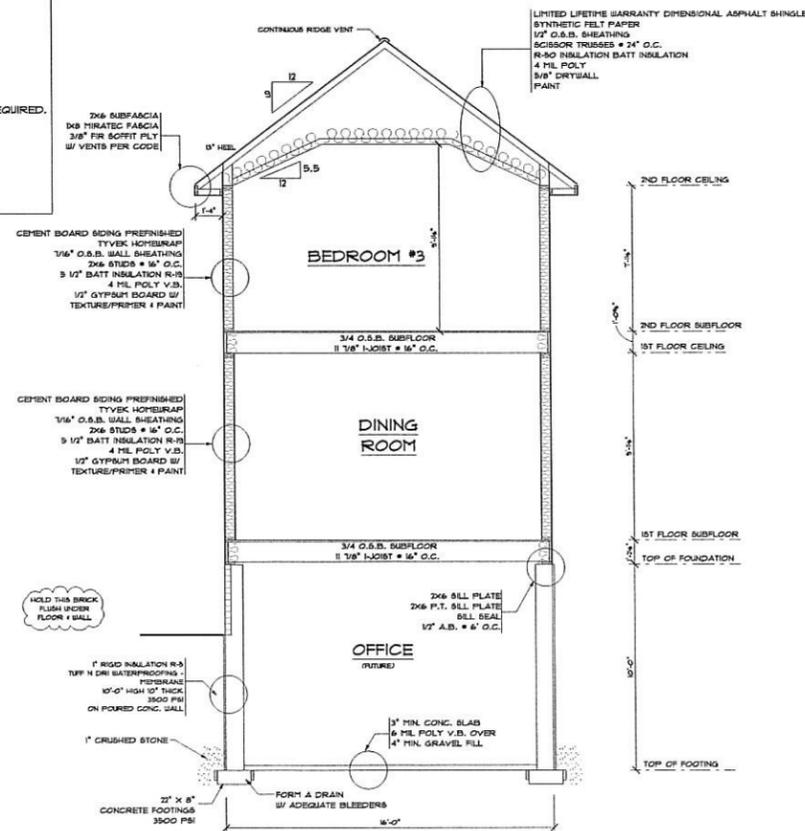
GARAGE SECTION "A"
1/4" = 1'-0"



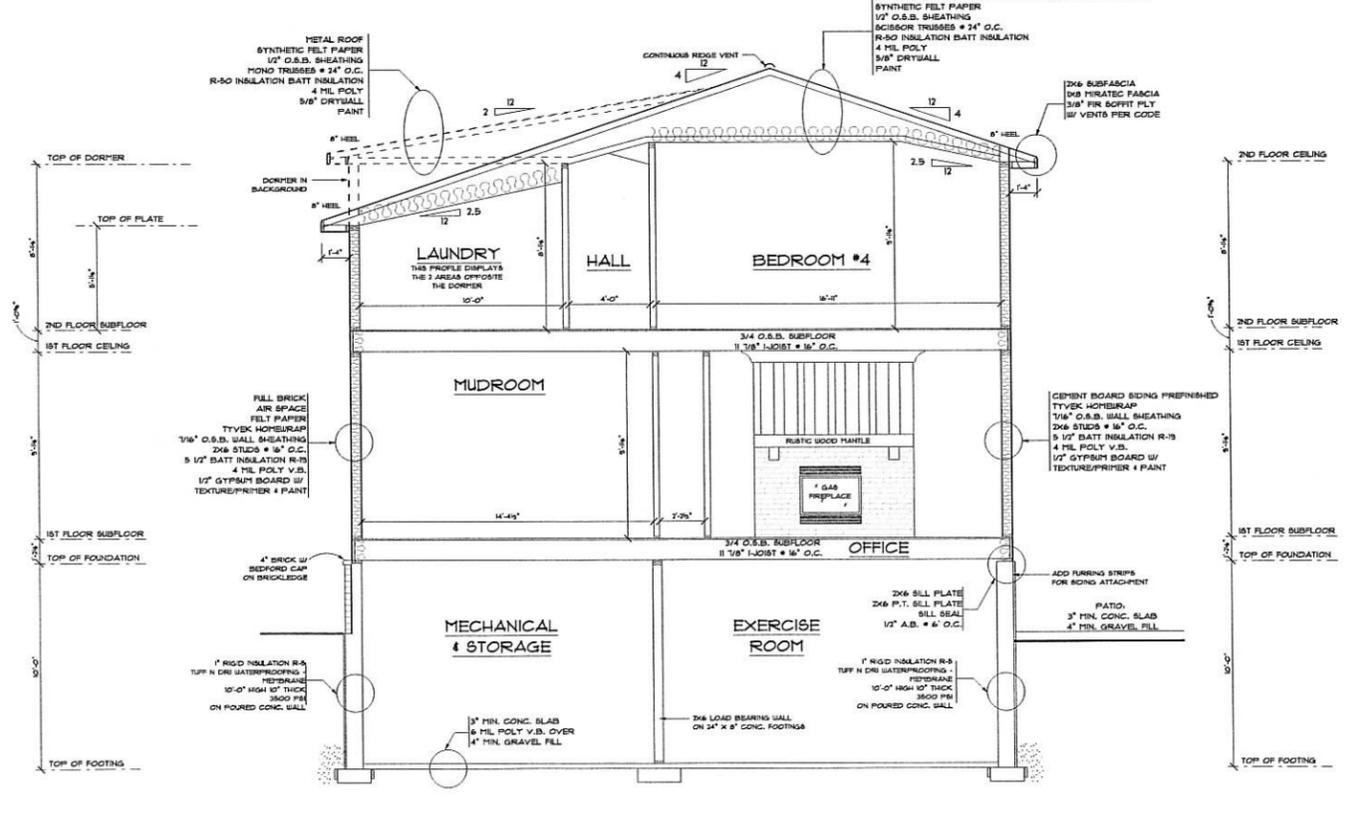
GARAGE SECTION "B"
1/4" = 1'-0"

GENERAL SPECIFICATIONS TO INCLUDE:

1. INSTALL 3' OF ICE & WATER SHIELD ABOVE ALL GUTTERS FOLDED ON THE FASCIA, AROUND ALL ROOF PENETRATION, IN SADDLE AREAS, WHERE ALL METAL IS TO BE INSTALLED, AROUND CHIMNEY AND IN THE VALLEYS. ADDITIONAL 6" STRIP OF ICE & WATER BARRIER TO TIE THE GUTTER APRON INTO THE LOWER APPLICATION OF THE ICE & WATER BARRIER.
2. METAL GUTTER APRON
3. 5" PRE-FINISHED SEAMLESS ALUMINUM GUTTER & 3"x4" PRE-FINISHED RECTANGULAR DOWNSPOUTS.
4. TOP PLATES AND EXTERIOR WALLS CAULK ALL HOLES AND VOIDS.
5. PRE-FINISHED METAL TIN FLASHING & WALL FLASHING AS REQUIRED.
5. Baffle VENTS
6. PRE-FINISHED METAL TRIM
7. INCLUDE GROUND BREAKER TO COVER EXPOSED RIGID INSULATION ON FOUNDATION WHERE EXPOSED.



HOUSE SECTION "C"
1/4" = 1'-0"



HOUSE SECTION "D"
1/4" = 1'-0"

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DESIGN & STYLE, LLC

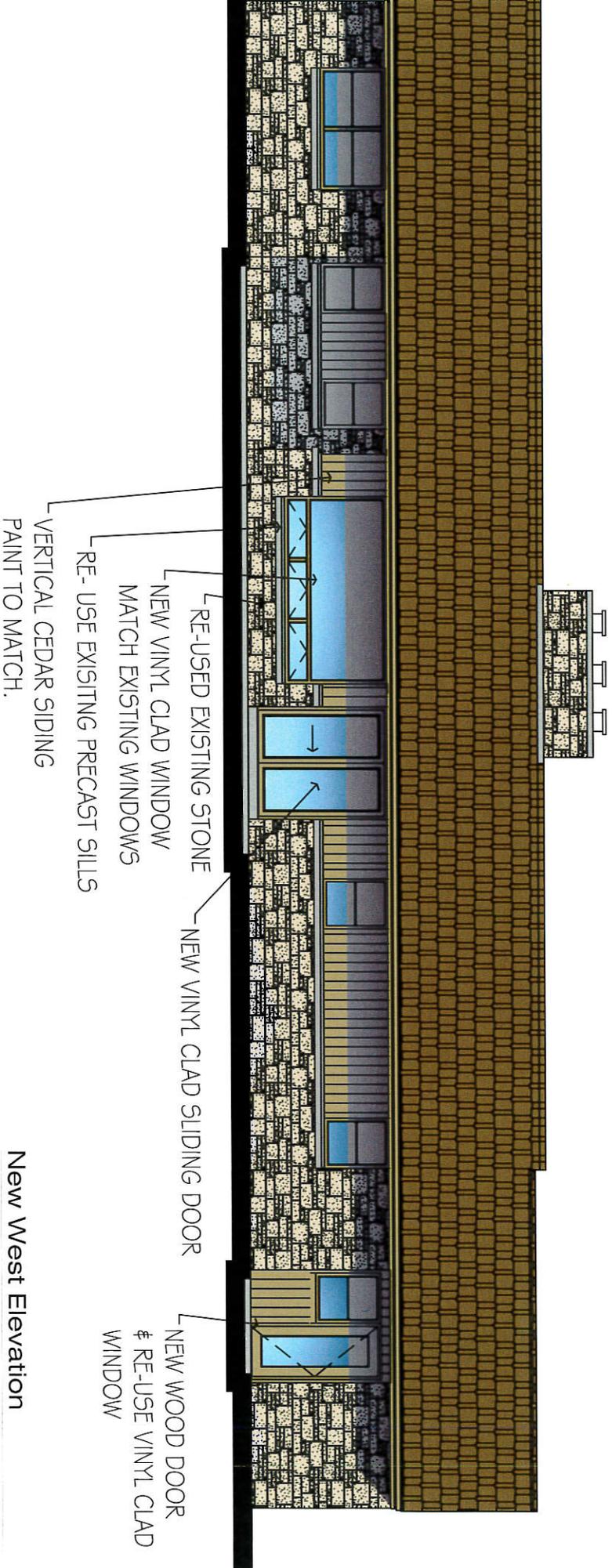
DESIGN & STYLE
ARCHITECTURE
1111 S. 10th Street, Suite 100
Ocala, FL 34471
TEL: 352-237-1111
WWW.DESIGNANDSTYLE.COM

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P.O. BOX 10058
DELAWARE, WI 53018
PHONE: 262-370-3100
FAX: 262-646-9788
ROB@ROBMILLERHOMES.COM
WWW.ROBMILLERHOMES.COM

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
10/1/16	PRELIMINARY	RS	10/1/16	REVISION	RS
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10/1/16	PRELIMINARY	RS	10/1/16	REVISION	RS

RECEIVED
MAR 01 2016
VILLAGE OF ELM GROVE



New West Elevation

1/8"=1'-0"

Todd Residence

1645 Blue Ridge Blvd.
Elm Grove, WI



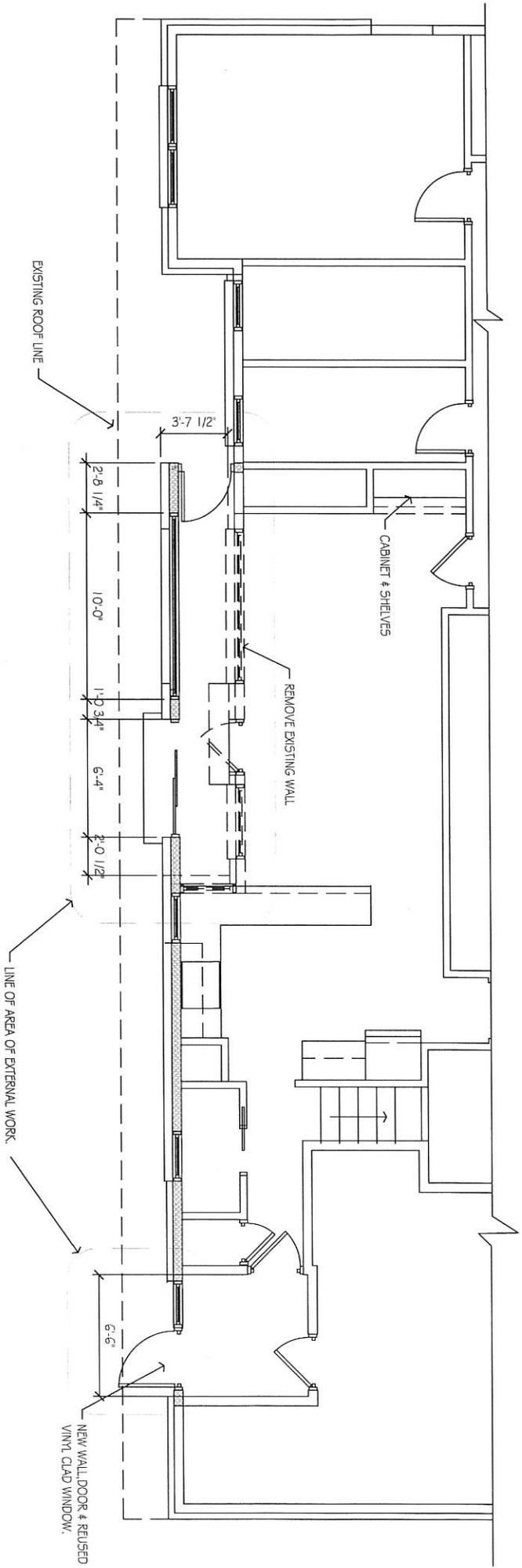
RaposaDesign

ph: 262.751.5221



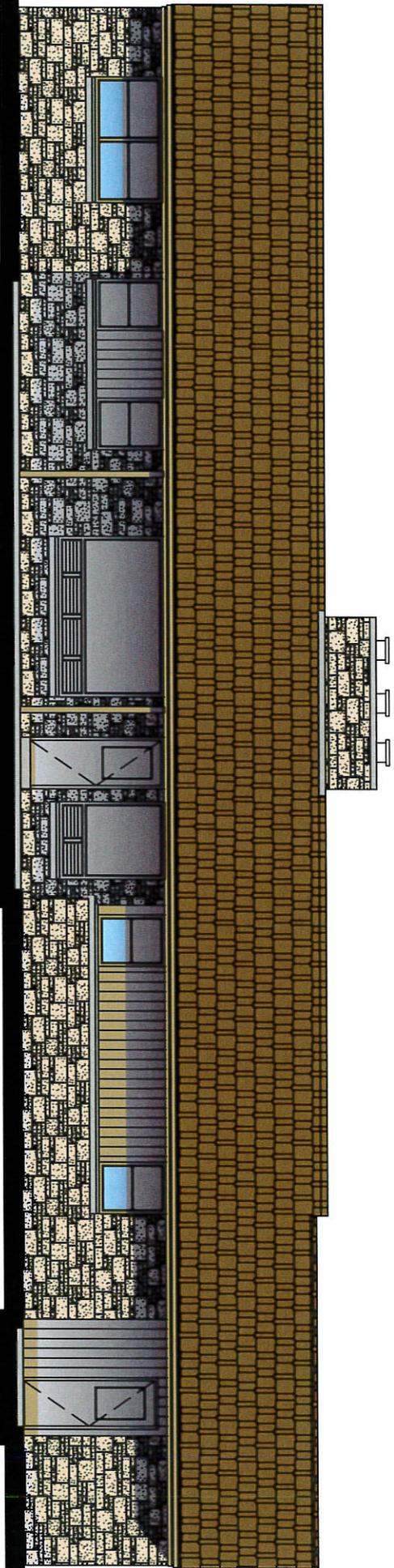
Todd Residence

1645 Blue Ridge Blvd.
Elm Grove, WI



Partial Renovation Plan
1/8" = 1'-0"





Existing West Elevation

1/8" = 1'-0"

Todd Residence

1645 Blue Ridge Blvd.

Elm Grove, WI



RaposaDesign

ph: 262.751.5221





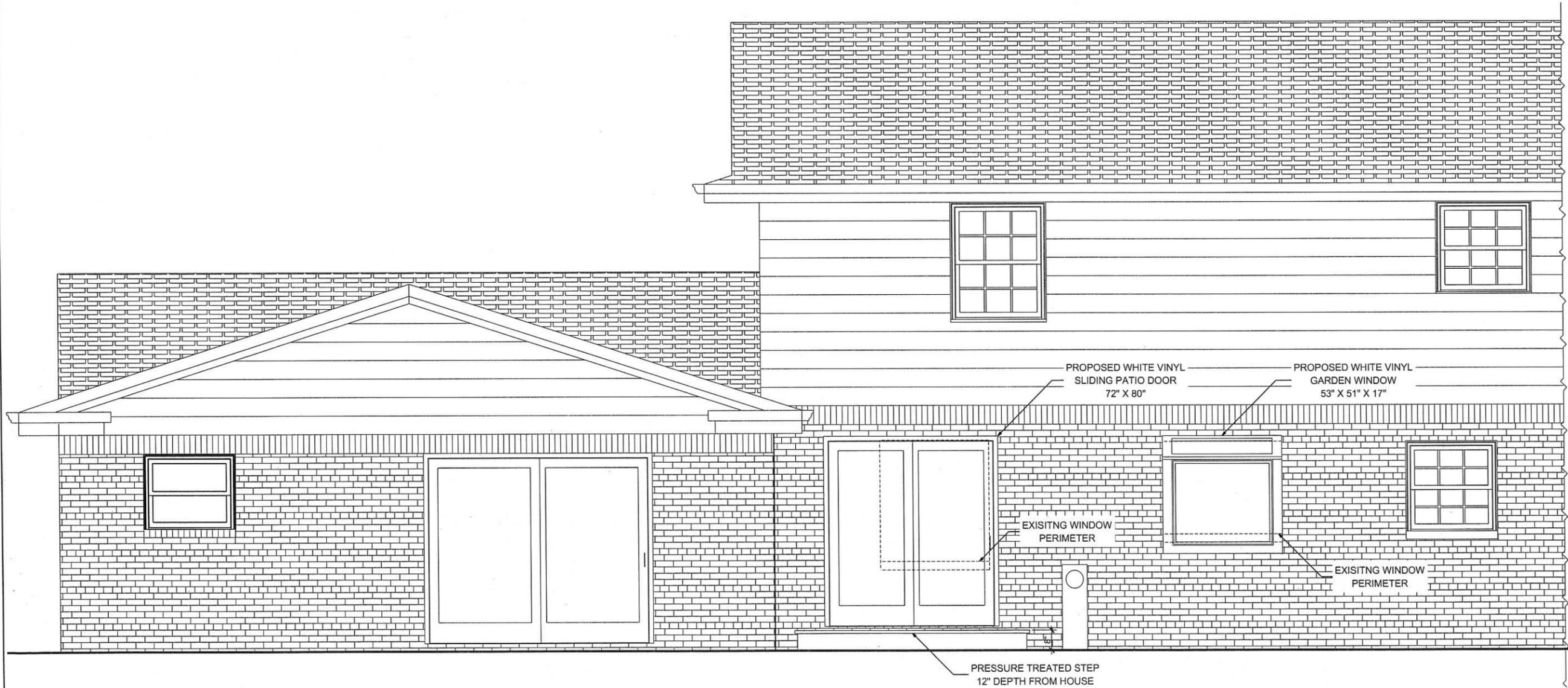


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PUCHNER RESIDENCE

Sarah and Joseph Puchner
13365 Marquette Ave
Elm Grove WI, 53122
262-796-1055



1

PARTIAL SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

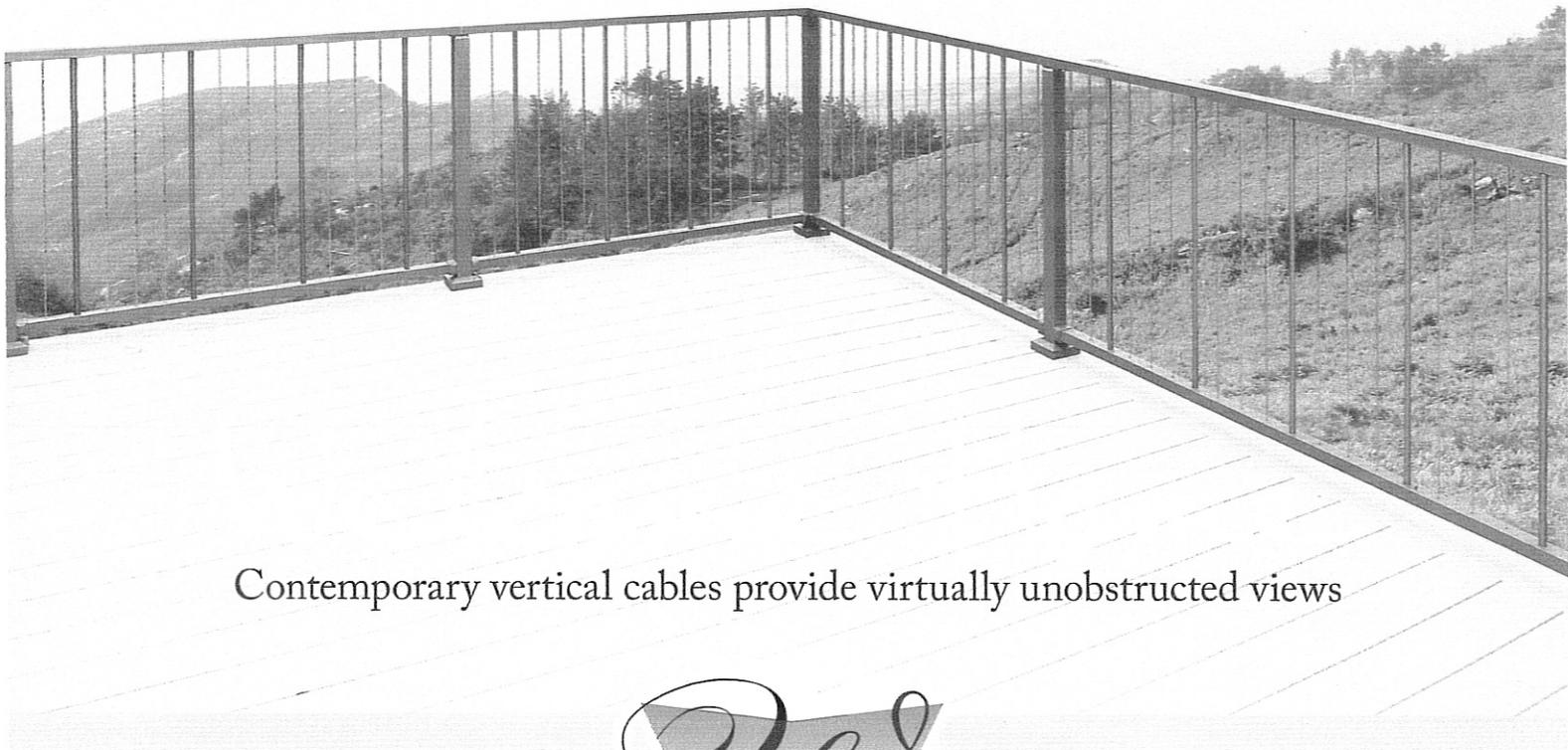
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Revision: 3/2/2016

Scale: As Listed

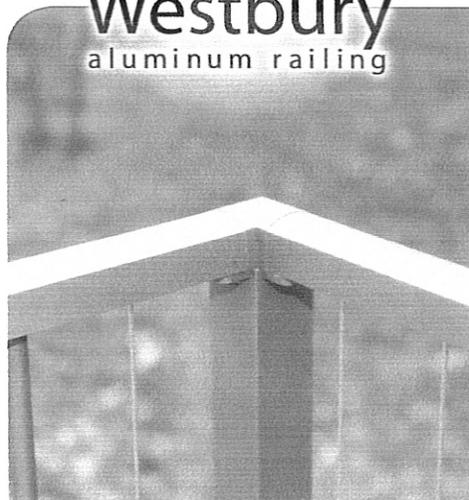
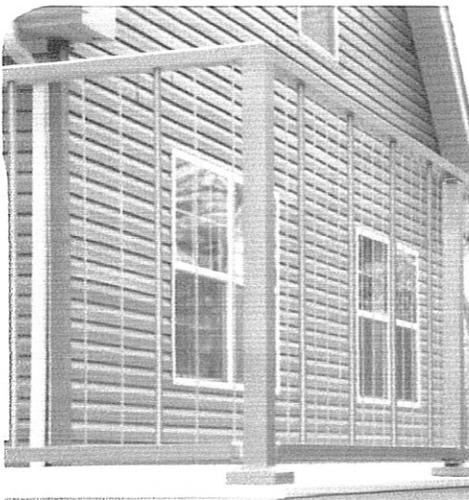
VertiCable™

MADE IN THE U.S.A. 



Contemporary vertical cables provide virtually unobstructed views

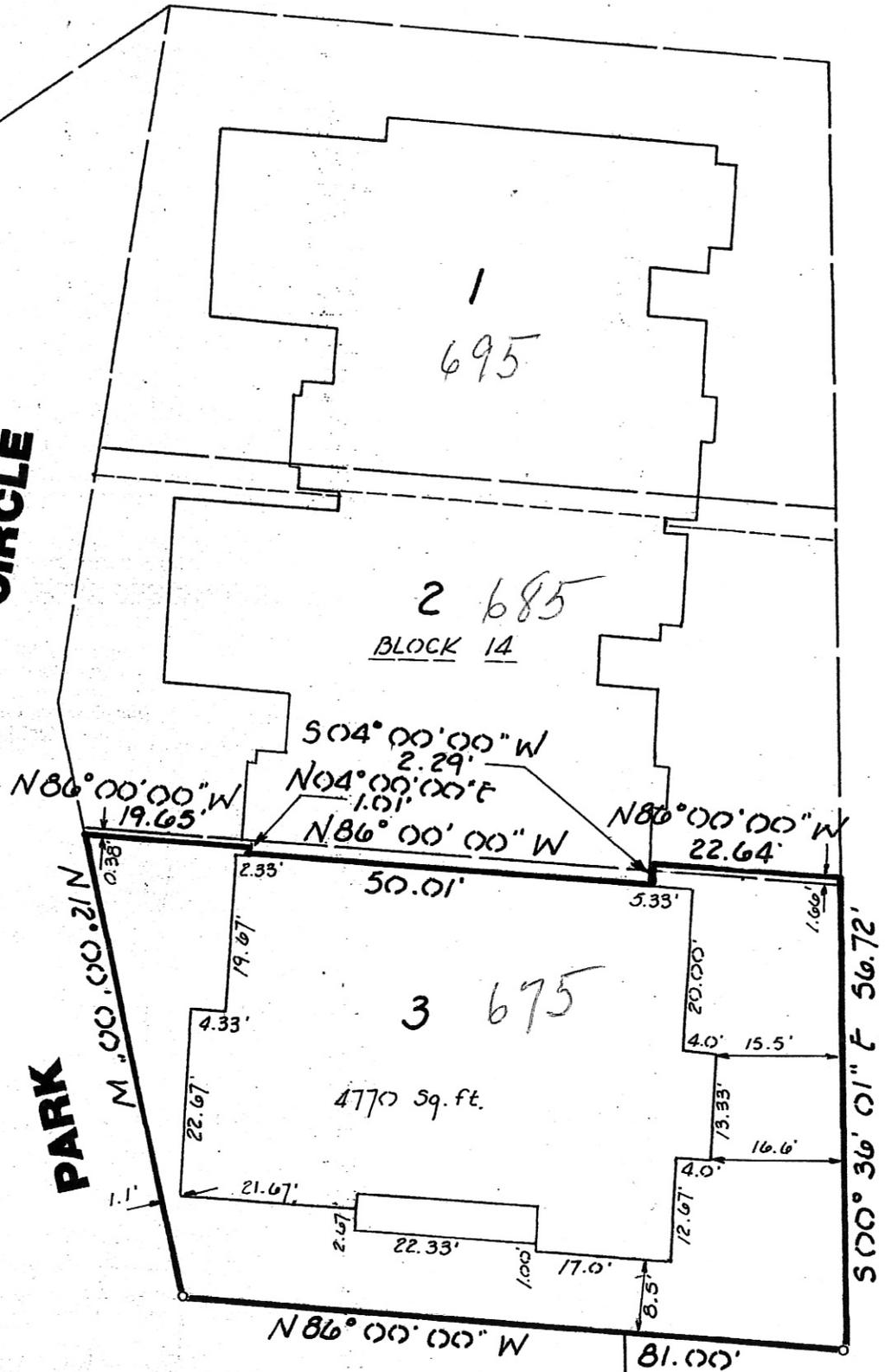
Westbury
Westbury®
aluminum railing



OUTLOT 2
BLOCK 15

CIRCLE

PARK



STATE OF WISCONSIN }
COUNTY OF WAUKESHA } SS

OUTLOT 2
BLOCK 15

OUTLOT 3
BLOCK 15

I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF, AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, AND ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY.

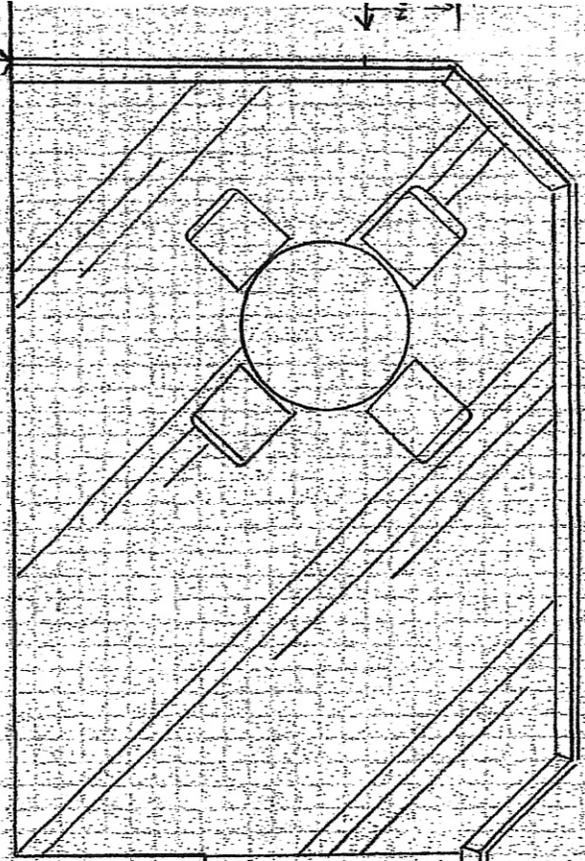
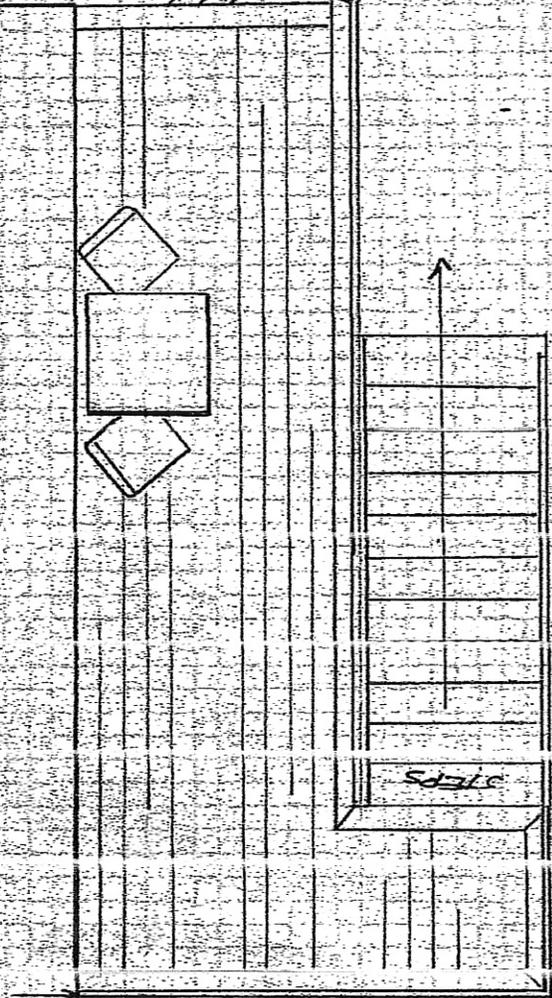
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER(S) OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO, WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED THIS 5 DAY OF APRIL 1990

[Handwritten Signature]
LAND SURVEYOR

DON WITTAKER & MARCIA RICHARDS
 676 PARK CIRCLE
 ELM GROVE, WI 53122

B



* EXPANDED
 * NEW FINISHING

ALL NEW - UPPER DECK 342 SQFT
 STEPS 40 SQFT
 ALUMI RAILS 84 LFT

+ 22,480⁰⁰
 + TAX

* REMOVALS - TBD
 ~ 1200 - 1500

~ equals ~ 1500

1/4" = 1'-0"

THE PRINT & INFORMATION
 CONTAINED HEREIN IS A
 CONFIDENTIAL DISCLOSURE, THE
 SUBJECT MATTER OF WHICH IS
 THE PROPERTY OF
 VALLEY OF VISCONS IN, LLC

Project Overview: Sutherland – 13580 Braemar Dr;

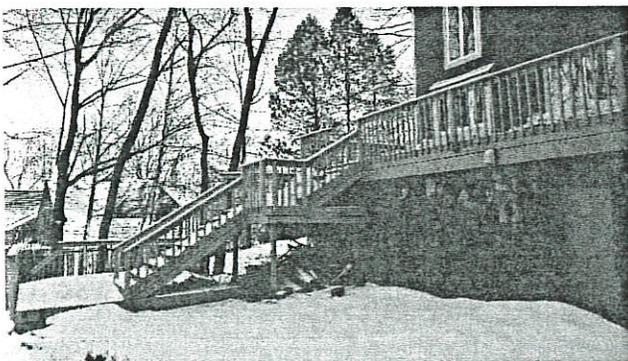
- Remove/Dispose upper and lower existing deck in disrepair
- Rebuild new deck with similar layout to have proper frost footings, 12" diameter, 48" deep with sono tubes
- Install new Framing; 2 x 8 joists with 12" on center spacing, 2 x 8 beams, upper deck to be rested on top of existing rubber roof of attached garage to match existing deck
- Install new Azek PVC deck boards, Azek fascia and Azek vertical skirting to lower deck
- Build (2) custom benches with planter tables to lower deck with Azek material
- Upper deck and stairs to have Westbury Aluminum designer rails – 42" height with maximum 3.5" spacing between balusters
- Project Duration: 5-7 business days. Work to be consecutive days, weather permitting and depending on inspector availability.

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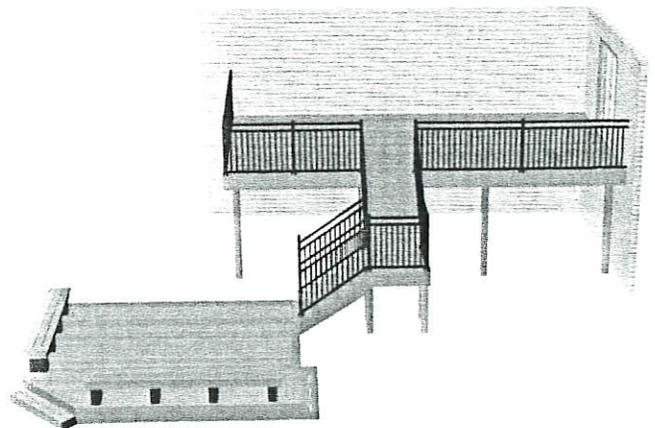
FEB 22 2016

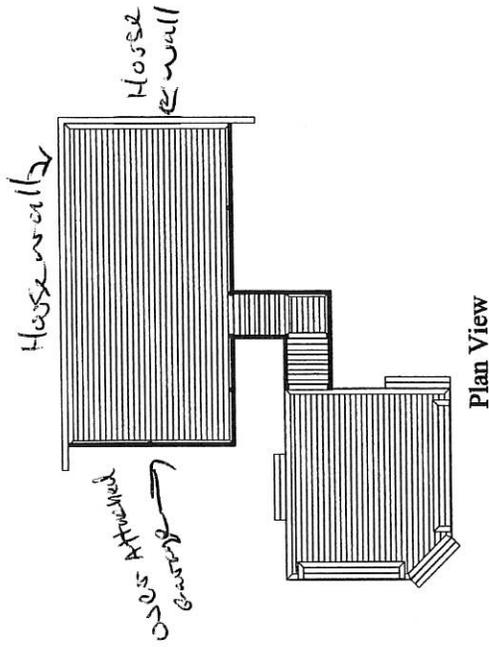
VILLAGE OF ELM GROVE

Current Deck

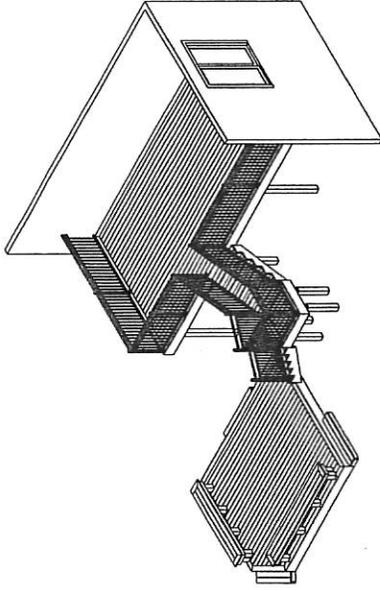


Proposed Deck

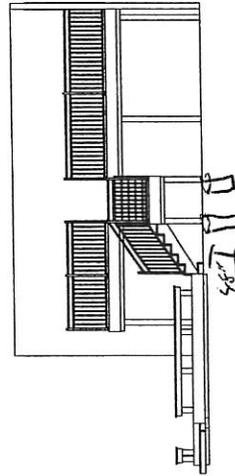




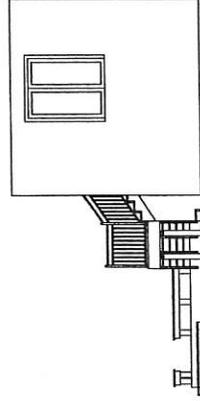
Plan View



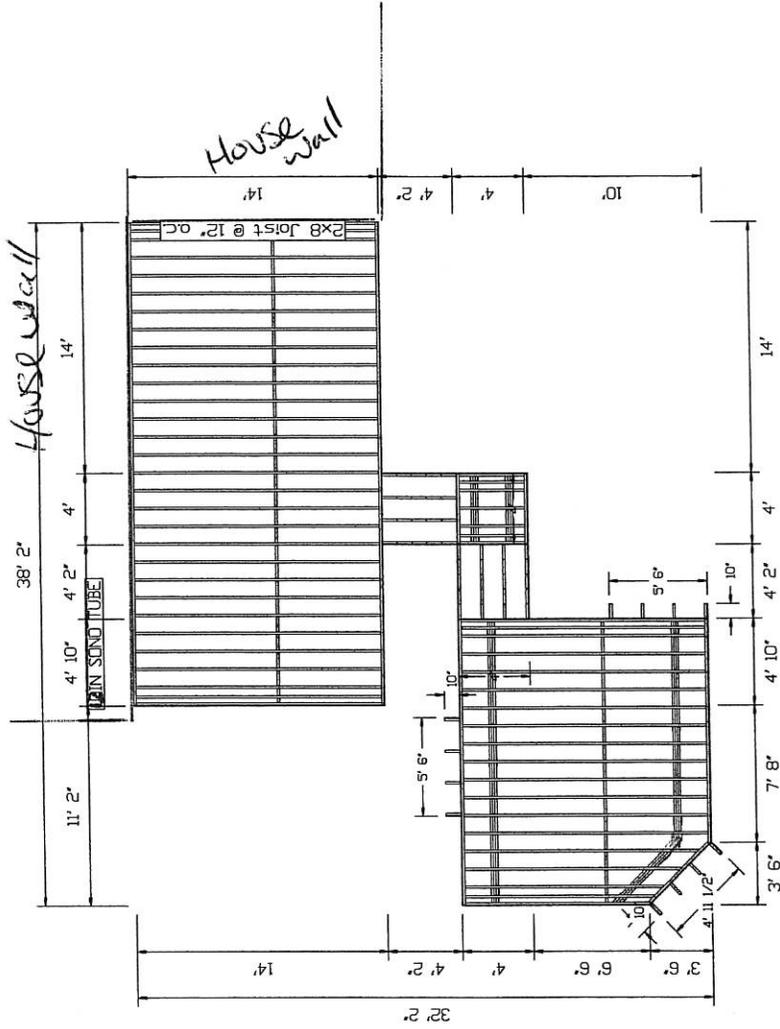
Iso (Front, Right, Top) View



Front Elevation



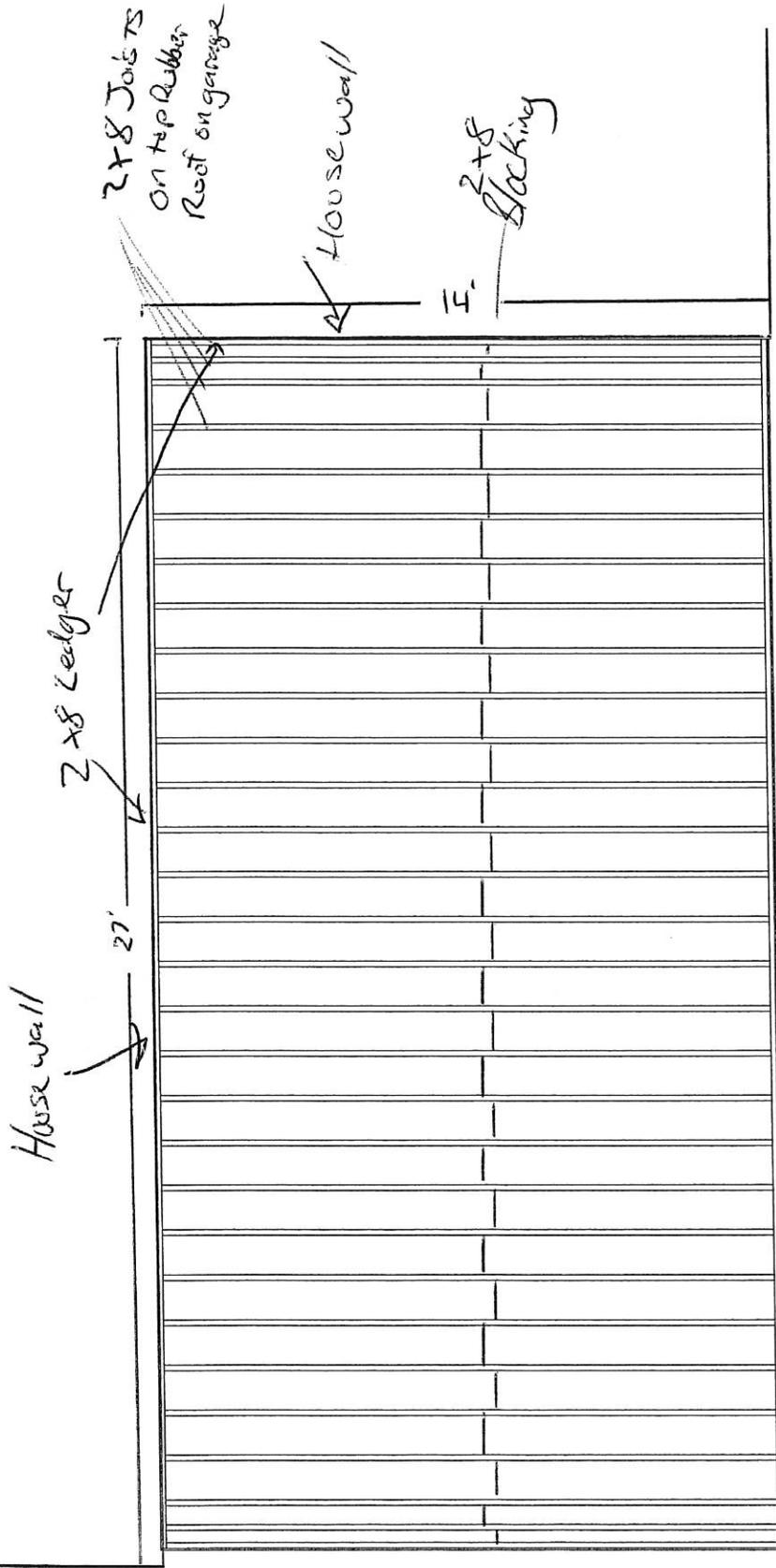
Right View



Kirch Improvements, LLC
 220 Regency Court, Ste L101
 Brookfield, WI
 (414) 940-1037

13580 Braemar Dr
 Elm Grove, WI

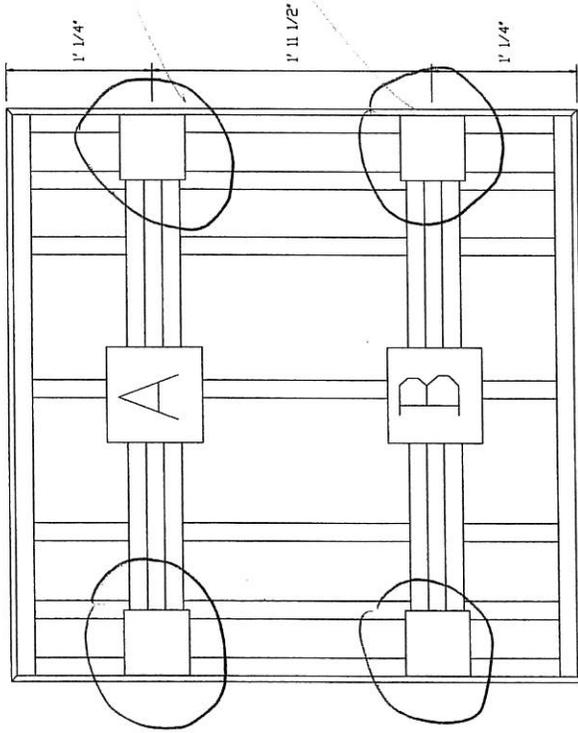
Plan View
 Rob Sutherland
 02/19/16
 Ref: Deck16048
 Scale: 3/32" = 1'



Kirch Improvements, LLC
 220 Regency Court, Ste L101
 Brookfield, WI
 (414) 940-1037

Beam Layout for Level 1
 Rob Sutherland
 02/19/16
 Ref: Deck16048
 Scale: 1/4" = 1'

13580 Graeme Dr
 Oak Grove, WI



12" Sono Tubes
48" Deep

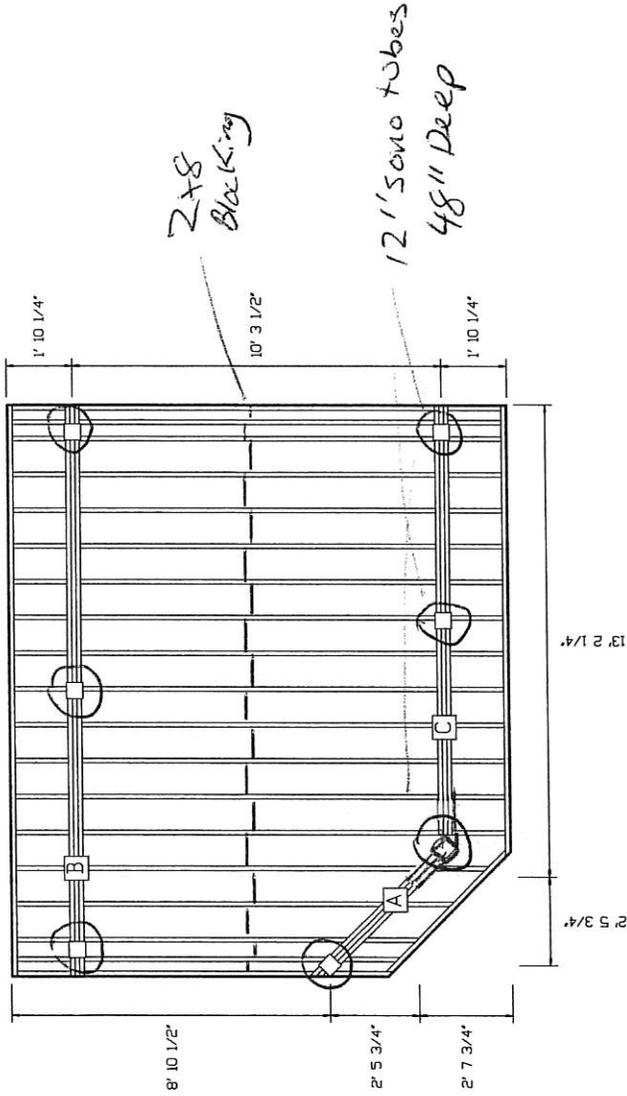
BEAM LABEL	BEAM LENGTH	POST COUNT	POST SPACING
A	3' 0"	2	3' 6 1/2"
B	3' 0"	2	3' 6 1/2"

Post spacing is measured center-to-center.

Depth of concrete footers --- 48" Deep

Beam Layout for Level 2
 Rob Sutherland 13560 Braemar Dr
 02/19/16 Elm Grove, WI
 Ref: Deck16048
 Scale: 3/4" = 1'

Kirch Improvements, LLC
 220 Regency Court, Ste L101
 Brookfield, WI
 (414) 940-1037



2x8
Black King

12' Somo tubes
48" Deep

BEAM LABEL	BEAM LENGTH	POST COUNT	POST SPACING
A	4' 8 1/2"	2	3' 6"
B	15' 11"	3	7' 2 3/4"
C	11' 3/4"	3	5' 3 1/4"

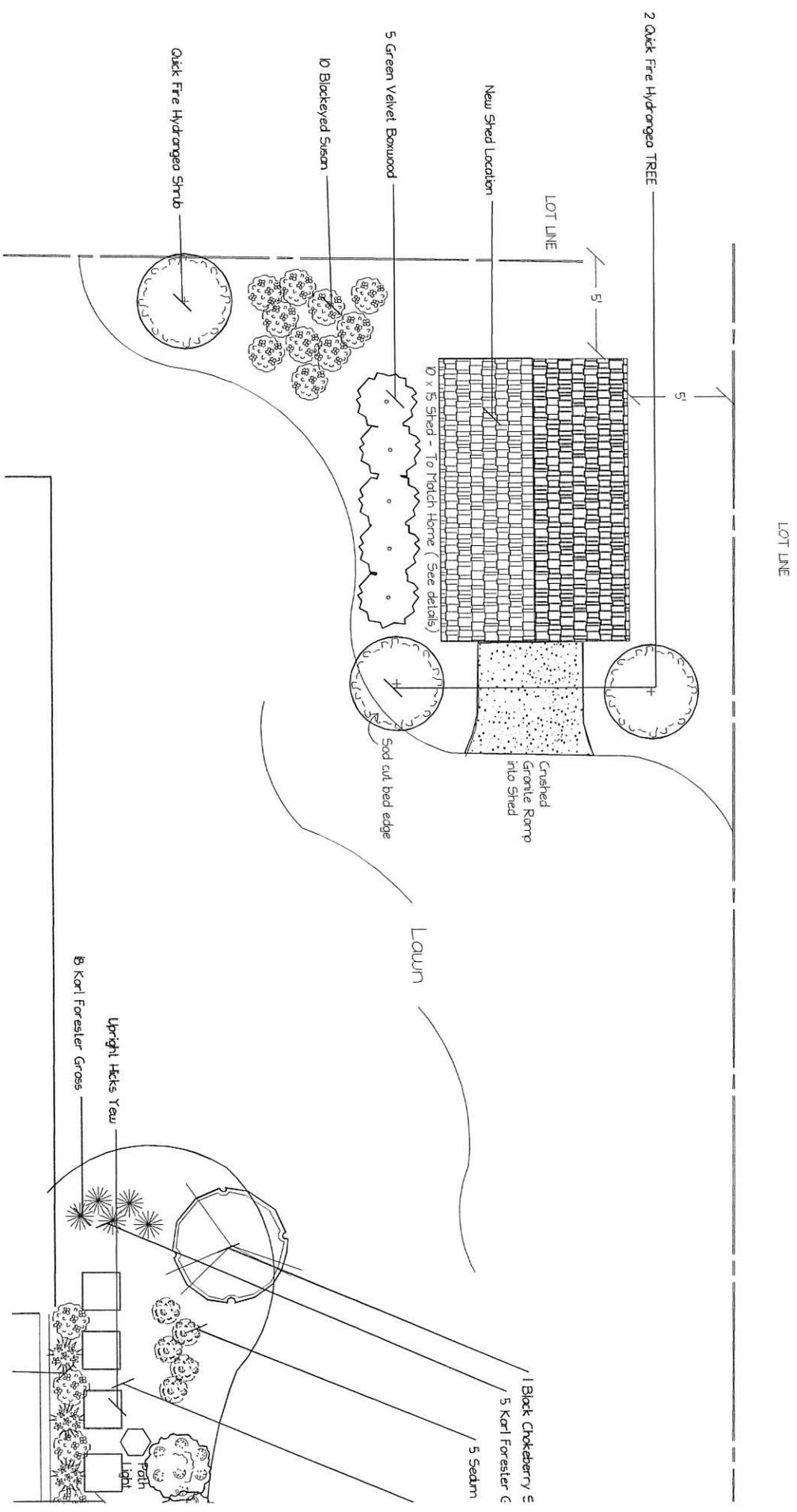
6x6
Post spacing is measured center-to-center.
Depth of concrete footers --- 48"

Kirch Improvements, LLC
220 Regency Court, Ste L101
Brookfield, WI
(414) 940-1037

Beam Layout for Level 3
Rob Sutherland
02/19/16
Ref: Deck16048
Scale: 3/16" = 1'

13580 Braemar Dr
Evan Grodzki WI

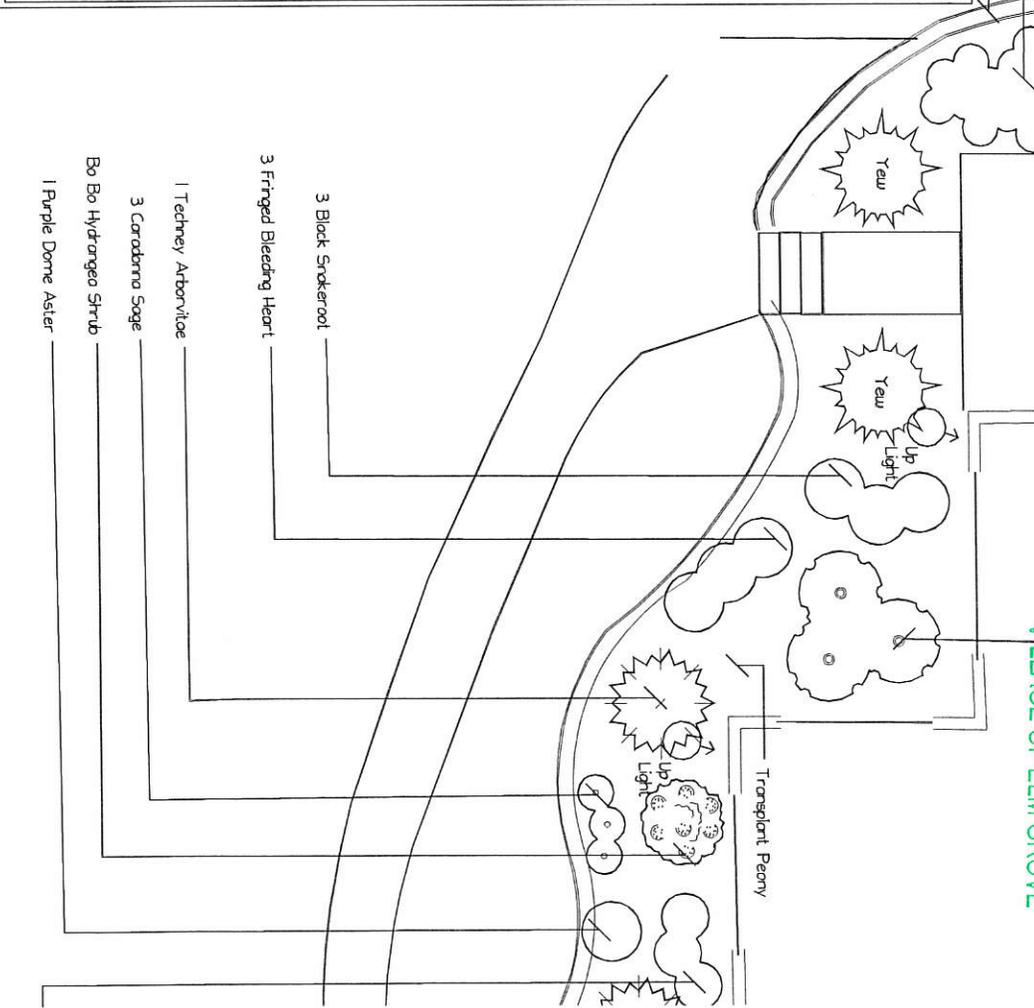
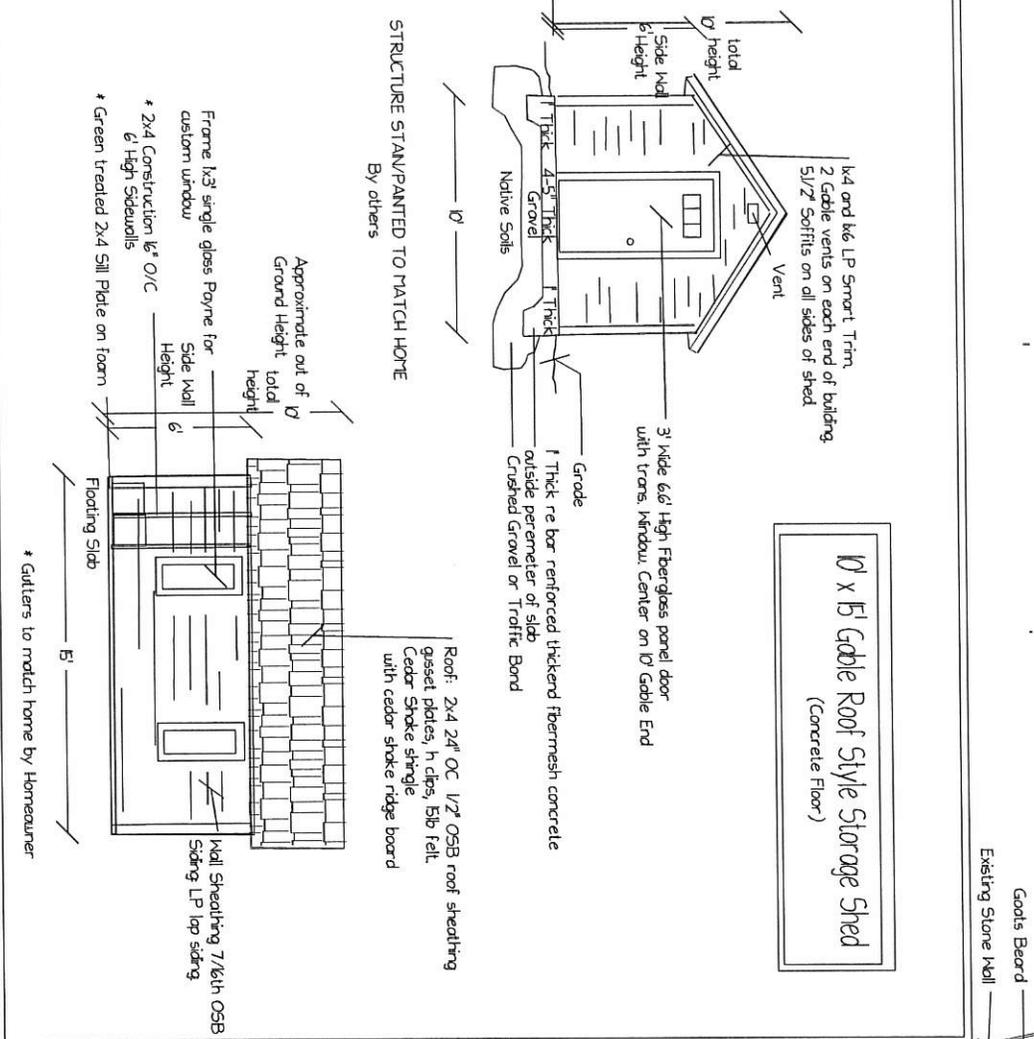
RECEIVED
MAR 10 2016
VILLAGE OF ELM GROVE



RECEIVED

FEB 29 2016

VILLAGE OF ELM GROVE



* Galters to match home by Homeowner

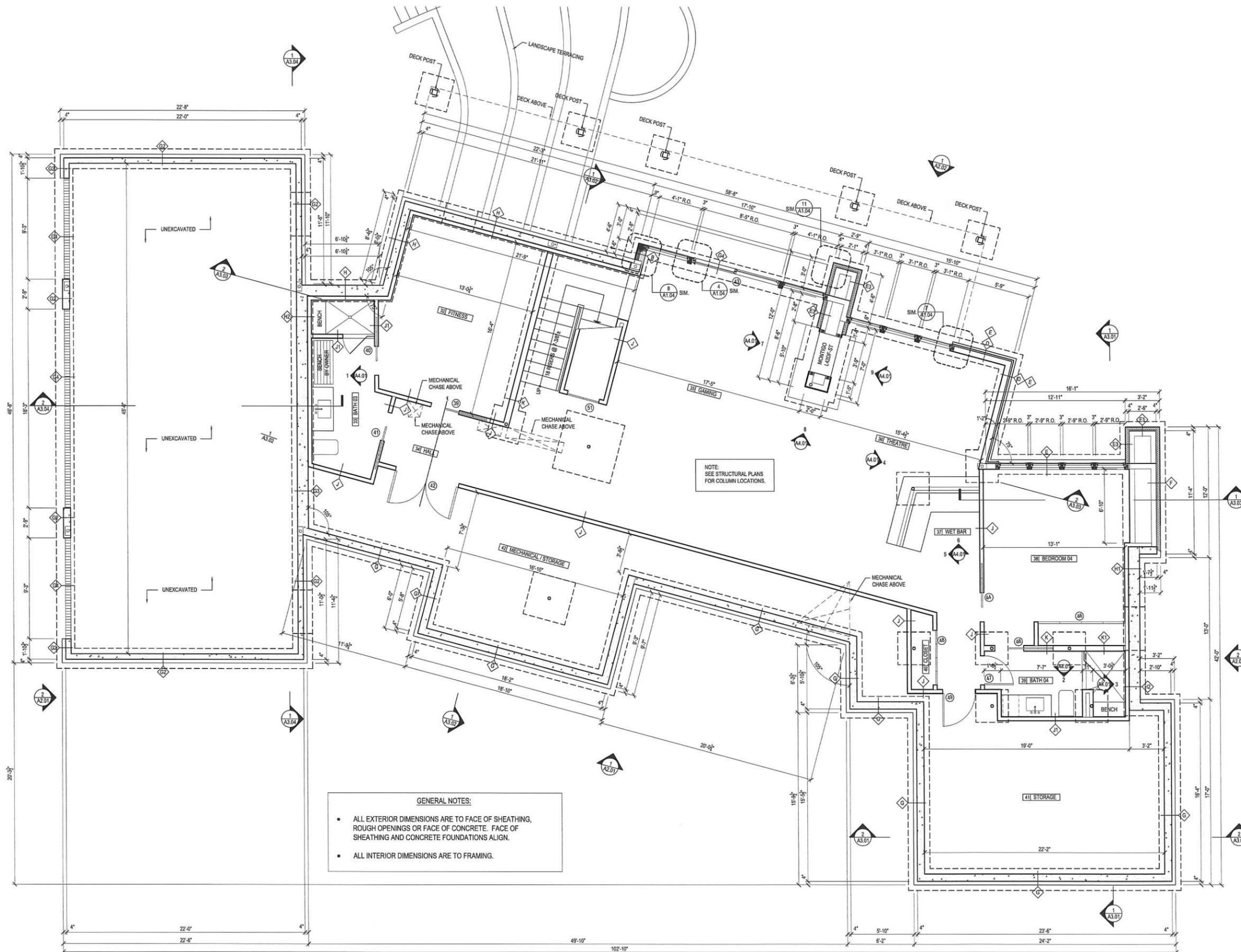
FINISH AND FIXTURE SCHEDULE						
ROOM # - LOCATION	ITEM / SURFACE	MANUFACTURER	PRODUCT / MODEL / NUMBER	COLOR	SOURCE	NOTES
01 - ENTRY	FLOOR	CROSSVILLE	PORC, SHADES, 24x12, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
02 - GUEST BEDROOM	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
03 - CLOSET	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
04 - GUEST BATH	FLOOR	CROSSVILLE	PORC, SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINK	KOHLER	VERTICYL, K-2882	WHITE		UNDERMOUNT
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	MILLWORK		SATIN PAINTED, FLUSH	WHITE		
	SHOWER	KOHLER	HYDRORAIL-R, K-45211-CP	P CHROME		
	WALL TILE	CROSSVILLE	SHADES, 6x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
05 - LIVING	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
06 - DINING	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
07 - KITCHEN	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	SINK	KOHLER	STRIVE, K-5281-NA	SS		UNDERMOUNT
	FAUCET	GROHE	CONCETTO, 3265001	DC1		SINGLE HOLE IN COUNTERTOP
	PREP SINK	KOHLER	STRIVE, K-5286-NA	SS		UNDERMOUNT
	FAUCET	GROHE	CONCETTO, 3265001	DC1		SINGLE HOLE IN COUNTERTOP
	MILLWORK		SATIN PAINTED, FLUSH	WHITE		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	RANGE / OVEN	THERMADOR	PRO HARMONY - PRD486GDHU			PROFESSIONAL SERIES
	REFRIGERATOR	SUB ZERO	B1-42UFDIO, FRENCH DOOR			
	DISHWASHER	BOSCH	SHXN8USUC			
U.C. FRIDGE	SUB ZERO	UC24R				
WARMING DRWR	WOLF	WWD03				
MICROWAVE	WOLF	M SERIES - MDD39PM/SPH				
08 - PANTRY	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	SHELVES		WIRE RACK SYSTEM	WHITE		ADJUSTABLE SHELVES
09 - FAMILY	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
10 - OFFICE 01	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
11 - MUDROOM / MAIL	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
12 - LAUNDRY	FLOOR	CROSSVILLE	PORC, SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	UTILITY SINK	STERLING				UNDERMOUNT
	FAUCET					
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	WALL TILE	CROSSVILLE	PORC, SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
HAND SHOWER	KOHLER	SHIFT, K-45203-GR-CP	P CHROME			
13 - HALF BATH	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINK	KOHLER	REVE, K-5148-1-0			
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
14 - DEN	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
15 - GARAGE	FLOOR	CONCRETE				
	PAINT	BENJAMIN MOORE		TBD		
16 - TERRACE	FLOOR	IFE	1" x 6", CONCEALED FASTENERS			
18 - PATIO	FLOOR	T.B.D.				T.B.D. PER LANDSCAPING
20 - HALL	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
21 - MASTER BEDROOM	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
22 - MASTER BATH	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINKS	KOHLER	VERTICYL, K-2882	WHITE		
	FAUCETS	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	TUB	KOHLER	UNDERSCORE, K-1174-H2-0	WHITE		
	TUB FILLER	KOHLER	STANCE, K-14774-4-CP			
	HAND SHOWER	KOHLER	SHIFT, K-45203-GR-CP	P CHROME		
	SHOWER	KOHLER	HYDRORAIL-R, K-45211-CP	P CHROME		
WALL TILE	CROSSVILLE	SHADES, 6x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN	
MILLWORK - LINEN		SATIN PAINTED FLUSH	WHITE			
23 - MASTER CLOSET	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK		SATIN PAINTED, FLUSH	WHITE		

NOTE: GENERAL CONTRACTOR TO CONFIRM ALL SELECTIONS, ACCESSORIES, AND QUANTITIES PRIOR TO ORDERING

FINISH AND FIXTURE SCHEDULE (CONT.)						
ROOM # - LOCATION	ITEM / SURFACE	MANUFACTURER	PRODUCT / MODEL / NUMBER	COLOR	SOURCE	NOTES
24 - OFFICE	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK		SATIN PAINTED FLUSH	GREY		
25 - BATH 01	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINK	KOHLER	VERTICYL, K-2882	WHITE		
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	MILLWORK	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	TUB	MAAX	RUBIX, 6632	WHITE		
	FILLERSHOWER	KOHLER	HONESTY, K-T99763-4-CP	P CHROME		
	WALL TILE	CROSSVILLE	SHADES, 6x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
26 - BEDROOM 01	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
27 - CLOSET	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK			WHITE		
28 - CLOSET	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK			WHITE		
29 - BEDROOM 02	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
30 - BATH 02	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		QUANTITY (2)
	LAV SINK	KOHLER	VERTICYL, K-2882	WHITE		QUANTITY (2)
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		QUANTITY (2)
	MILLWORK		SATIN PAINTED FLUSH	WHITE		QUANTITY (2)
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	TUB	MAAX	RUBIX, 6632	WHITE		
	FILLERSHOWER	KOHLER	HONESTY, K-T99763-4-CP	P CHROME		
	WALL TILE	CROSSVILLE	SHADES, 6x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
31 - BEDROOM 03	FLOOR		3/4" x 3/4" WHITE OAK	TBD		STAINED TO MATCH ARCHITECT'S SAMPLE
	PAINT	BENJAMIN MOORE		TBD		
32 - FITNESS	FLOOR		RUBBER			
	PAINT	BENJAMIN MOORE		TBD		
33 - BATH 03	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINK	KOHLER	REVE, K-5150-1-0	WHITE		
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
34 - HALL	FLOOR		CARPET			
	PAINT	BENJAMIN MOORE		TBD		
35 - GAMING	FLOOR		CARPET			
	PAINT	BENJAMIN MOORE		TBD		
36 - THEATRE	FLOOR		CARPET			
	PAINT	BENJAMIN MOORE		TBD		
37 - WET BAR	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	SINK	KOHLER	STRIVE, K-5286-NA	SS		
	FAUCET	GROHE	CONCETTO, 3265001	DC1		
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	T.B.D.					
38 - BEDROOM 04	FLOOR		CARPET			
	PAINT	BENJAMIN MOORE		TBD		
39 - BATH 04	FLOOR	CROSSVILLE	SHADES, 12x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN
	PAINT	BENJAMIN MOORE		TBD		
	WATER CLOSET	TOTO	ECO ULTRAMAX, MS854114EGR01	WHITE		
	LAV SINK	KOHLER	VERTICYL, K-2882	WHITE		
	FAUCET	KOHLER	HONESTY, K-99760-4-CP	P CHROME		
	COUNTERTOP	CAESARSTONE	QUARTZ	319 ALPINE MIST		CONFIRM ALL SELECTIONS, TYPICAL
	MILLWORK		SATIN PAINTED FLUSH	WHITE		
	SHOWER	KOHLER	HYDRORAIL-R, K-45211-CP	P CHROME		
WALL TILE	CROSSVILLE	SHADES, 6x24, HONED	THUNDER	CHILDCREST	SEE DRAWINGS FOR PATTERN	
40 - CLOSET	FLOOR		CARPET			
	PAINT	BENJAMIN MOORE		TBD		
	MILLWORK			WHITE		
41 - STORAGE	FLOOR	CONCRETE				
	PAINT	BENJAMIN MOORE		TBD		
42 - MECH / STORAGE	FLOOR	CONCRETE				
	PAINT	BENJAMIN MOORE		TBD		
MISC.	FIREPLACE	MONTIGO	L42DF-ST (2 SIDED SEE THROUGH)			LOWER LEVEL THEATER
	FIREPLACE	MONTIGO	L42DF-ST (2 SIDED SEE THROUGH)			MAIN LEVEL FAMILY ROOM
	FIREPLACE	MONTIGO	L42DF			MAIN LEVEL LIVING ROOM
	FIREPLACE	MONTIGO	L38DF			SECOND LEVEL MASTER BATH

NOTE: GENERAL CONTRACTOR TO CONFIRM ALL SELECTIONS, ACCESSORIES, AND QUANTITIES PRIOR TO ORDERING

NOT PERMIT & BID SET
CONSTRUCTION



REVISION HISTORY

DATE: 02.26.2016
BASEMENT FLOOR PLAN

A1.00
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1 BASEMENT FLOOR PLAN



NOT PERMIT & BID SET SECTION

STRUCTURAL NOTES

GENERAL

1. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE "WISCONSIN UNIFORM DWELLING CODE".
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
3. OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

DESIGN LOADS

- FLOOR LIVE LOADS:**
1. ALL AREAS: 40 PSF
- FLOOR DEAD LOADS:**
1. ALL AREAS: TC = 10 PSF
BC = 5 PSF
- LIMITING FLOOR DEFLECTIONS:**
1. ALL AREAS: LIVE LOAD: L/600
TOTAL LOAD: L/480
- SNOW LOADS:**
1. FLAT ROOF SNOW LOAD P: 30 PSF

FOUNDATIONS

1. FOUNDATION WORK FOR THIS PROJECT SHALL CONSIST OF SPREAD FOOTINGS, CONTINUOUS WALL FOOTINGS, AND SLABS-ON-GRADE.
2. FOUNDATIONS ARE DESIGNED TO BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR APPROVED COMPACTED STRUCTURAL FILL HAVING A PRESUMED MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF.
3. ALL EXTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
4. FOOTING ELEVATIONS SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
6. CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE WATER PROMPTLY TO INSURE THAT ALL FOUNDATION WORK IS DONE IN THE DRY.
7. NO FOUNDATIONS SHALL BE PLACED ON FROZEN SUBGRADE.
8. PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.
9. FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT STRUCTURAL SUPPORT SYSTEM IS INSTALLED AND APPROVED BY ENGINEER.
10. BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF WALL.

CONCRETE

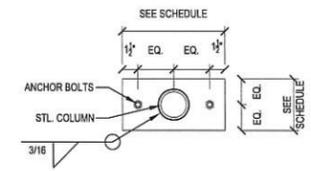
1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:
ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
ACI MCP - "MANUAL OF CONCRETE PRACTICE"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
ACI 318.1 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE"
2. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS:
SLABS-ON-GRADE 4,000 PSI
FOOTINGS AND WALLS 3,000 PSI
EXTERIOR EXPOSED CONCRETE 4,000 PSI
3. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.
4. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.
5. PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.

REINFORCEMENT

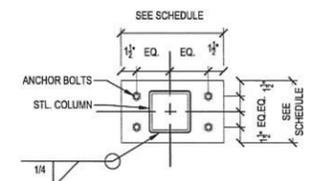
1. DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:
ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
MSP2 - "CRSI MANUAL OF STANDARD PRACTICE"
AWS D1.4 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"
WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"
2. STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
3. CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM; ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING, UNLESS SHOWN OTHERWISE ON DRAWINGS.
4. CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.
5. WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.
6. WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.

STRUCTURAL WOOD CONSTRUCTION

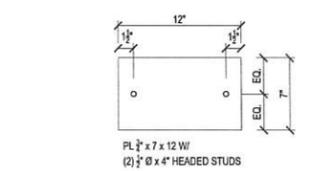
1. WOOD MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
• NFPA - "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION"
• NFPA - "DESIGN VALUES FOR WOOD CONSTRUCTION"
• AITC - "TIMBER CONSTRUCTION MANUAL, PART II, DESIGN SPECIFICATIONS"
• APA - "U.S. PRODUCT STANDARD PS 1-83 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD"
2. STRUCTURAL WOOD SHALL BE VISUALLY GRADED IN ACCORDANCE WITH ASTM D1990-96A OR ASTM D245. WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY A RECOGNIZED INSPECTION AGENCY.
3. ALL WOOD SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15% PRIOR TO INSTALLATION.
4. NEW WOOD SHALL BE SPF #1/#2 OR BETTER UNLESS NOTED OR DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
5. JOISTS SHALL BE BRIDGED WITH 1 X 3 CROSS BRIDGING, OR EQUAL, AT INTERVALS NOT EXCEEDING 8'-0".
6. ALL JOISTS AND RAFTERS SHALL BE SUPPORTED BY DIRECT END BEARING ON WALLS, BEAMS, OR JOIST HANGERS.
7. ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH EXTERIOR CONCRETE, OR IN CONTACT WITH THE GROUND SHALL HAVE A PRESERVATIVE TREATMENT EQUAL TO 0.4 P.C.F. RETENTION OF PRESSURE INJECTED PRESERVATIVE.
8. NO WOOD MEMBER SHALL BE CUT, NOTCHED, OR DRILLED WITHOUT THE SPECIFIC, WRITTEN APPROVAL OF THE ENGINEER.
9. DO NOT EMBED WOOD MEMBERS IN CONCRETE.
10. PLYWOOD (OSB) SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER ALL JOINTS.
11. PLYWOOD (OSB) SHALL BE CAPABLE OF SUPPORTING DESIGN LOADS AT REQUIRED SUPPORT SPACING AND BEAR APPROPRIATE GRADING STAMP FROM AMERICAN PLYWOOD ASSOCIATION.
12. PLYWOOD (OSB) ROOF SHEATHING SHALL BE FASTENED TO SUPPORTS WITH 10d NAILS SPACED AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS IN "FIELD" OF PANELS. (UNLESS NOTED OTHERWISE ON PLANS). NAILS SHALL BE RINGED SHANK OR SPIRAL SHANK.
13. USE COMMON WIRE NAILS UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307. USE STEEL WASHER BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHER BETWEEN NUT AND WOOD.
15. ALL FASTENERS USED FOR PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL. STAINLESS STEEL IS PREFERRED.
16. JOIST HANGER FASTENERS MUST BE AS SUPPLIED AND/OR REQUIRED BY THE JOIST HANGER MANUFACTURER. ALL HANGERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR SIMPSON 'ZMAX' CONNECTORS.
17. (OSB) WEB, WOOD COMPOSITE JOISTS SHALL CONFORM TO TRUS JOIST CORPORATION TJI JOIST SPECIFICATIONS, OR EQUAL.
18. LAMINATED VENEER LUMBER (LVL) BEAMS SHALL CONFORM TO TRUS JOIST CORPORATION MICROLAM 1.9E LVL SPECIFICATIONS, OR EQUAL.



8 TYPICAL STEEL BASE PLATE: BP1 1/2"=1'-0"



7 TYPICAL STEEL BASE PLATE: BP2 1/2"=1'-0"

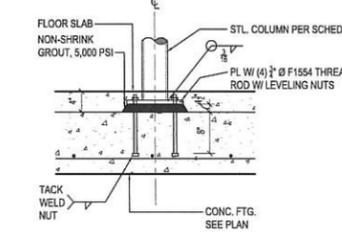


6 TYPICAL BEARING PLATE: BP3 1/2"=1'-0"

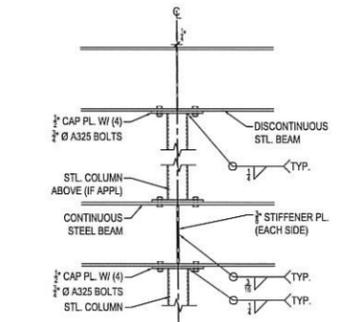
BASE PLATE NOTES

COLUMNS BEARING ON FOUNDATION WALL:
1. 3" PIPE - 10'x 6'x 1/2" BASE PLATE W/ (2) 1/2" Ø ANCHOR BOLTS
2. 3" PIPE - 9'x 6'x 1" BASE PLATE W/ (2) 1/2" Ø ANCHOR BOLTS

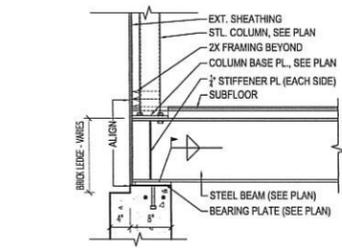
COLUMNS BEARING ON ISOLATED FOOTING / PIER:
1. 3" PIPE - 9'x 6'x 1/2" BASE PLATE W/ (4) 1/2" Ø ANCHOR BOLTS
2. 4" PIPE - 10'x 10'x 1" BASE PLATE W/ (4) 1/2" Ø ANCHOR BOLTS
3. HSS 4 x 4 x 1/4 OR 4 x 4 x 1/2 - 10'x 10'x 1" BASE PLATE (2" ECCENTRICITY) W/ (4) 1/2" Ø ANCHOR BOLTS



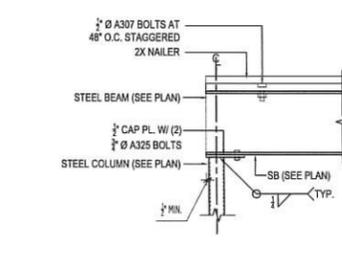
5 COLUMN FOOTING - STL. COLUMN, TYP. 1/2"=1'-0"



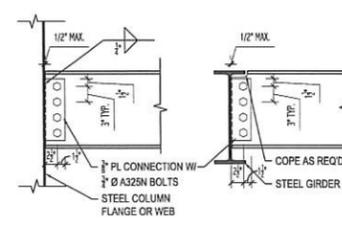
4 SINGLE PLATE BEAM TO COLUMN CONNECTION, TYP. 1/2"=1'-0"



3 STEEL BEAM TO FDN WALL CONNECTION @ COLUMN 1/2"=1'-0"



2 SINGLE PLATE BEAM (END) TO COLUMN CONNECTION, TYP. 1/2"=1'-0"



1 SINGLE PLATE BEAM TO BEAM CONNECTION, TYP. 1/2"=1'-0"

BEAM SIZE	# OF BOLTS A325-N
W8, W10	2
W12, W14	3
W16	4
W18	5
W21, W24	6
W27, W30	7
W33, W36	8

- NOTES:**
1. ALL FRAMING CONNECTIONS TO CONFORM TO SCHEDULE ABOVE UNLESS DETAILED OTHERWISE ON PLANS.
 2. L_{eh} = 1/2" Lev = 1/2" MINIMUM ANGLES AND BEAM.
 3. PROVIDE STANDARD OR SHORT-SLOTTED HOLES IN PLATE.

REVISION HISTORY

NO.	DATE	DESCRIPTION

DATE: 02.26.2016
STRUCTURAL NOTES / SCHEDULES

S1.00

A New Project for:

The Kolbe Family
1310 Victoria Circle South
Elm Grove, WI 53122



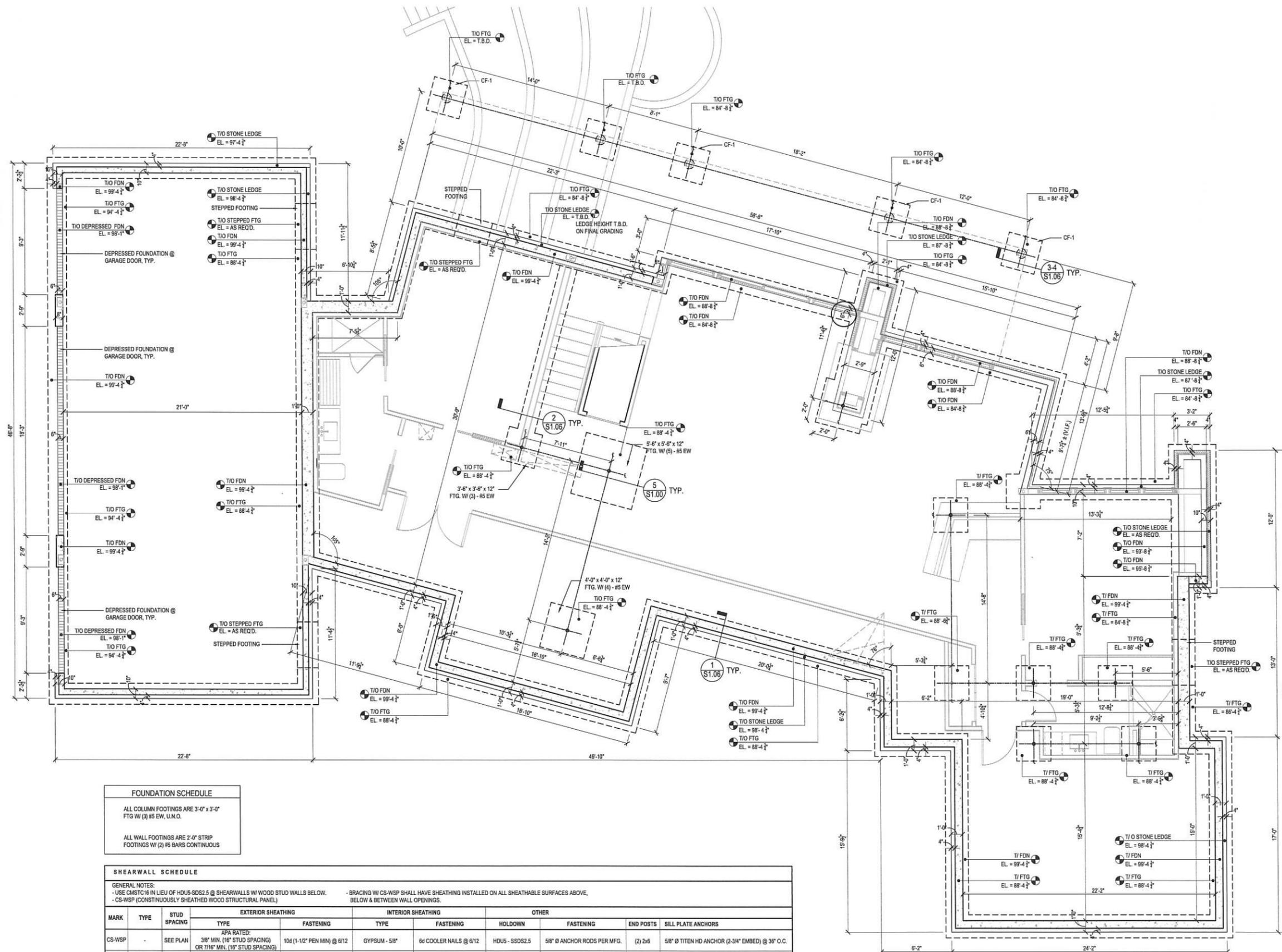
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REVISION HISTORY

DATE: 02.26.2016

BASEMENT, FOOTING &
FOUNDATION PLAN

S1.01



FOUNDATION SCHEDULE	
ALL COLUMN FOOTINGS ARE 3'-0" x 3'-0" FTG W (3) #5 EW, U.N.O.	
ALL WALL FOOTINGS ARE 2'-0" STRIP FOOTINGS W (2) #5 BARS CONTINUOUS	

SHEARWALL SCHEDULE											
GENERAL NOTES: - USE CMSTC16 IN LIEU OF HDUS-SSD2.5 @ SHEARWALLS W WOOD STUD WALLS BELOW. - BRACING W/ CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW & BETWEEN WALL OPENINGS. - CS-WSP (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)											
MARK	TYPE	STUD SPACING	EXTERIOR SHEATHING	FASTENING	INTERIOR SHEATHING	FASTENING	OTHER	FASTENING	END POSTS	SILL PLATE ANCHORS	
CS-WSP		SEE PLAN	APA RATED: 3/8" MIN. (16" STUD SPACING) OR 7/16" MIN. (18" STUD SPACING)	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSDS2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW1	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSDS2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW2	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 4/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 4/12	HDUS - SSDS2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW3	BLOCKED	16"	STRUCTURAL 1 - 15/32"	10d (1-1/2" PEN MIN) @ 3/12	STRUCTURAL 1 - 15/32"	10d (1-1/2" PEN MIN) @ 3/12	HDUS - SSDS2.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW5	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	HDUS - SSDS2.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW4	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSDS2.5	5/8" Ø ANCHOR RODS PER MFG.	(3) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW6	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	HDUS - SSDS2.5	7/8" Ø ANCHOR RODS PER MFG.	(3) 2x4	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	

1 BASEMENT FLOOR, FOOTING & FOUNDATION PLAN

1/4"=1'-0"

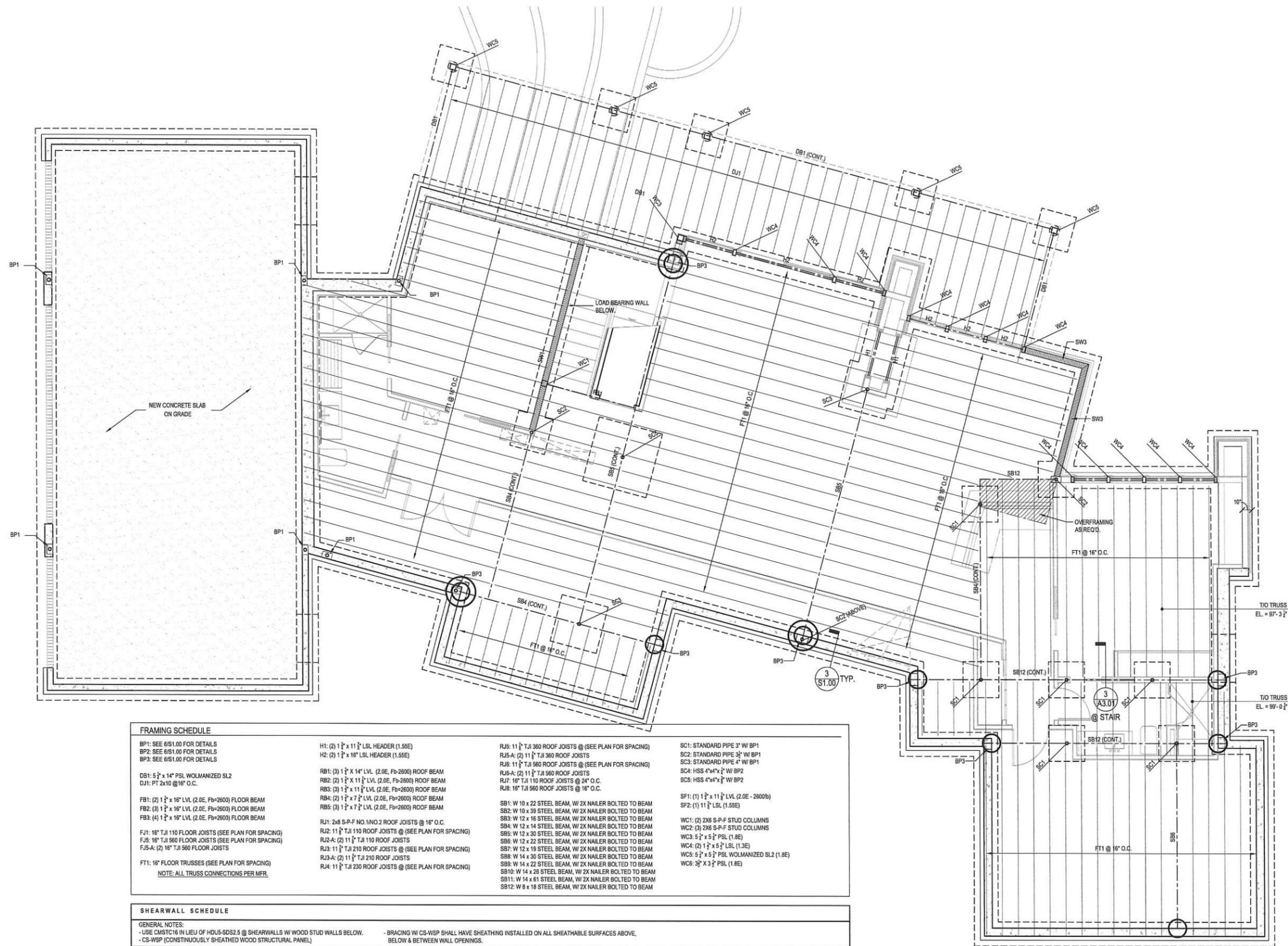
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CONSTRUCTION

REVISION HISTORY

DATE: 02.26.2016

LEVEL 01 FLOOR FRAMING PLAN

S1.02



FRAMING SCHEDULE	
BP1: SEE 6/S1.00 FOR DETAILS BP2: SEE 6/S1.00 FOR DETAILS BP3: SEE 6/S1.00 FOR DETAILS	H1: (2) 1 1/2" x 11 1/2" LSL HEADER (1.55E) H2: (2) 1 1/2" x 16" LSL HEADER (1.55E)
DB1: 5 1/2" x 14" PSL WOLMANIZED SL2 DJ1: PT 2x10 @ 16" O.C.	RB1: (3) 1 1/2" x 14" LVL (2.0E, Fb=2600) ROOF BEAM RB2: (2) 1 1/2" x 11 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB3: (2) 1 1/2" x 11 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB4: (2) 1 1/2" x 7 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB5: (3) 1 1/2" x 7 1/2" LVL (2.0E, Fb=2600) ROOF BEAM
FB1: (2) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM FB2: (3) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM FB3: (4) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM	RJ1: 2x8 S-P-F NO.1/NO.2 ROOF JOISTS @ 16" O.C. RJ2: 11 1/2" TJI 110 ROOF JOISTS @ (SEE PLAN FOR SPACING) RJ2-A: (2) 11 1/2" TJI 110 ROOF JOISTS RJ3: 11 1/2" TJI 210 ROOF JOISTS @ (SEE PLAN FOR SPACING) RJ3-A: (2) 11 1/2" TJI 210 ROOF JOISTS RJ4: 11 1/2" TJI 230 ROOF JOISTS @ (SEE PLAN FOR SPACING)
FJ1: 16" TJI 110 FLOOR JOISTS (SEE PLAN FOR SPACING) FJ3: 16" TJI 560 FLOOR JOISTS (SEE PLAN FOR SPACING) FJ5-A: (2) 16" TJI 560 FLOOR JOISTS	RS: 11 1/2" TJI 360 ROOF JOISTS @ (SEE PLAN FOR SPACING) RS-A: (2) 11 1/2" TJI 360 ROOF JOISTS RS-B: 11 1/2" TJI 560 ROOF JOISTS @ (SEE PLAN FOR SPACING) RS-A: (2) 11 1/2" TJI 560 ROOF JOISTS RJ7: 16" TJI 110 ROOF JOISTS @ 24" O.C. RJ8: 16" TJI 560 ROOF JOISTS @ 16" O.C.
FT1: 16" FLOOR TRUSSES (SEE PLAN FOR SPACING) NOTE: ALL TRUSS CONNECTIONS PER MFR.	SB1: W 10 x 22 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB2: W 10 x 39 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB3: W 12 x 16 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB4: W 12 x 14 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB5: W 12 x 30 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB6: W 12 x 22 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB7: W 12 x 19 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB8: W 14 x 30 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB9: W 14 x 22 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB10: W 14 x 26 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB11: W 14 x 61 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM SB12: W 8 x 18 STEEL BEAM, W/ 2X NAILER BOLTED TO BEAM
	SC1: STANDARD PIPE 3" W/ BP1 SC2: STANDARD PIPE 3 1/2" W/ BP1 SC3: STANDARD PIPE 4" W/ BP1 SC4: HSS 4"x4"x 1/4" W/ BP2 SC5: HSS 4"x4"x 1/4" W/ BP2
	SF1: (1) 1 1/2" x 11 1/2" LVL (2.0E - 2600lb) SF2: (1) 11 1/2" LVL (1.55E)
	WC1: (2) 2x6 S-P-F STUD COLUMNS WC2: (2) 2x6 S-P-F STUD COLUMNS WC3: 5 1/2" x 5 1/2" PSL (1.8E) WC4: (2) 1 1/2" x 5 1/2" LSL (1.3E) WC5: 5 1/2" x 5 1/2" PSL WOLMANIZED SL2 (1.8E) WC6: 3" x 3" PSL (1.8E)

SHEARWALL SCHEDULE											
GENERAL NOTES: - USE CMSTC16 IN LIEU OF HDUS-SSD2.5 @ SHEARWALLS W/ WOOD STUD WALLS BELOW. - BRACING W/ CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW & BETWEEN WALL OPENINGS. - CS-WSP (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)											
MARK	TYPE	STUD SPACING	EXTERIOR SHEATHING	FASTENING	INTERIOR SHEATHING	FASTENING	HOLD-DOWN	FASTENING	END POSTS	SILL PLATE ANCHORS	OTHER
CS-WSP		SEE PLAN	APA RATED: 3/8" MIN. (16" STUD SPACING) OR 7/16" MIN. (16" STUD SPACING)	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSD2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW1	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSD2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW2	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 4/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 4/12	HDUS - SSD2.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW3	BLOCKED	16"	STRUCTURAL 1 - 15/32"	10d (1-1/2" PEN MIN) @ 3/12	STRUCTURAL 1 - 15/32"	10d (1-1/2" PEN MIN) @ 3/12	HDUS - SSD2.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW5	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	HDUS - SSD2.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW4	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDUS - SSD2.5	5/8" Ø ANCHOR RODS PER MFG.	(3) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW6	BLOCKED	16"	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 15/32"	10d (1-1/2" PEN MIN) @ 6/12	HDUS - SSD2.5	7/8" Ø ANCHOR RODS PER MFG.	(3) 2x4	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	

1 LEVEL 01 FLOOR FRAMING PLAN

1/4"=1'-0"

A New Project for:

The Kolbe Family
1310 Victoria Circle South
Elm Grove, WI 53122



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CONSTRUCTION

REVISION HISTORY

DATE: 02.26.2016

LEVEL 02 FLOOR FRAMING PLAN/
LEVEL 01 ROOF FRAMING PLAN

S1.03



FRAMING SCHEDULE	
BP1: SEE 6/IS1.00 FOR DETAILS BP2: SEE 6/IS1.00 FOR DETAILS BP3: SEE 6/IS1.00 FOR DETAILS	H1: (2) 1 1/2" x 11 1/2" LSL HEADER (1.5SE) H2: (2) 1 1/2" x 16" LSL HEADER (1.5SE)
DB1: 5 1/2" x 14" PSL WOLMANIZED SL2 DJ1: PT 2x10 @ 16" O.C.	RB1: (3) 1 1/2" x 14" LVL (2.0E, Fb=2600) ROOF BEAM RB2: (2) 1 1/2" x 11 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB3: (3) 1 1/2" x 11 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB4: (2) 1 1/2" x 7 1/2" LVL (2.0E, Fb=2600) ROOF BEAM RB5: (3) 1 1/2" x 7 1/2" LVL (2.0E, Fb=2600) ROOF BEAM
FB1: (2) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM FB2: (3) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM FB3: (4) 1 1/2" x 16" LVL (2.0E, Fb=2600) FLOOR BEAM	RJ1: 2x6 S-P-F NO.1/NO.2 ROOF JOISTS @ 16" O.C. RJ2: 11 1/2" TJI 110 ROOF JOISTS @ (SEE PLAN FOR SPACING) RJ2-A: (2) 11 1/2" TJI 110 ROOF JOISTS RJ3: 11 1/2" TJI 210 ROOF JOISTS @ (SEE PLAN FOR SPACING) RJ3-A: (2) 11 1/2" TJI 210 ROOF JOISTS RJ4: 11 1/2" TJI 230 ROOF JOISTS @ (SEE PLAN FOR SPACING)
FJ1: 16" TJI 110 FLOOR JOISTS (SEE PLAN FOR SPACING) FJ5: 16" TJI 560 FLOOR JOISTS (SEE PLAN FOR SPACING) FJ5-A: (2) 16" TJI 560 FLOOR JOISTS FT1: 16" FLOOR TRUSSES (SEE PLAN FOR SPACING)	SC1: STANDARD PIPE 3" W/ BP1 SC2: STANDARD PIPE 3" W/ BP1 SC3: STANDARD PIPE 4" W/ BP1 SC4: HSS 4"x4"x 1/2" W/ BP2 SC5: HSS 4"x4"x 1/2" W/ BP2 SF1: (1) 1 1/2" x 11 1/2" LVL (2.0E - 2600hb) SF2: (1) 11 1/2" LSL (1.5SE)
NOTE: ALL TRUSS CONNECTIONS PER MFR.	WC1: (2) 2x6 S-P-F STUD COLUMNS WC2: (3) 2x6 S-P-F STUD COLUMNS WC3: 5 1/2" x 5 1/2" PSL (1.8E) WC4: (2) 1 1/2" x 5 1/2" LVL (1.3E) WC6: 3 1/2" x 3 1/2" PSL (1.8E)

SHEARWALL SCHEDULE	
GENERAL NOTES: - USE CMSTC18 IN LIEU OF HDUS-SDS2.5 @ SHEARWALLS W/ WOOD STUD WALLS BELOW. - CS-WSP (CONSTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL).	
- BRACING W/ CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW & BETWEEN WALL OPENINGS.	

MARK	TYPE	STUD SPACING	EXTERIOR SHEATHING	FASTENING	INTERIOR SHEATHING	FASTENING	HOLDOWN	OTHER	FASTENING	END POSTS	BILL PLATE ANCHORS
CS-WSP	-	SEE PLAN	APA RATED: 3/8" MIN. (16" STUD SPACING) OR 7/16" MIN. (16" STUD SPACING)	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDU5 - SDD52.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW1	BLOCKED	16"	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDU5 - SDD52.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW2	BLOCKED	16"	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 4/12	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 4/12	HDU5 - SDD52.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW3	BLOCKED	16"	STRUCTURAL 1 - 1532"	10d (1-1/2" PEN MIN) @ 3/12	STRUCTURAL 1 - 1532"	10d (1-1/2" PEN MIN) @ 3/12	HDU8 - SDD52.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW5	BLOCKED	16"	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	HDU8 - SDD52.5	7/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	
SW4	BLOCKED	16"	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	GYPSUM - 5/8"	6d COOLER NAILS @ 6/12	HDU5 - SDD52.5	5/8" Ø ANCHOR RODS PER MFG.	(2) 2x6	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 36" O.C.	
SW6	BLOCKED	16"	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	APA RATED - 1532"	10d (1-1/2" PEN MIN) @ 6/12	HDU8 - SDD52.5	7/8" Ø ANCHOR RODS PER MFG.	(3) 2x4	5/8" Ø TITEN HD ANCHOR (2-3/4" EMBED) @ 12" O.C.	

1 LEVEL 02 FLOOR FRAMING PLAN - LEVEL 01 ROOF FRAMING PLAN

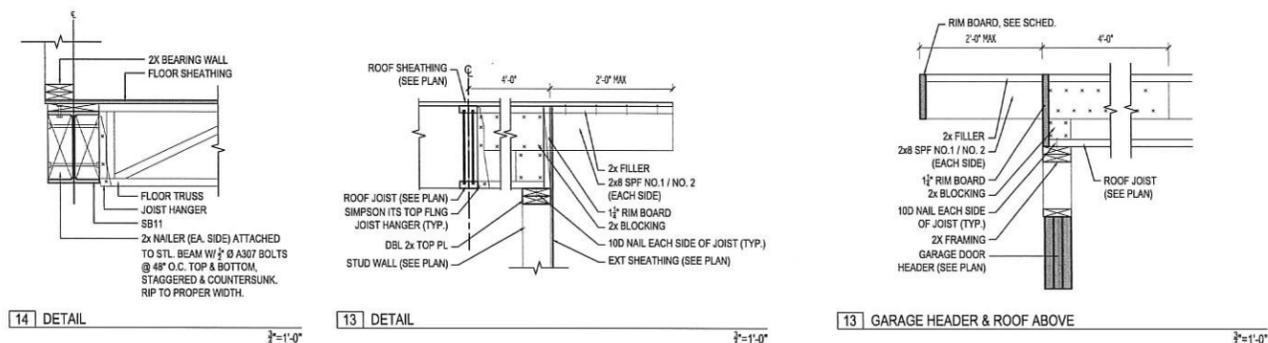
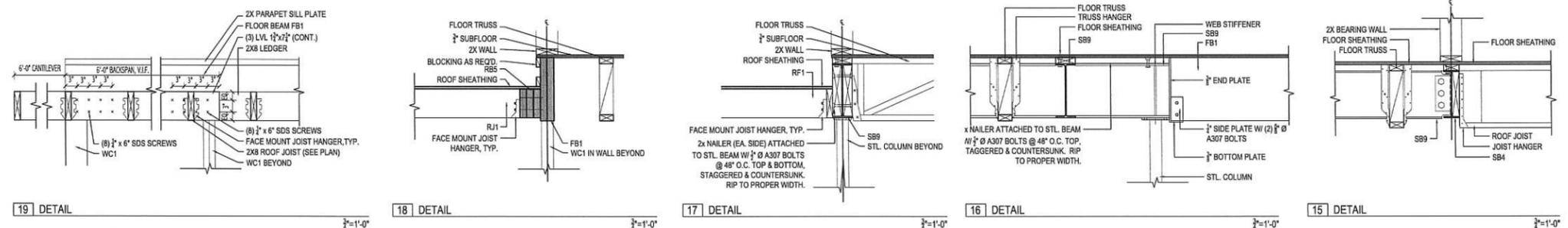
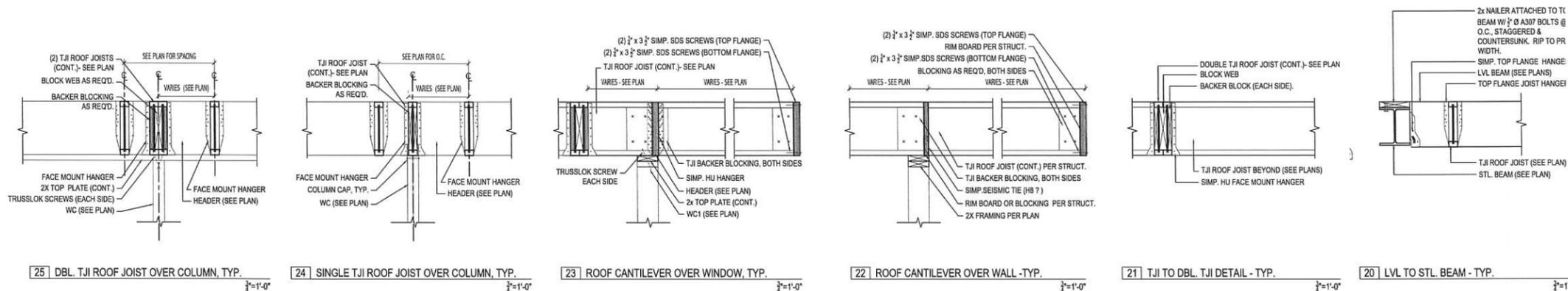
1/2"=1'-0"

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1310 Victoria Circle South
Elm Grove, WI 53122

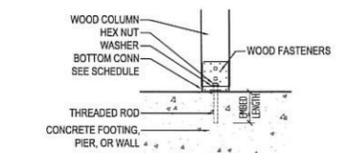


NOT PERMIT & BID SET
CONSTRUCTION

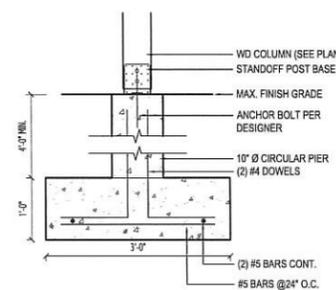


CONN TYPE	WOOD FASTENERS	THREADED ROD Ø (IN.)	EMBED LENGTH (IN.)	EPOXY TYPE
SIMPSON ABA44	(6) - 10d	1/2"	4 1/4"	HLTI HIT-RE 500
SIMPSON AB66	(8) - 16d	5/8"	5"	HLTI HIT-RE 500
SIMPSON ABUB8	(18) - 16d	(2) 5/8"	6 5/8"	HLTI HIT-RE 500

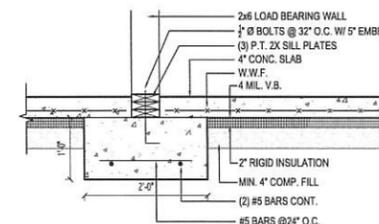
NOTE:
PER OSHA SECTION 1926.755(a)(2) ALL ANCHOR BOLTS SHALL BE PROOF LOADED TO 900 LBS BEFORE STEEL ERECTION CAN BEGIN.



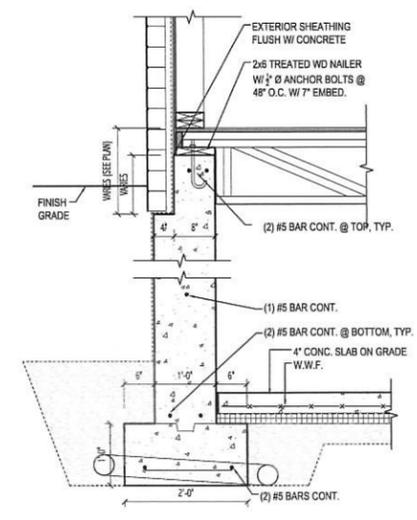
4 WOOD COLUMN BASE CONNECTION, TYP. 1/2"=1'-0"



3 WOOD COLUMN ON PIER DETAIL, EXT. 1/2"=1'-0"



2 BEARING WALL FOOTING DETAIL, TYP. 1/2"=1'-0"



1 FOUNDATION WALL & FOOTING DETAIL, TYP. 1/2"=1'-0"

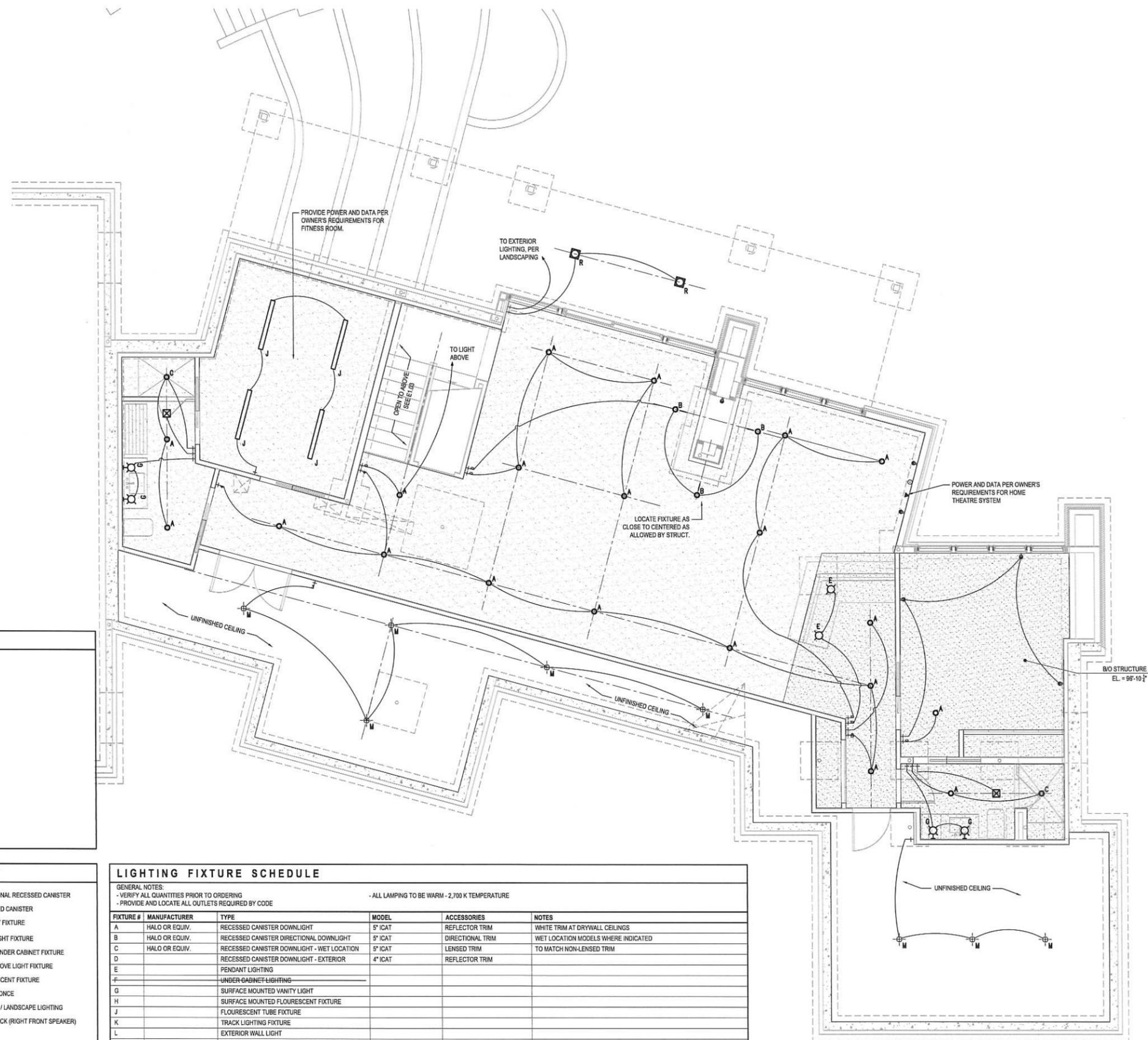
REVISION HISTORY

DATE: 02.26.2016

STRUCTURAL DETAILS

S1.06

NOT PERMIT & BID SET
CONSTRUCTION



- GENERAL NOTES**
1. VERIFY ALL FIXTURE SELECTIONS, BULB SELECTIONS, FINISHES, AND QUANTITIES PRIOR TO ORDERING.
 2. THE LOCATION OF ANY EXTERIOR OR INTERIOR ELECTRICAL FIXTURES OR DEVICES OTHER THAN WHAT ARE INDICATED IN THE FIXTURE SCHEDULE AND ON THE LIGHTING AND ELECTRICAL PLANS THAT WILL BE MOUNTED IN VISIBLE SITE ARE TO BE CONFIRMED BY ARCHITECT PRIOR TO INSTALLATION.
 3. PROVIDE AND LOCATE ALL OUTLETS REQUIRED BY CODES.
 4. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODES THROUGHOUT HOUSE - CONFIRM LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
 5. CONFIRM ALL SWITCH, OUTLET, AND SWITCHED OUTLET LOCATIONS WITH HOME OWNER AND ARCHITECT.
 6. PROVIDE DIMMERS AT ALL ROOM LIGHTING WHERE APPLICABLE.

SYMBOL SCHEDULE

⊕ - OUTLET / SWITCHED OUTLET	○ - DIRECTIONAL RECESSED CANISTER
⊞ - FLOOR BOX OUTLET	○ - RECESSED CANISTER
⊙ - COAXIAL CABLE	⊗ - PENDANT FIXTURE
▶ - DATA	∇ ∇ - TRACK LIGHT FIXTURE
⊕ - WALL SWITCH	----- - LINEAR UNDER CABINET FIXTURE
⊕ - DIMMABLE WALL SWITCH	===== - LINEAR COVE LIGHT FIXTURE
⊕ - THREE-WAY WALL SWITCH	⊏ - FLUORESCENT FIXTURE
⊕ - FOUR-WAY WALL SWITCH	⊞ - WALL SCONCE
⊞ - BATHROOM EXHAUST FAN	⊞ - EXTERIOR / LANDSCAPE LIGHTING
⊕ - BARE BULB FIXTURE	⊞ - AUDIO JACK (RIGHT FRONT SPEAKER)
⊞ - FLUSH CEILING FIXTURE	

LIGHTING FIXTURE SCHEDULE

GENERAL NOTES:
- VERIFY ALL QUANTITIES PRIOR TO ORDERING
- PROVIDE AND LOCATE ALL OUTLETS REQUIRED BY CODE
- ALL LAMPING TO BE WARM - 2,700 K TEMPERATURE

FIXTURE #	MANUFACTURER	TYPE	MODEL	ACCESSORIES	NOTES
A	HALO OR EQUIV.	RECESSED CANISTER DOWNLIGHT	5" ICAT	REFLECTOR TRIM	WHITE TRIM AT DRYWALL CEILINGS
B	HALO OR EQUIV.	RECESSED CANISTER DIRECTIONAL DOWNLIGHT	5" ICAT	DIRECTIONAL TRIM	WET LOCATION MODELS WHERE INDICATED
C	HALO OR EQUIV.	RECESSED CANISTER DOWNLIGHT - WET LOCATION	5" ICAT	LENSED TRIM	TO MATCH NON-LENSED TRIM
D		RECESSED CANISTER DOWNLIGHT - EXTERIOR	4" ICAT	REFLECTOR TRIM	
E		PENDANT LIGHTING			
F		UNDER CABINET LIGHTING			
G		SURFACE MOUNTED VANITY LIGHT			
H		SURFACE MOUNTED FLUORESCENT FIXTURE			
J		FLUORESCENT TUBE FIXTURE			
K		TRACK LIGHTING FIXTURE			
L		EXTERIOR WALL LIGHT			
M		KEYLESS BARE BULB INCANDESCENT FIXTURE			
N		UP LIGHTING FIXTURE			
P		COVE LIGHT FIXTURE			
Q		SURFACE MOUNTED CEILING FIXTURE			
R		SURFACE MOUNTED EXTERIOR CEILING FIXTURE			

1 BASEMENT ELECTRICAL & LIGHTING DESIGN

1/4" = 1'-0"

REVISION HISTORY

NO.	DATE	DESCRIPTION

DATE: 02.26.2016
SCHEMATIC ELECTRICAL
& LIGHTING DESIGN - BASEMENT

