

VILLAGE OF ELM GROVE

13600 Juneau Boulevard
Elm Grove, WI 53122

BUILDING BOARD

Tuesday, March 1, 2016 * 5:30 PM * Park View Room

AGENDA

1. Roll Call

Documents: [030116 BBmemo.pdf](#)

2. Review and act on meeting minutes dated January 19, 2016

Documents: [BB011916dm.pdf](#)

3. Review and act on a request by Lisa Lehman at 1800 Village Green Court for an alteration.

Documents: [1800 Village Green St - Photos.pdf](#)

4. Review and act on a request by Joel and Sarah Nack at 14280 Woodlawn Circle for landscape revision.

Documents: [14280 Woodlawn Circle.pdf](#)

5. Review and act on a request by Sara and Craig Schedler at 13015 Elmhurst Parkway for an addition (deck).

Documents: [13015 Elmhurst Parkway - Plans.pdf](#)

6. Review and act on a request by Jeff Ausprung at 625 Vernon Place for an addition.

Documents: [625 Vernon Place - Survey.pdf](#)

7. Review and act on a request by Ryan and Leanne Walz at 1075 Highland Drive for an alteration.

Documents: [1075 Highland Drive - Plans.pdf](#), [1075 Highland Drive .pdf](#)

8. Review and act on a request by John Bonfilio and Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

Documents: [14980 Juneau Blvd - Landscape exhibit.pdf](#), [14980 Juneau Blvd - Plans .pdf](#), [14980 Juneau Blvd - Site grading.pdf](#)

9. Other Business

10. Adjournment

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

Memo

To: Building Board
From: Casey Griffiths, Zoning & Planning Administrator/ Asst. to the Village Manager
Date: February 25, 2016
Re: Review of Agenda for Tuesday – March 1, 2016

Item 3. Review and act on a request by Lisa Lehman at 1800 Village Green Court for an alteration.

The applicants are requesting approval of an alteration. The proposed alteration would include removing a window, shutters, and door and replacing with siding to match existing siding and an addition of a new window with reused removed shutters. Please see the enclosed plans.

Item 4. Review and act on a request by Joel and Sarah Nack at 14280 Woodlawn Circle for landscape revision.

The applicants are requesting approval of a revision to previously approved landscape plans. The revision includes an iron gate with masonry pillars on either side. The limestone masonry on the proposed pillars will match masonry on house. The iron on the proposed gate will emulate existing auto gate detail. Please see the enclosed plans.

Item 5. Review and act on a request by Sara and Craig Schedler at 13015 Elmhurst Parkway for an addition (deck).

The applicants are requesting approval of a deck addition. The proposed deck will be located at the rear of the home where the existing deck is located. The deck encroaches into the side yard setback, however, a variance was approved for the property in 2014. The proposed deck area will measure 1,014 square feet. Please see the enclosed plans.

Item 6. Review and act on a request by Jeff Ausprung at 625 Vernon Place for an addition.

The applicants are requesting approval of an addition. The proposed addition will be located on the North side of the existing home. Proposed addition will be 286 square feet. The proposed addition will meet setback requirements. Please see the enclosed plans.

Item 7. Review and act on a request by Ryan and Leanne Walz at 1075 Highland Drive for an alteration.

The applicants are requesting approval of an alteration. The proposed alteration will be a master bathroom addition to the second floor of the home. The materials on the proposed alteration are to match existing materials. Please see enclosed plans.

Item 8. Review and act on a request by John Bonfilio and Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD

**BUILDING BOARD
MEETING MINUTES
Tuesday, January 19, 2016**

Meeting was called to order at 5:31 p.m. by Mr. Olson.

1. Roll Call.

Present: Mr. Olson, Mr. Matola, Mr. Janusz, Mr. Riebesehl, and Ms. Steindorf

Absent: Mr. Domaszek, Mr. Wollersheim, Mr. Schoenecker, and Mr. Liechty (all excused)

Also Present: Mr. Griffiths, Ms. Nelson, and Applicants

2. Review and act on meeting minutes dated January 5, 2016.

Mr. Olson recommended the following change be made: on page four, item five, paragraph two, add a sentence stating that the applicants agreed to add the stone chimney on the outside of the wall.

Mr. Matola motioned and Ms. Steindorf seconded to approve the meeting minutes as amended. Motion carried 5-0.

3. Review and act on a request by Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home (colors and materials).

Tabled per applicant's request.

4. Review and act on request by Don and Nora Dreske at 14700 Juneau Boulevard for an addition (revision).

Lisa Krusick of Design 4 Style was present before the board.

Mr. Matola asked if the gable is being moved over and if the window and door were being combined. Ms. Krusick said yes.

Mr. Olson asked if the roof on the left elevation had increased in height. Ms. Krusick stated that was correct.

Mr. Matola motioned and Mr. Riebesehl seconded to approve plans as submitted.

Motion carried 5-0.

5. Review and act on a request by Susan and Morgan Wilbanks at 14720 Hillside road for an alteration.

Susan Wilbanks and Doug Moore from Renovations Group, Inc. were present before the board.

Mr. Olson stated that in the plans it looks like the front elevation has been cleaned up and looks nice and asked if they plan to get rid of the yellow. Ms. Wilbanks stated that yes the yellow will be gone and they will be getting rid of the existing shutters.

Mr. Olson asked if they will be keeping the same look with board on board shutters. Mr. Moore stated that was correct.

Mr. Matola asked if the new picture window would be the same size as the existing window. Ms. Wilbanks said yes it would be the same size.

Ms. Steindorf asked if there was a reason the windows on the rear elevation do not have grilles. Mr. Moore stated that they did not want anything to obstruct the view of the backyard. Ms. Steindorf stated that it looked inconsistent since the windows on the north of house do have grilles.

Mr. Olson agreed that it would add to character and consistency to have grilles on all windows on home.

Mr. Matola stated that the transoms do not need grids but the upper double hung windows should have them.

Mr. Moore stated that they will agree to put in windows with grilles.

Mr. Matola asked if the deck posts will have the same look with a wrap. Mr. Moore stated that was correct.

Mr. Matola asked if the deck material would be wood or composite. Ms. Wilbanks said it would be wood. Mr. Matola asked if it would be stained or natural. Ms. Wilbanks said it will be stained.

Mr. Matola asked if the deck railing will be replaced. Ms. Wilbanks said yes and stated they are planning on wood. Mr. Moore stated that they had also considered a cable rail. Ms. Steindorf stated that cable might look too contemporary. Mr. Olson asked if the railing would have a heavy wood top with cable in between. Mr. Moore said yes with a powder coating to appear transparent.

Mr. Matola asked about the door in the rear of the garage. Ms. Wilbanks said it is a utility room and Mr. Moore stated it would open to grade. Mr. Matola asked what material would be used for the door. Mr. Moore stated they were planning on a dark stained wood to match the garage door. Mr. Matola suggested that they consider using a fiber glass material as it would be more resistant to the elements than wood.

Mr. Matola motioned and Mr. Riebesehl seconded motion to approve plans with the condition that the upper double hung windows on rear elevation of the house will have divided lites.

Motion carried 5-0.

6. Other Business

No other business.

7. Adjournment

Mr. Riebesehl motioned and Mr. Matola seconded to adjourn the meeting. Motion carried 5-0.

Meeting adjourned at 5:52 p.m.

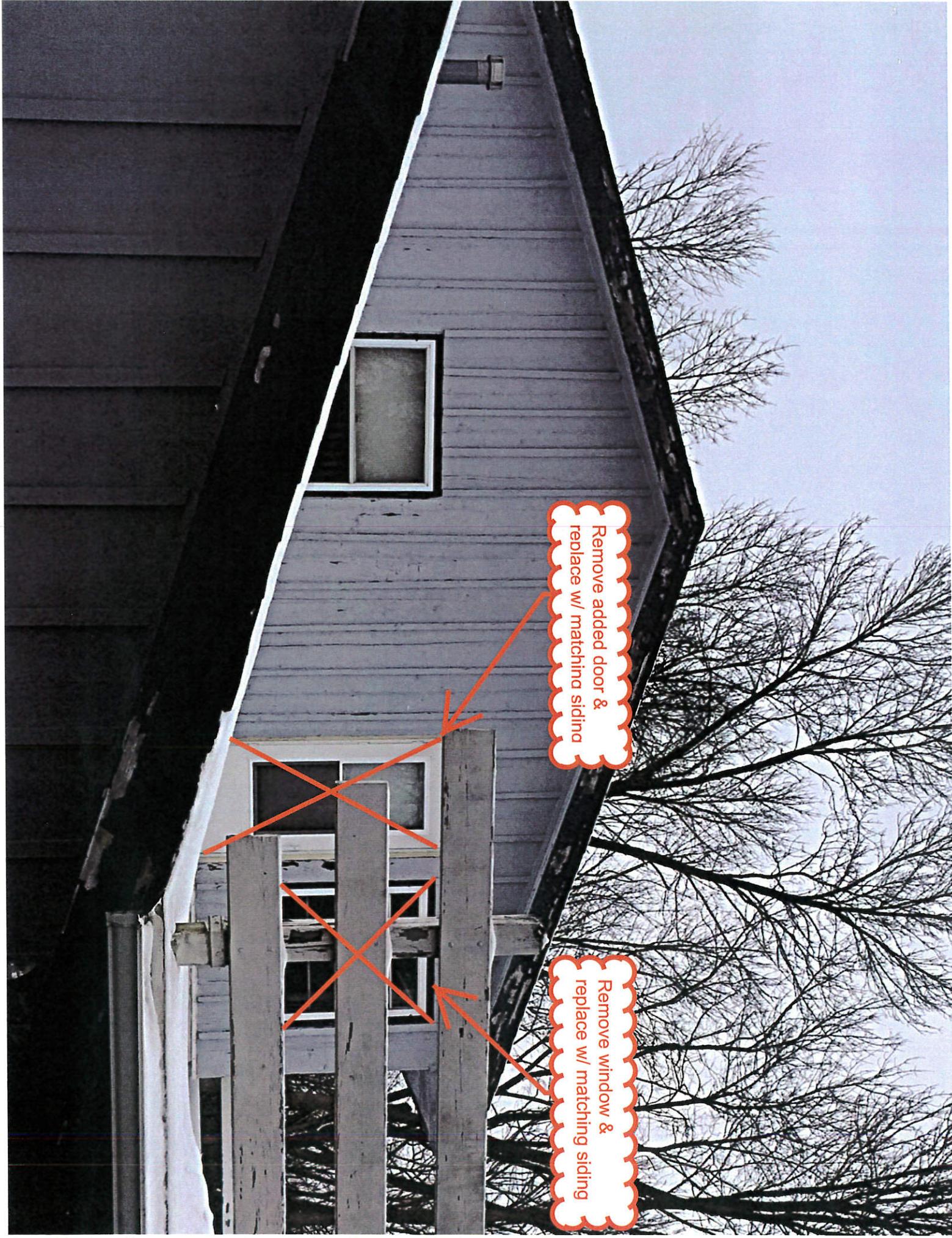
Respectfully Submitted,

Carey Nelson
Administrative Assistant

DRAFT

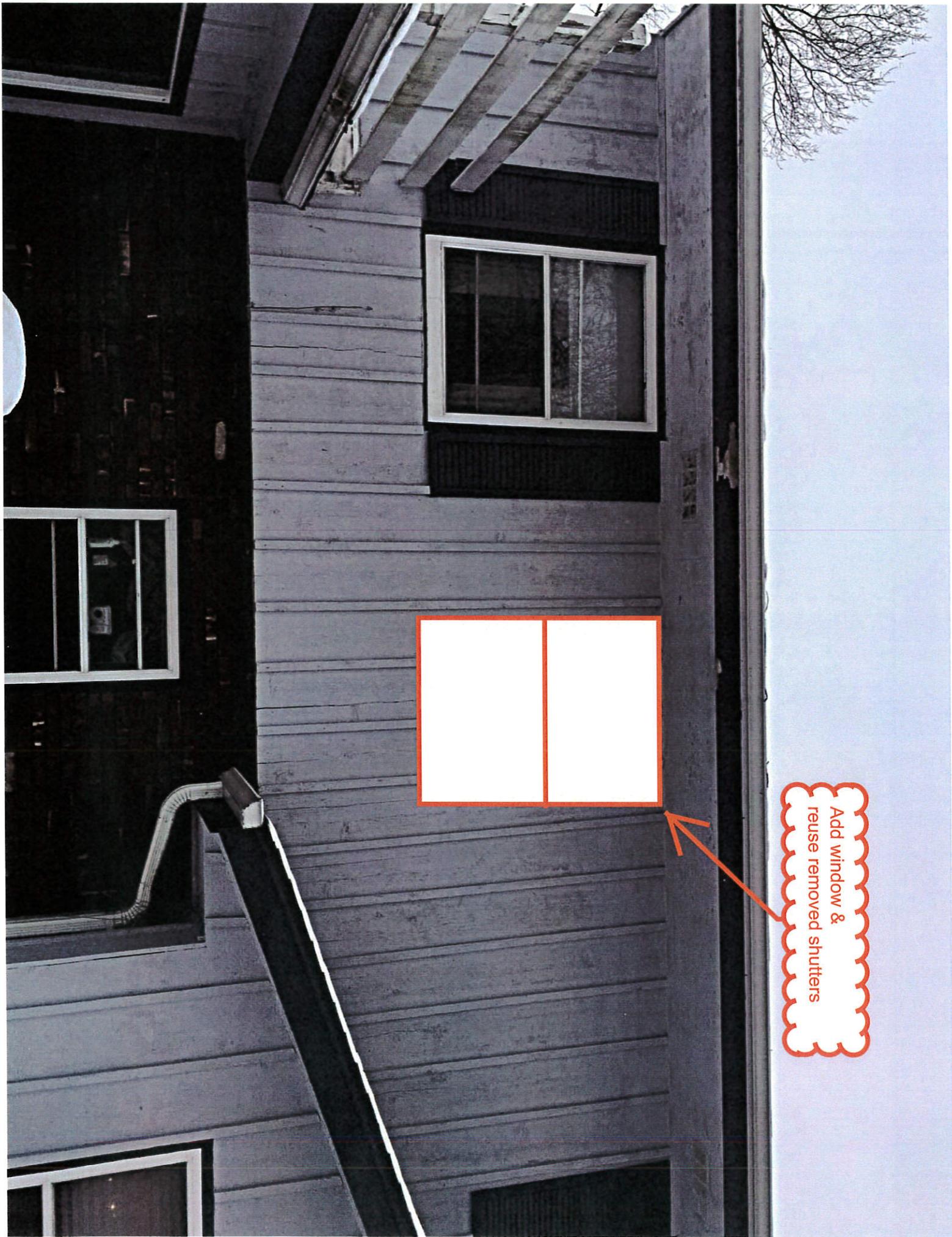


Barely visible from street in front of neighboring property, not visible in front of subject property



Remove added door & replace w/ matching siding

Remove window & replace w/ matching siding



Add window &
reuse removed shutters







RESIDENTIAL
REMODELING
SOLUTIONS

201 W. BRENTWOOD LANE
GLENDALE, WI 53127
T 414.233.0827
F 414.231.4102
wellsdesign@mac.com

02.01.16

Builder to verify project dimensions & materials,
and to ensure that all construction methods meet
local building codes. Appliances, products and
fixtures depicted may not match final selections.

Sara & Craig Schedler
13015 Elmhurst Parkway
Elm Grove, WI 53122

Schedler - deck remodel

page

1/7



13015 Elmhurst Parkway

deck remodel

plat of survey / site plan	2
deck plan	3
framing plan	4
elevations	5
pergola details	6
perspectives	7

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VILLAGE OF ELM GROVE

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13015 Elmhurst Parkway
Elm Grove, WI 53122

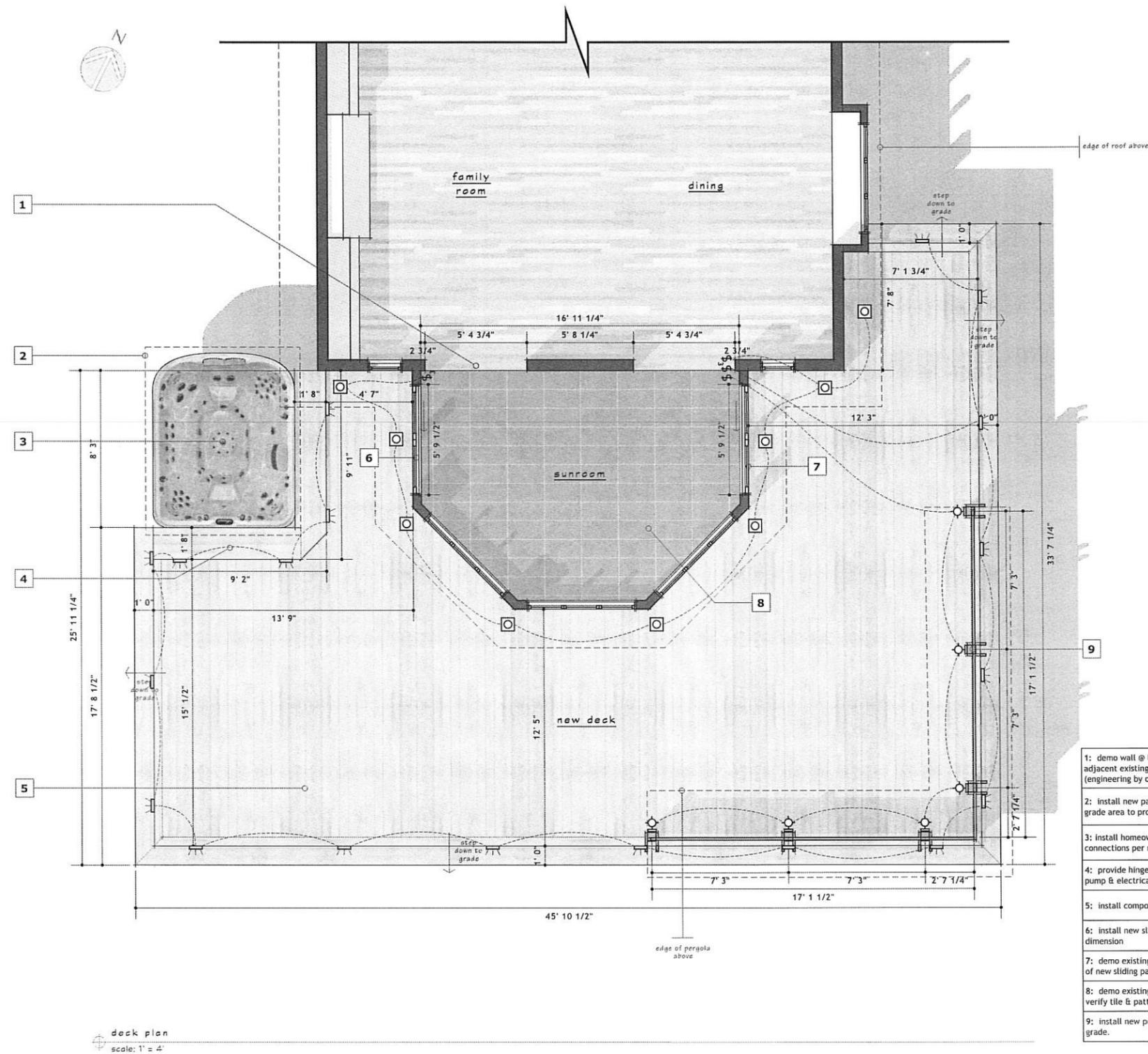
Schedler - deck remodel

deck - plan
scale: 1" = 4'

NOTE:
Electrical plan depicted is for general layout purposes only & represents additions to existing wiring.
Electrician to verify fixture & switch location w/home-owner. Smoke detector and outlet number & location to meet local code.

KEY

-  keypad light controller
-  4" recessed light
-  spot light
-  under cabinet light
-  sconce light
-  ceiling fixture/pendant
-  low-voltage step light
-  4" fluorescent fixture
-  exhaust fan
-  smoke detector
-  cable outlet
-  electric outlet
-  switched outlet
-  single pole switch
-  single pole dimmer switch
-  3-way switch
-  3-way dimmer switch



deck plan
scale: 1" = 4'

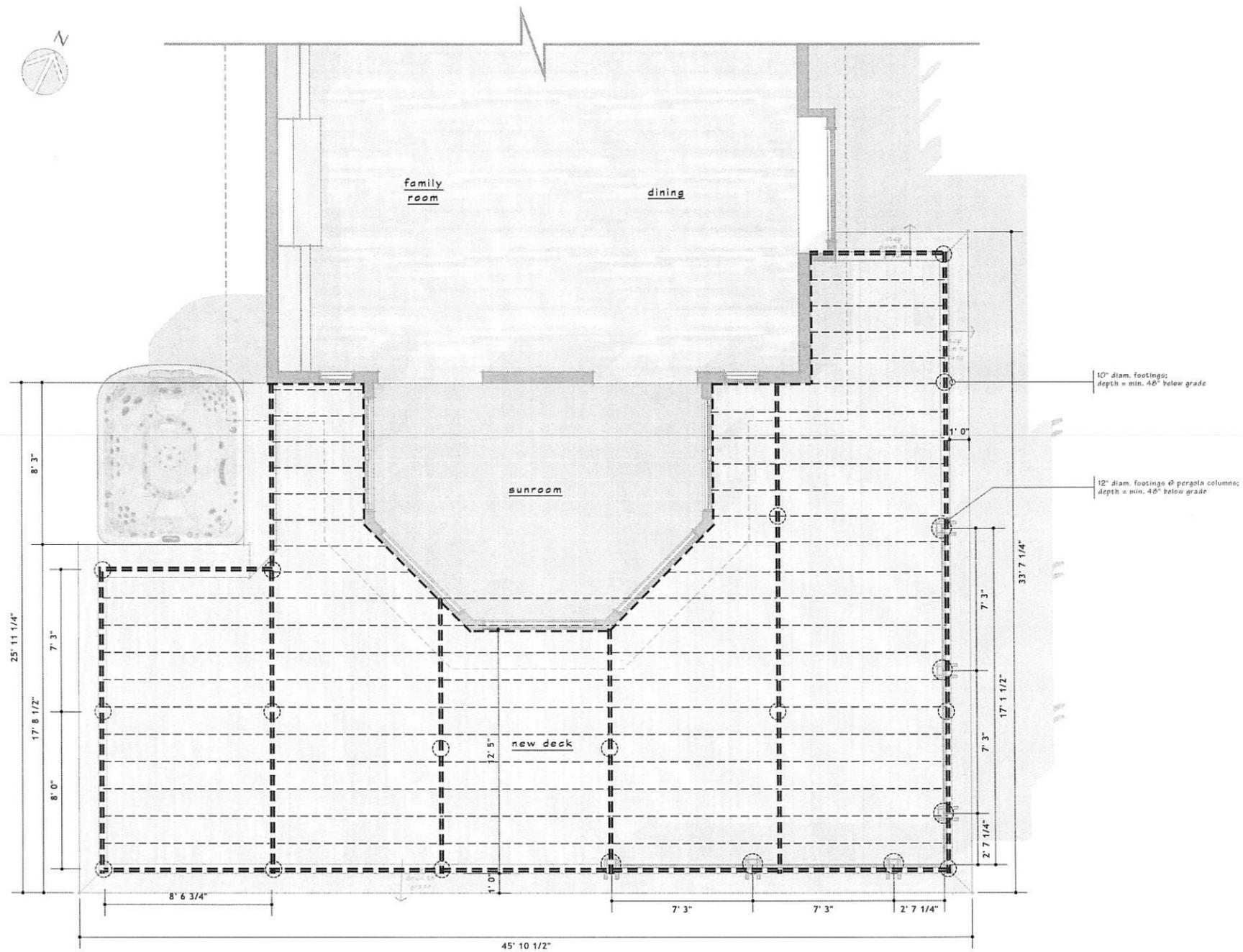
- 1: demo wall @ living room to create new opening; match width of adjacent existing opening; install new header as required (engineering by others)
- 2: install new pad for hot tub per manufacturer's instructions; grade area to provide drainage to west
- 3: install homeowner-supplied hot tub; provide electrical connections per manufacturer's instructions
- 4: provide hinged, or removable seat to provide access to hot tub pump & electrical connections
- 5: install composite decking material; verify w/homeowner
- 6: install new sliding patio door in existing opening; verify dimension
- 7: demo existing window & half-wall below to allow for installation of new sliding patio door.
- 8: demo existing tile floor in sunroom & install new 12"x24" tile; verify tile & pattern w/homeowner
- 9: install new pergola on 6x6 columns; max height = 10' above grade.

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13015 Elmhurst Parkway
Elm Grove, WI 53122

Schedler - deck remodel

deck - framing plan
scale: 1" = 4'



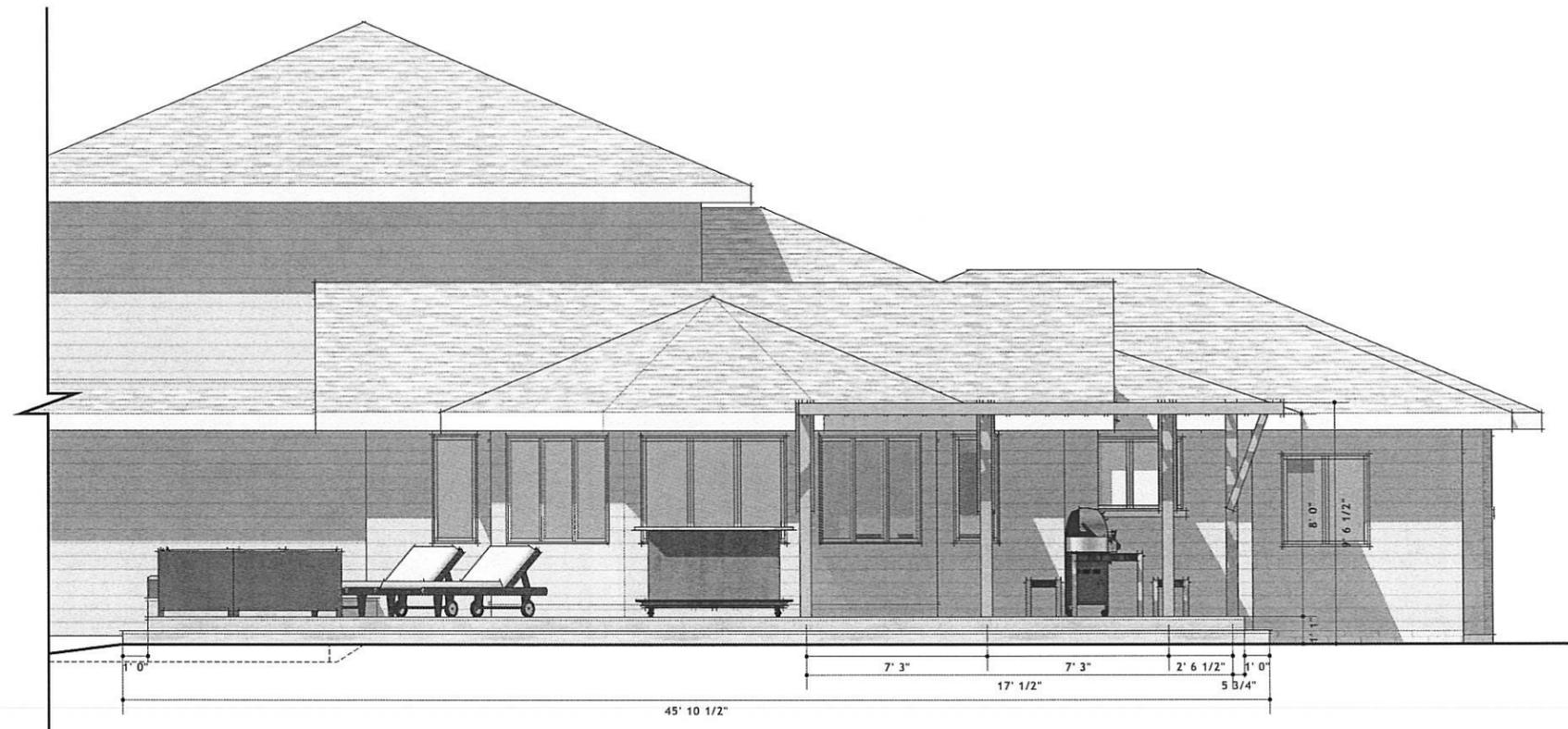
deck - framing plan
scale: 1" = 4'

- single 2x8 ————
- double 2x8 ————
- single 2x6 ————

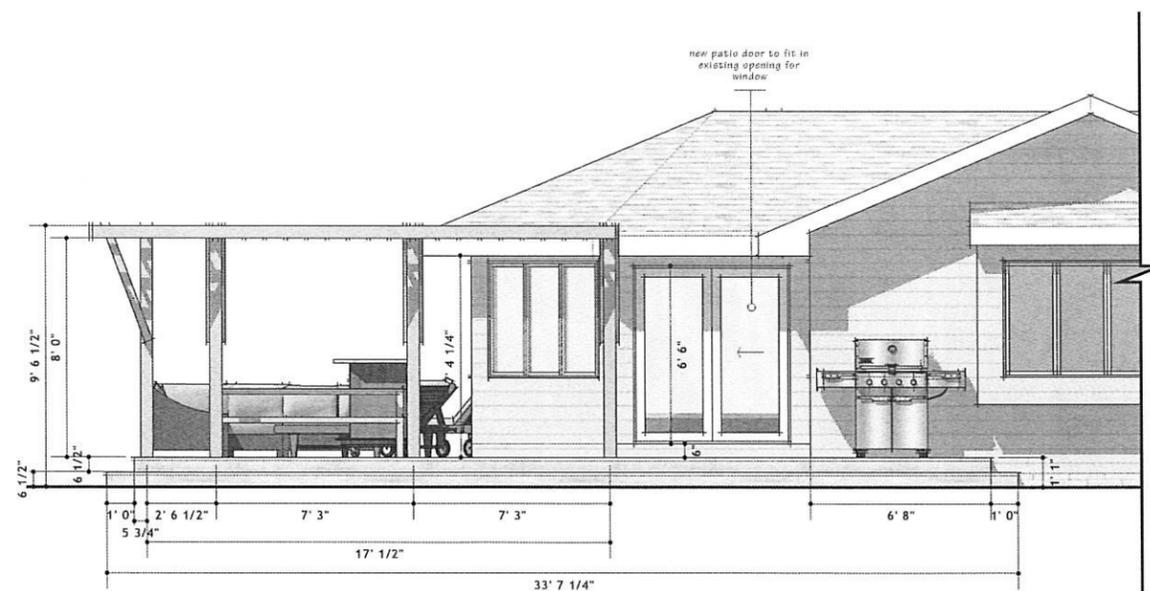
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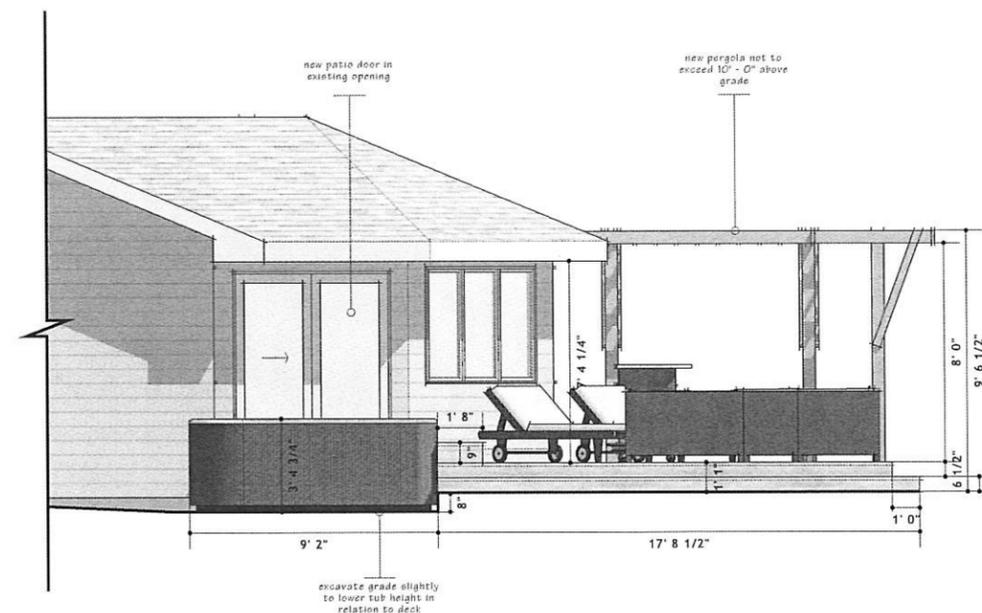
Schedler - deck remodel
elevations
scale: 1" = 4'



new deck - south elevation
scale: 1" = 4'



new deck - east elevation
scale: 1" = 4'

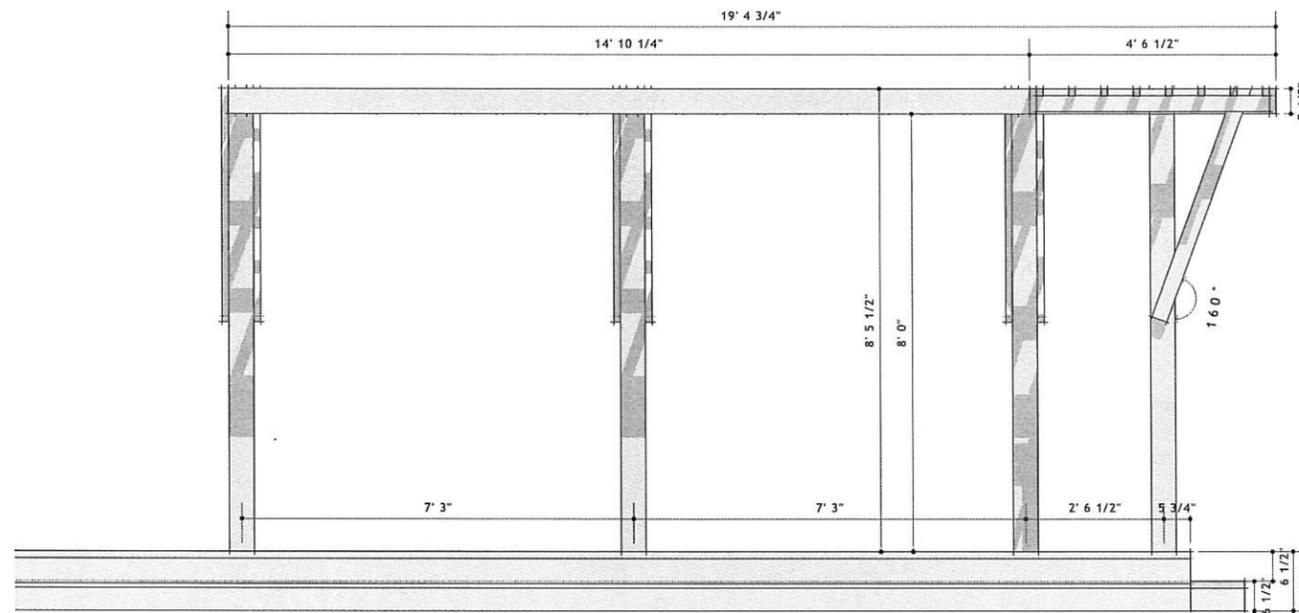


new deck - west elevation
scale: 1" = 4'

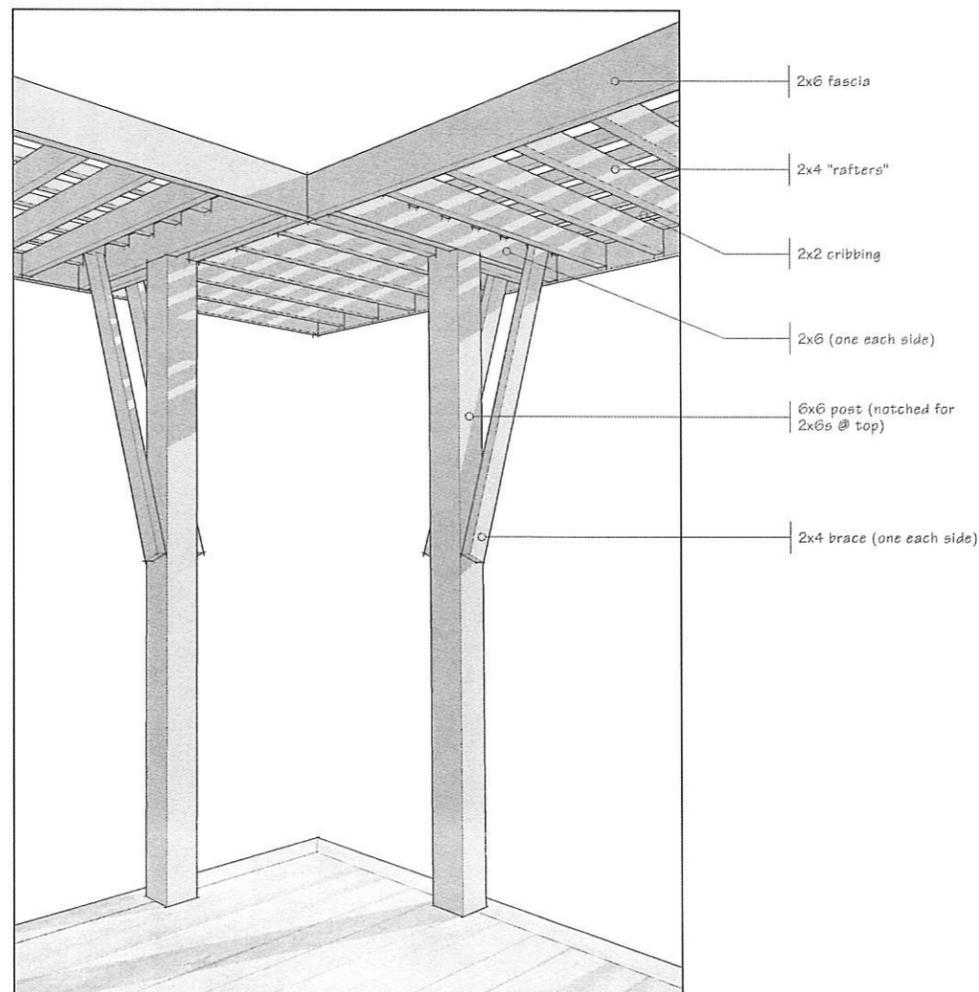
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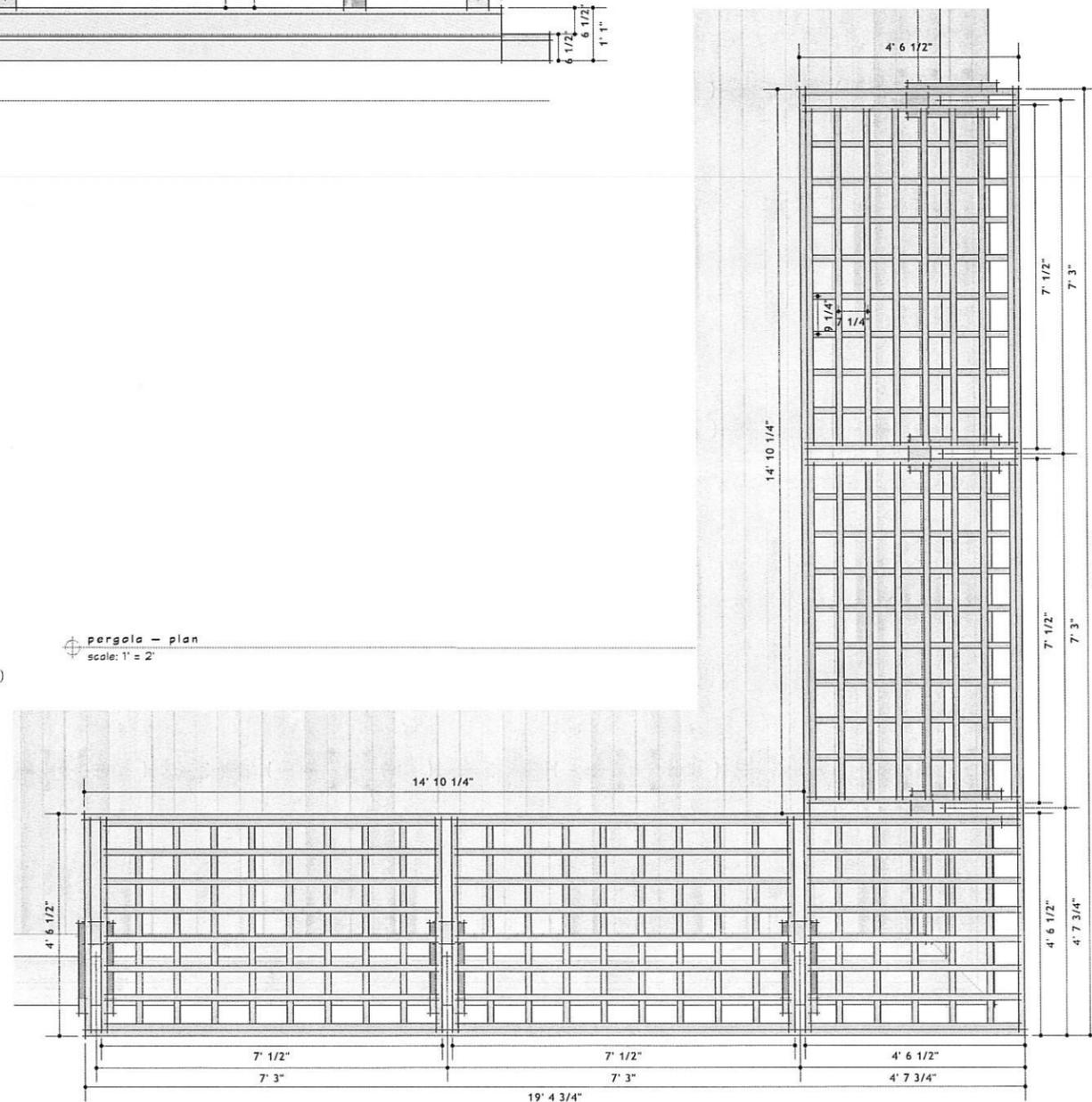
Schedler - deck remodel
as-built & proposed - floor plans
scale: 1" = 2'

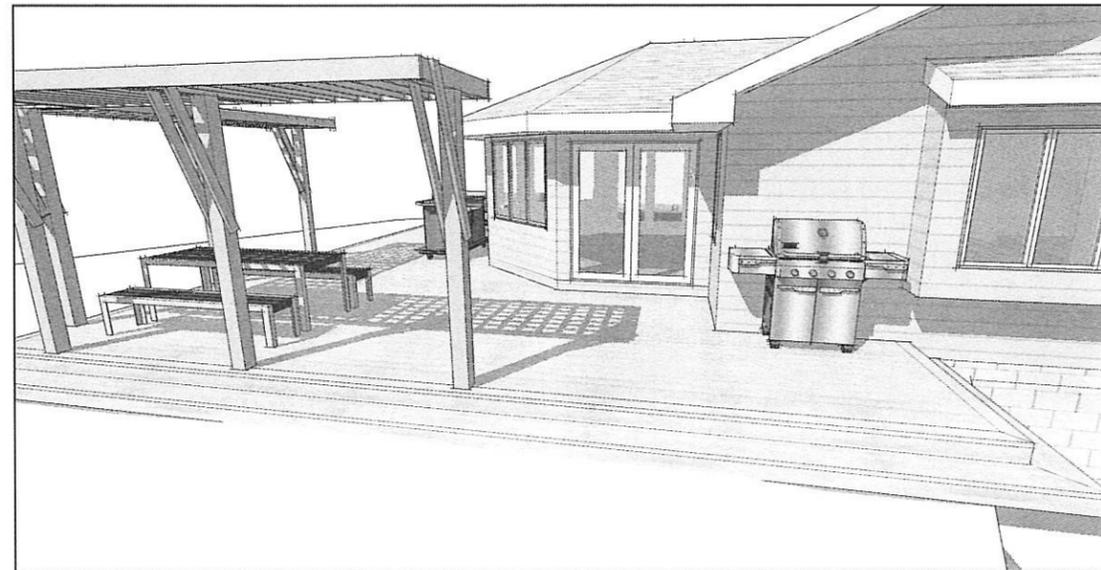
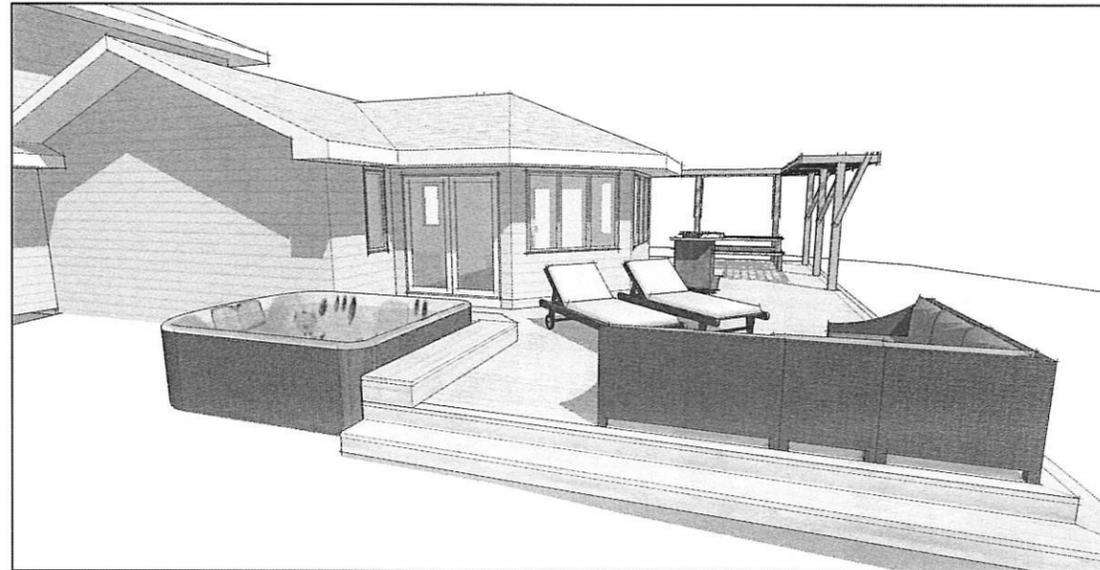
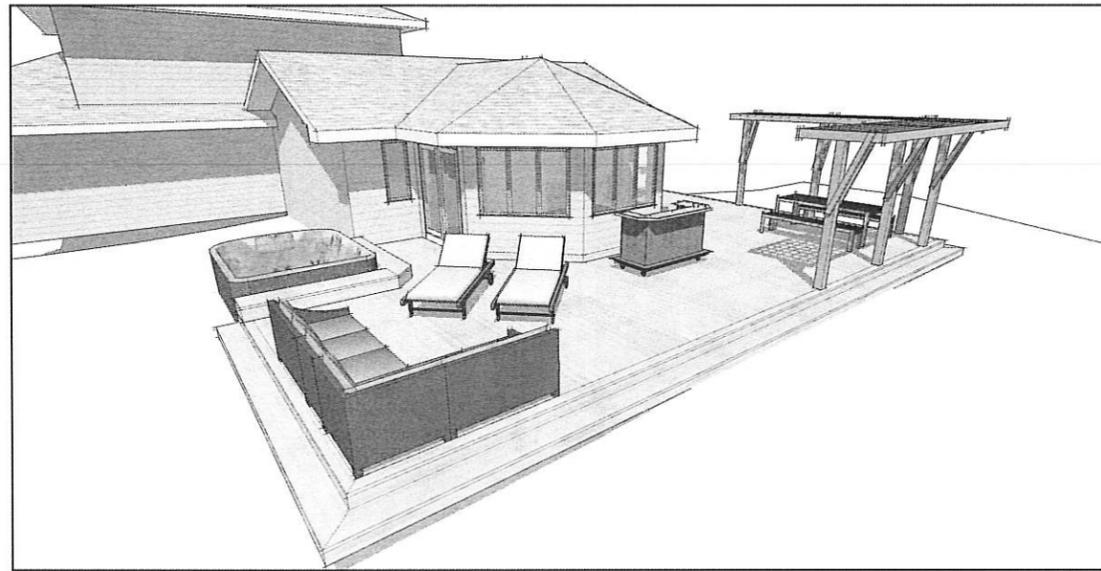
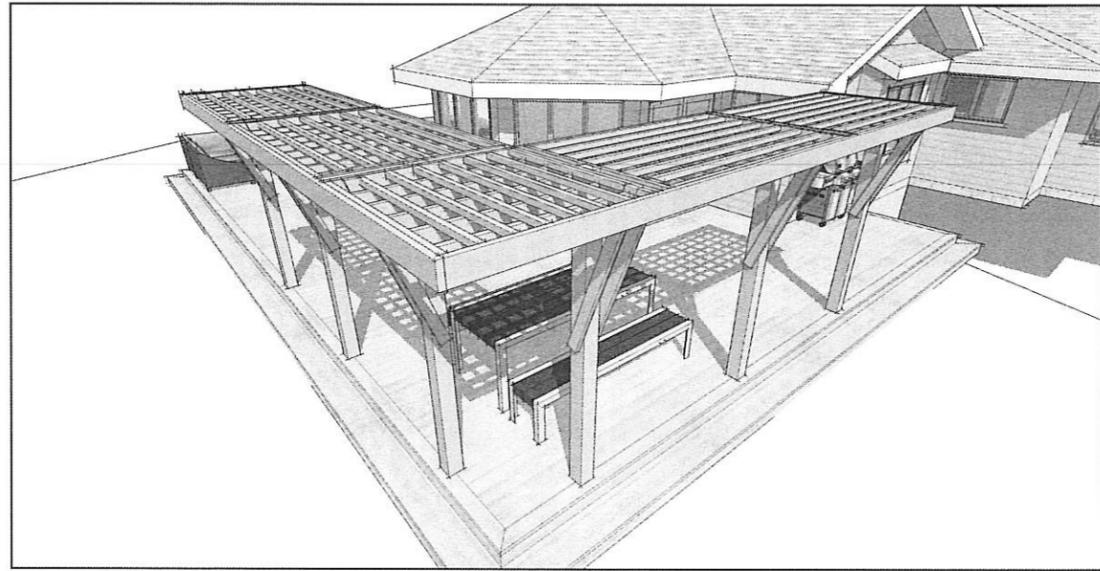
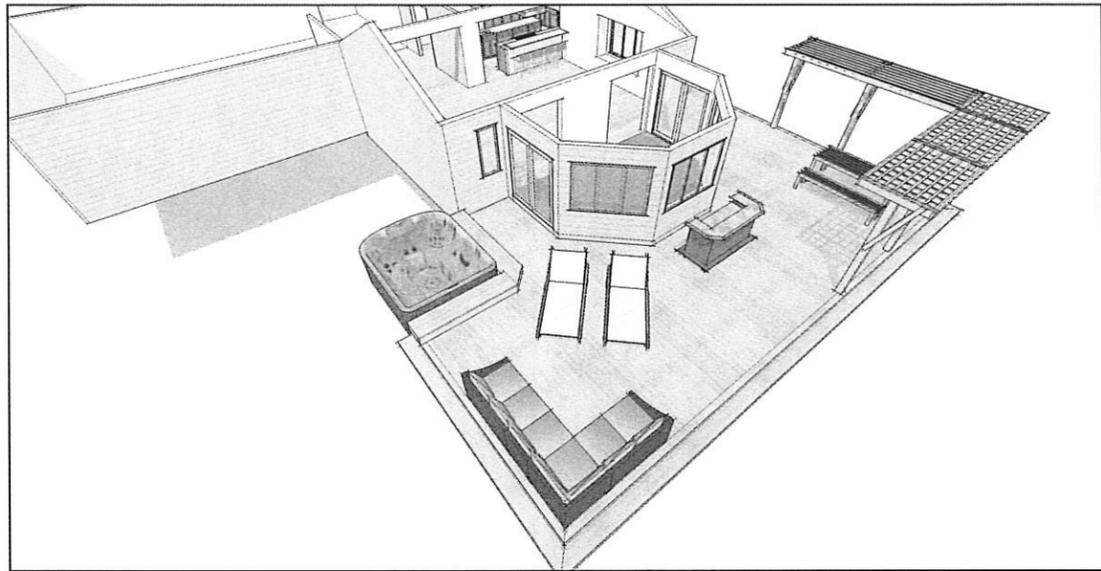
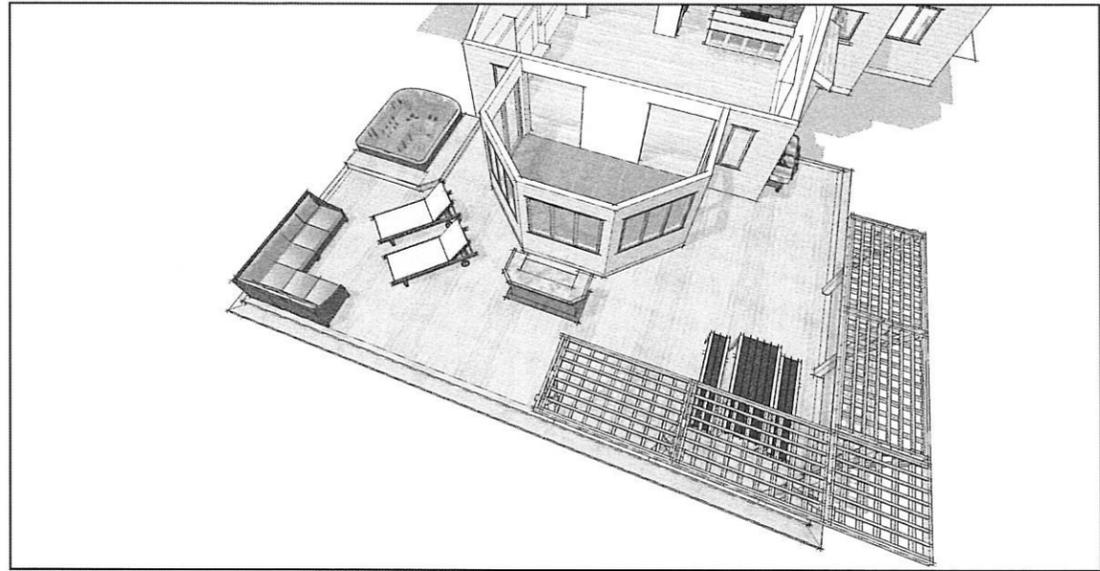


pergola - elevation
scale: 1" = 2'



pergola - plan
scale: 1" = 2'





**wells
design**

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GLENDALE, WI 53127
T 414.333.0837
F 414.331.6122
wellsdesign@mac.com

02.01.16

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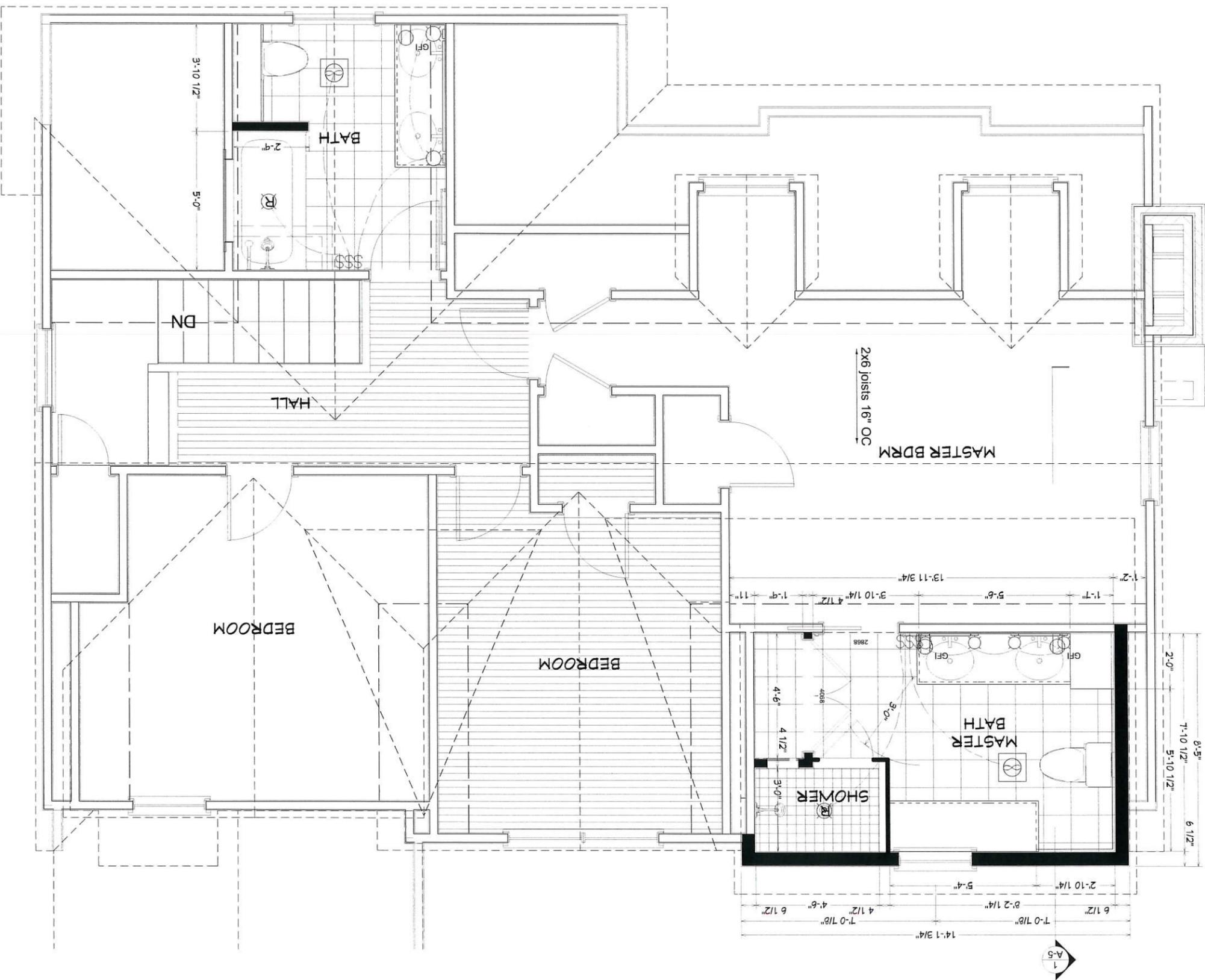
Schedler - deck remodel

perspectives
scale: none

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7/7

NEW SECOND FLOOR PLAN
SHED ROOF OPTION
1/4" = 1'-0"



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FEB 15 2016
VILLAGE OF ELM GROVE

- NOTES:
- WOOD SPECIES:
 - STAIN COLOR:
 - DOOR STYLE:
 - FINISHED SIDES:
 - BACKSPLASH MATERIAL:
 - BACKSPLASH SIDES:
 - COUNTERTOP MATERIAL:
- Signature: _____

DRAWN: RD
DATE: 1/14/16
JOB NO.: WALZ
SCALE: AS NOTED
SHEET: A-1
OF 6 SHEETS

REVISIONS	DATE	BY	DATE	BY
	2/10/16	RD	2/15/16	RD

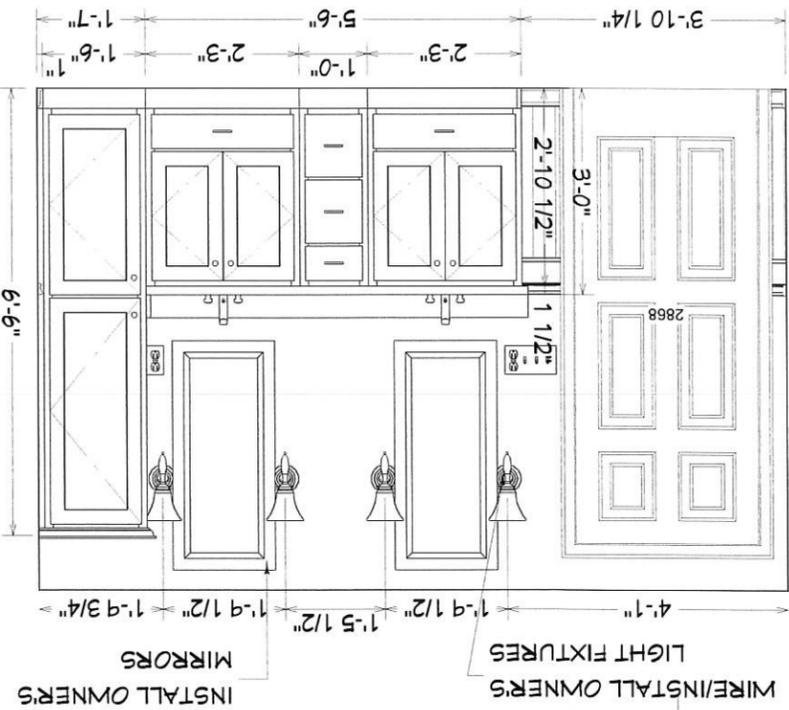
PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
1075 HIGHLAND DR
ELM GROVE, WI
414-550-5092



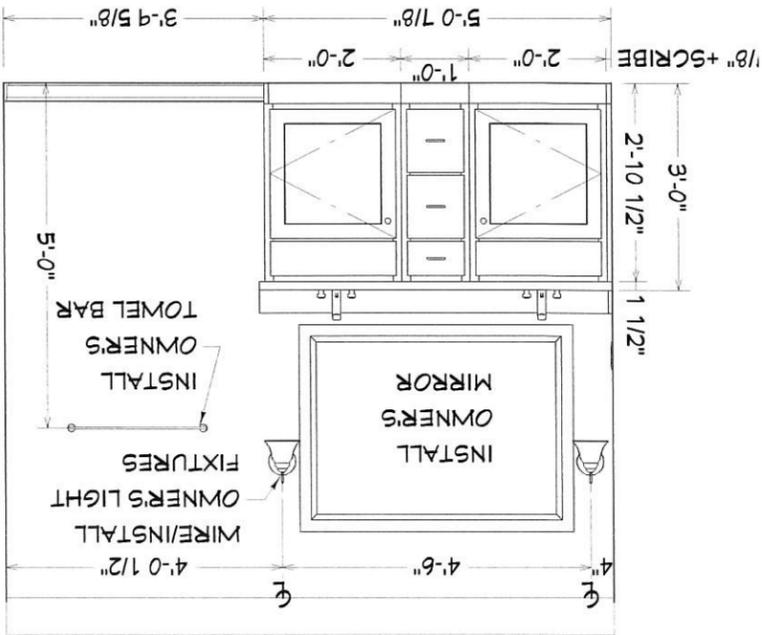
MISCONSIN'S LEADING REMODELER
515 BAY VIEW ROAD, SUITE 105
MUKWONAGO, WISCONSIN 53149
O: 262-363-9162 F: 262-365-9619
CONTRACTOR #: 605567
QUALIFIER #: 605571

NOTICE:
It is intended that the plans, details, reports, and specifications be used in accordance with the building code and the rules and regulations of the Village of Elm Grove, Wisconsin. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall also be responsible for obtaining all necessary insurance and bonding. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the removal and disposal of all debris. The contractor shall be responsible for the cleanup of the site. The contractor shall be responsible for the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills. The contractor shall be responsible for the maintenance of the site. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the removal and disposal of all debris. The contractor shall be responsible for the cleanup of the site. The contractor shall be responsible for the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills. The contractor shall be responsible for the maintenance of the site.

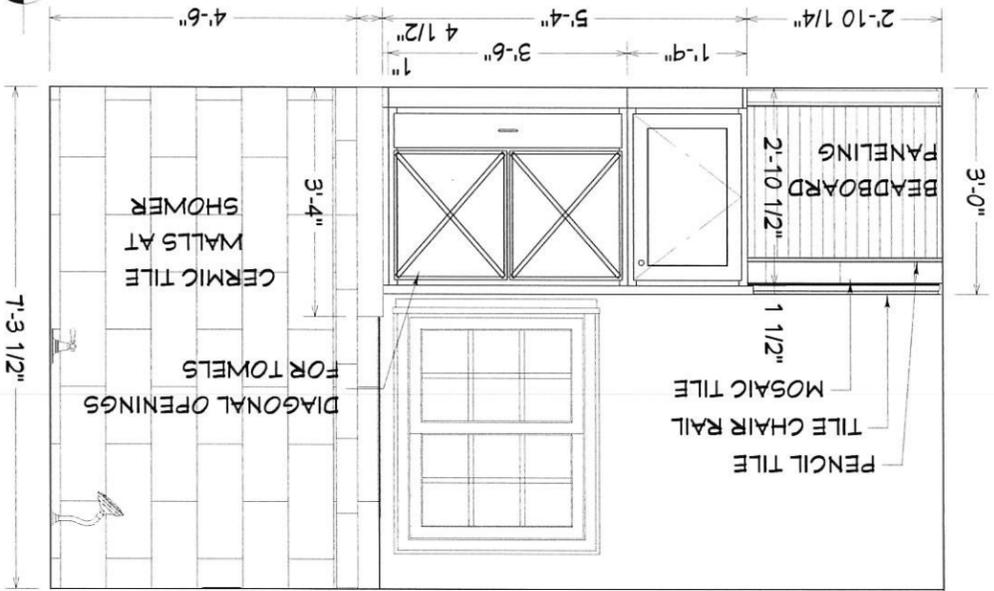
MASTER BATH VANITY ELEVATION



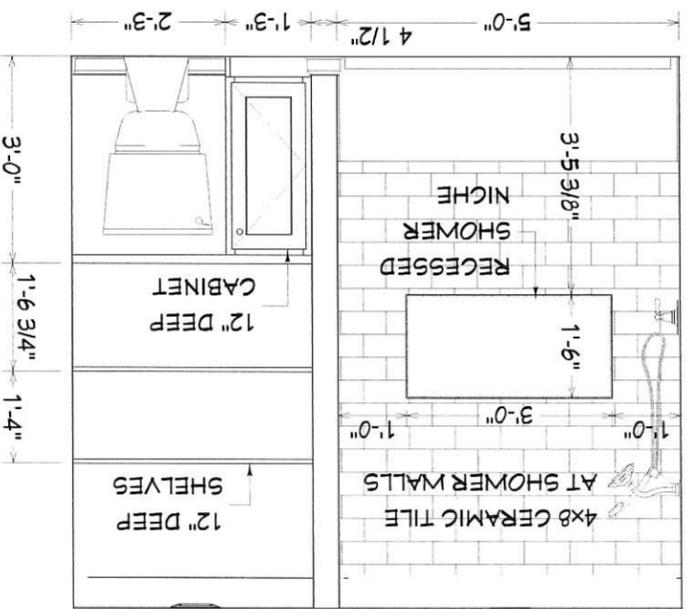
MAIN BATH VANITY ELEVATION



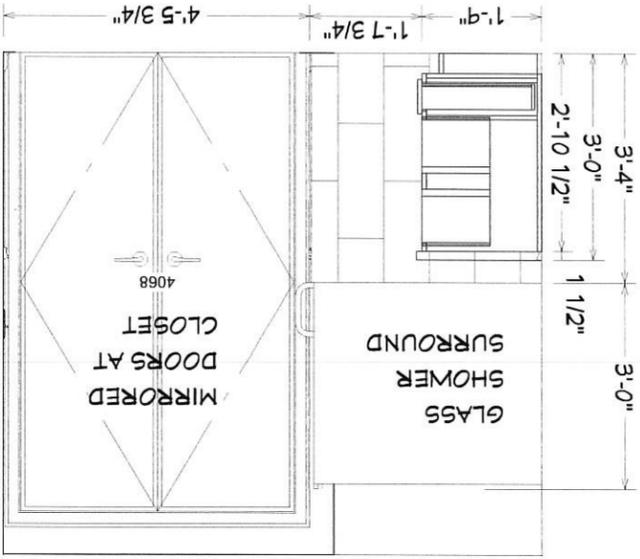
MASTER BATH ELEVATION



MAIN BATH SHOWER ELEVATION



MASTER BATH SHOWER ELEVATION



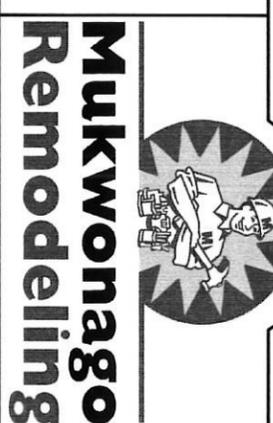
NOTES:
WOOD SPECIES:
STAIN COLOR:
DOOR STYLE:
FINISHED SIDES:
BACKSPLASH MATERIAL:
BACKSPLASH SIDES:
COUNTERTOP MATERIAL:
Signature: _____

DESIGN SET - NOT FOR CONSTRUCTION DOCUMENTS
CONSTRUCTION DOCUMENTS
CONTRACT DOCUMENTS
OF 6 SHEETS

DRAWN: RD
DATE: 1/14/16
JOB NO.: WALZ
SCALE: AS NOTED
SHEET: A-2

REVISIONS	DATE	BY
	2/10/16	RD
	2/15/16	RD

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
1075 HIGHLAND DR
ELM GROVE, WI
414-550-5092



WISCONSIN'S LEADING REMODELER
575 BAY VUE ROAD, SUITE 105
MUKWONAGO, WISCONSIN 53149
O: 262-363-9762 F: 262-363-9619
CONTRACTOR #: 685567
QUALIFIER #: 685571

NOTICE:
It is understood that the price, date, terms, and specifications listed herein were given to the Owner by the Contractor and are the basis of the contract. The Contractor shall be responsible for the accuracy of the information provided. The Contractor shall be responsible for the accuracy of the information provided. The Contractor shall be responsible for the accuracy of the information provided.

NOTES:
 WOOD SPECIES:
 STAIN COLOR:
 DOOR STYLE:
 FINISHED SIDES:
 BACKSPLASH MATERIAL:
 BACKSPLASH SIDES:
 COUNTERTOP MATERIAL:
 Signature: _____

DESIGN SET - NOT FOR CONSTRUCTION
 CONTRACT DOCUMENTS
 CONSTRUCTION DRAWINGS

DRAWN: RD
 DATE: 1/14/16
 JOB NO.: WALZ
 SCALE: AS NOTED
 SHEET: A-3
 OF 6 SHEETS

REVISIONS	
DATE	BY
2/10/16	RD
2/15/16	RD

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
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 ELM GROVE, WI
 414-550-5092

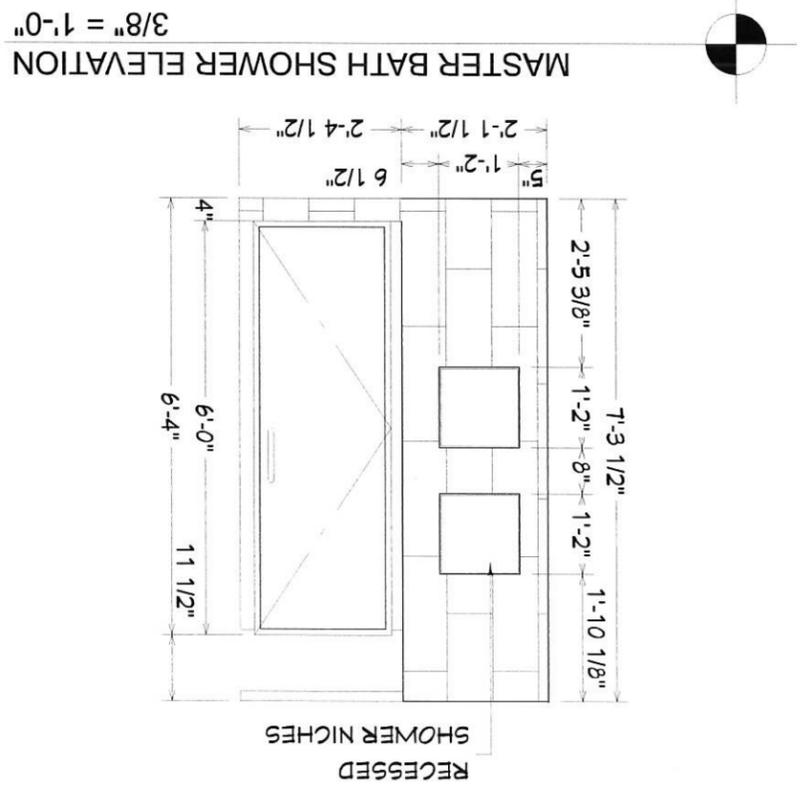
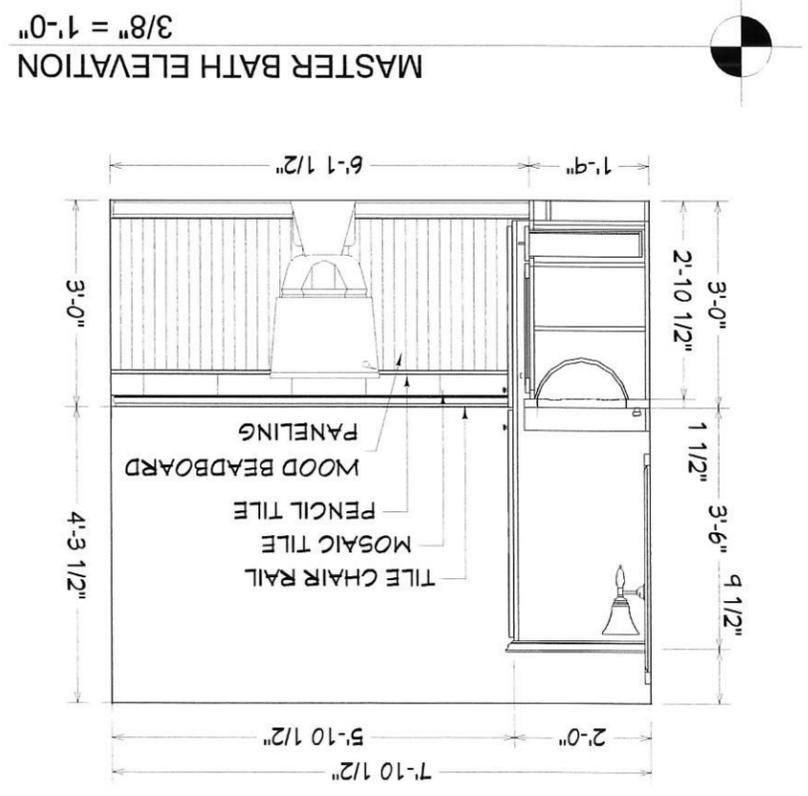


Mukwonago Remodeling

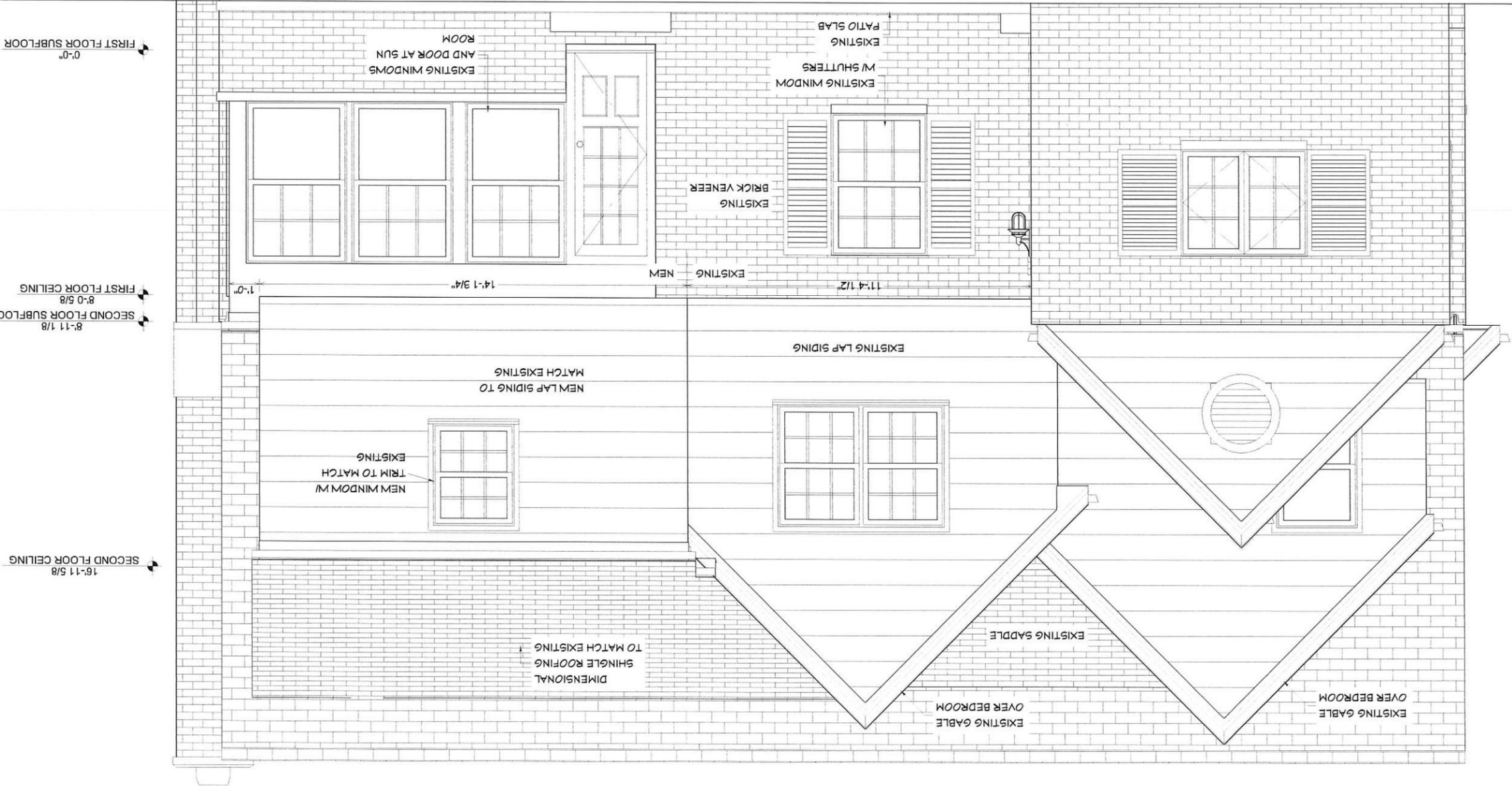
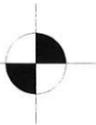
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 MUKWONAGO, WISCONSIN 53149
 O: 262-363-9762 F: 262-363-9619
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NOTICE:
 It is understood that the plans, specifications, and instructions contained herein were prepared by the architect and that the contractor shall be responsible for the construction of the work in accordance with the same. The architect shall not be responsible for the construction of the work in accordance with the same. The contractor shall be responsible for the construction of the work in accordance with the same.



REAR (WEST) ELEVATION
1/4" = 1'-0"



0'-0" FIRST FLOOR SUBFLOOR

8-11 1/8 SECOND FLOOR SUBFLOOR
8-0 5/8 FIRST FLOOR CEILING

16-11 5/8 SECOND FLOOR CEILING

- NOTES:
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 - COUNTERTOP MATERIAL:
- Signature: _____
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 - CONTRACT DOCUMENTS
 - CONSTRUCTION DRAWINGS

DRAWN: RD
DATE: 1/14/16
JOB NO.: WALZ
SCALE: AS NOTED
SHEET: A-4
OF 6 SHEETS

REVISIONS	DATE	BY
	2/10/16	RD
	2/15/16	RD

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ELM GROVE, WI
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Mukwonago Remodeling

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MUKWONAGO, WISCONSIN 53149
O: 262-363-9762 F: 262-363-9619
CONTRACTOR #: 685567
QUALIFIER #: 685571

NOTICE:
It is understood that the owner, design team, and specifications furnished have been reviewed by Mukwonago Remodeling, LLC. Any order will be the responsibility of Mukwonago Remodeling, LLC. Mukwonago Remodeling, LLC is not responsible for the design or construction of the project. Mukwonago Remodeling, LLC is a contractor and is not an architect. Mukwonago Remodeling, LLC is not responsible for the design or construction of the project. Mukwonago Remodeling, LLC is a contractor and is not an architect. Mukwonago Remodeling, LLC is not responsible for the design or construction of the project. Mukwonago Remodeling, LLC is a contractor and is not an architect.

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RD	RD
2/10/16	2/15/16

REVISIONS

PROPOSED "BATH ADDITION" FOR THE:

WALZ RESIDENCE

1075 HIGHLAND DR
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414-550-5092



MISCONSIN'S LEADING REMODELER

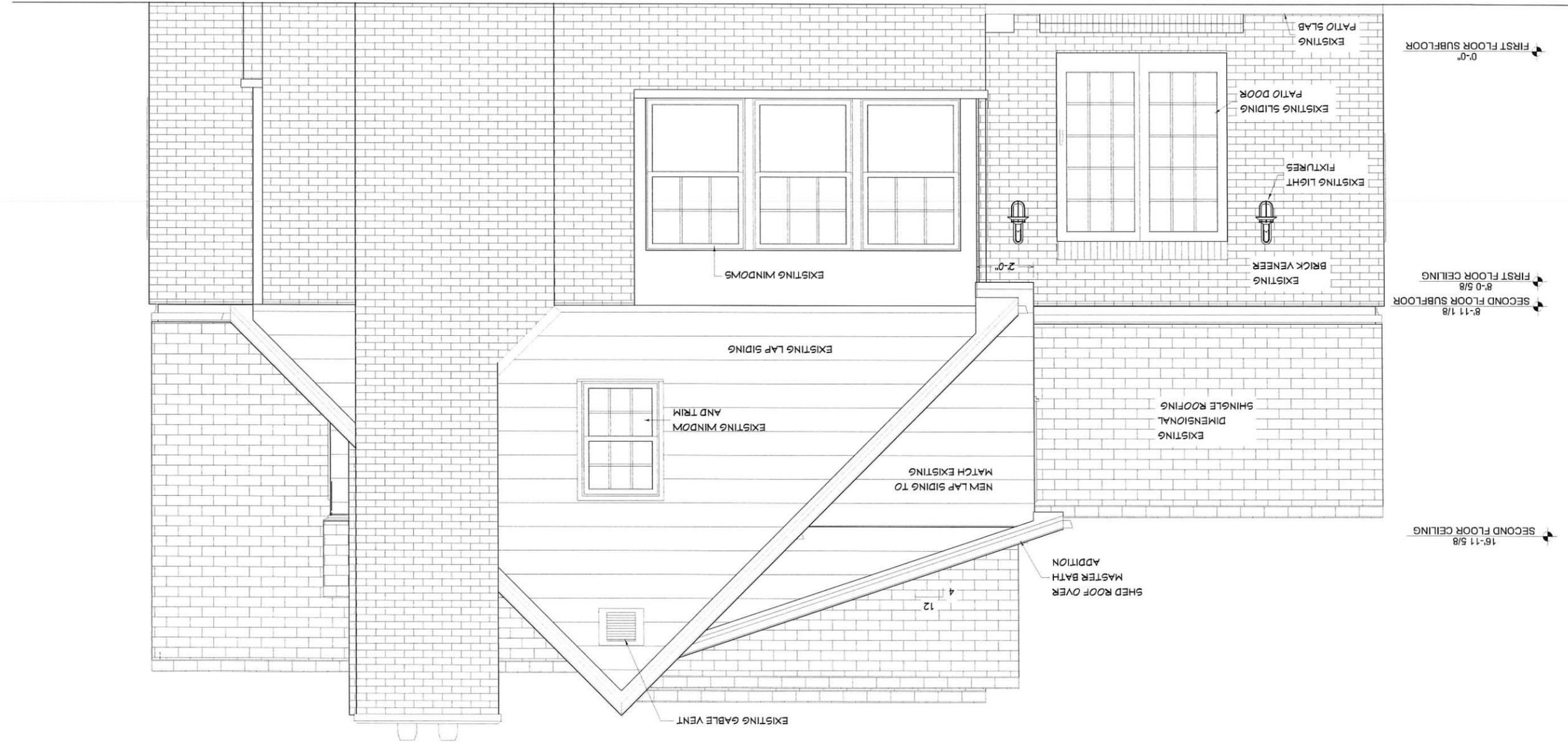
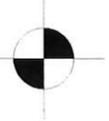
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MUKWONAGO, WISCONSIN 53149
O: 262-363-9762 F: 262-363-9619
CONTRACTOR #: 685567
QUALIFIER #: 685571

NOTICE:

It is understood that the plans, specifications, and schedules prepared by Mukwonago Remodeling, LLC, are for the use of the contractor and are not to be used for any other purpose. Mukwonago Remodeling, LLC, shall not be held responsible for any errors or omissions on the part of the contractor. Mukwonago Remodeling, LLC, shall not be held responsible for any delays or stoppages caused by the contractor. Mukwonago Remodeling, LLC, shall not be held responsible for any damage to the property of the contractor. Mukwonago Remodeling, LLC, shall not be held responsible for any damage to the property of the contractor. Mukwonago Remodeling, LLC, shall not be held responsible for any damage to the property of the contractor.

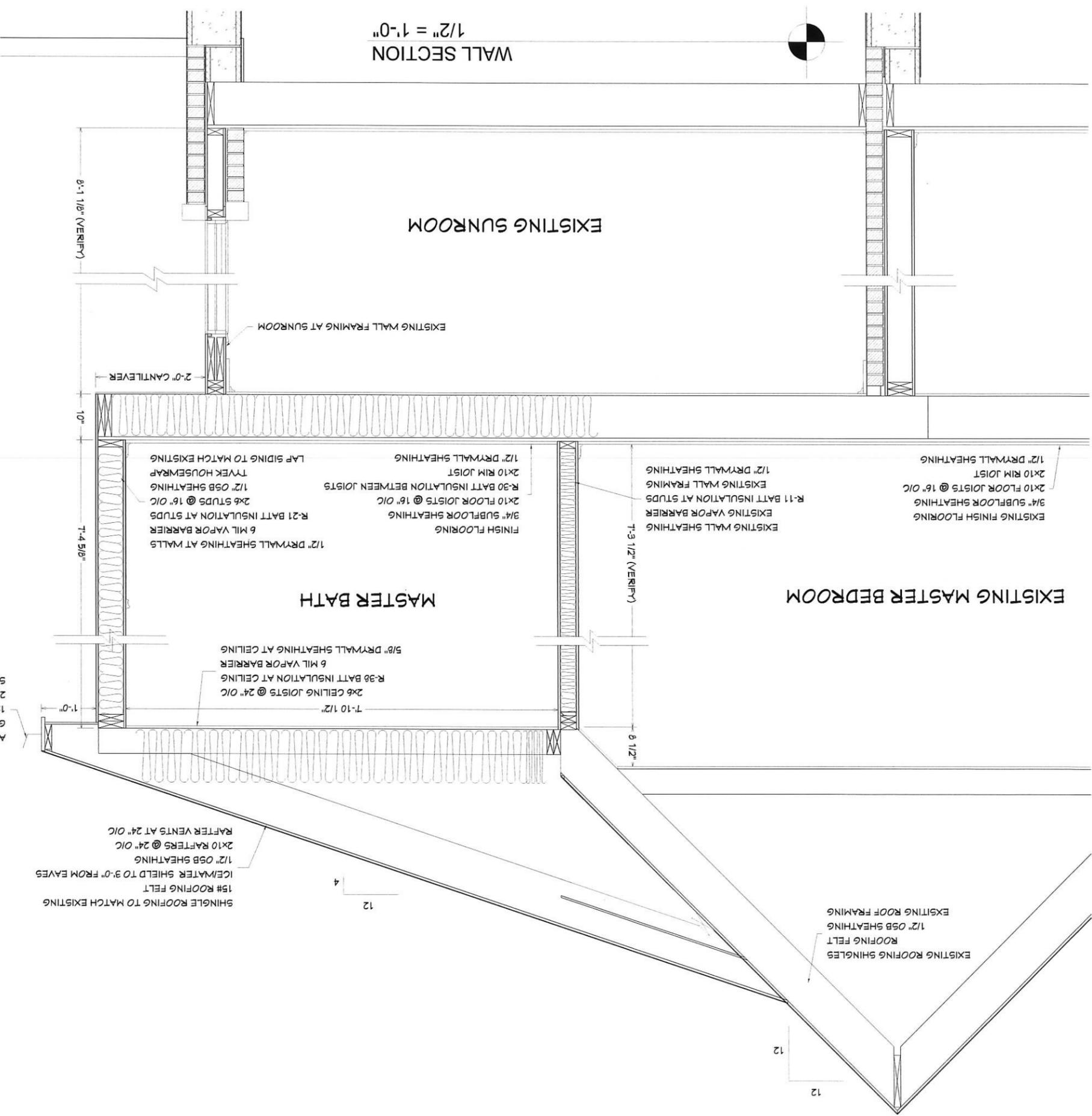
- NOTES:
- WOOD SPECIES:
 - STAIN COLOR:
 - DOOR STYLE:
 - FINISHED SIDES:
 - BACKSPASH MATERIAL:
 - BACKSPASH SIDES:
 - COUNTERTOP MATERIAL:
- Signature: _____
- DESIGN SET - NOT FOR CONSTRUCTION
 - CONTRACT DOCUMENTS
 - CONSTRUCTION DRAWINGS

LEFT (SOUTH) ELEVATION
1/4" = 1'-0"



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NOTES:
 WOOD SPECIES:
 STAIN COLOR:
 DOOR STYLE:
 FINISHED SIDES:
 BACKSPLASH MATERIAL:
 BACKSPLASH SIDES:
 COUNTERTOP MATERIAL:
 Signature: _____
 DESIGN SET - NOT FOR CONSTRUCTION
 CONTRACT DOCUMENTS
 CONSTRUCTION DRAWINGS

DRAWN: RD
 DATE: 1/14/16
 JOB NO.: WALZ
 SCALE: AS NOTED
 SHEET: A-6
 OF 6 SHEETS

REVISIONS	DATE	BY	DATE	BY
	2/10/16	RD		
	2/15/16	RD		

PROPOSED "BATH ADDITION" FOR THE:
WALZ RESIDENCE
 1075 HIGHLAND DR
 ELM GROVE, WI
 414-550-5092



MISCONSIN'S
 LEADING
 REMODELER
 575 BAYVIEW ROAD - SUITE 105
 MUKWONAGO, WISCONSIN 53149
 O: 262-363-9762 F: 262-363-9619
 CONTRACTOR #: 685567
 QUALIFIER #: 685571

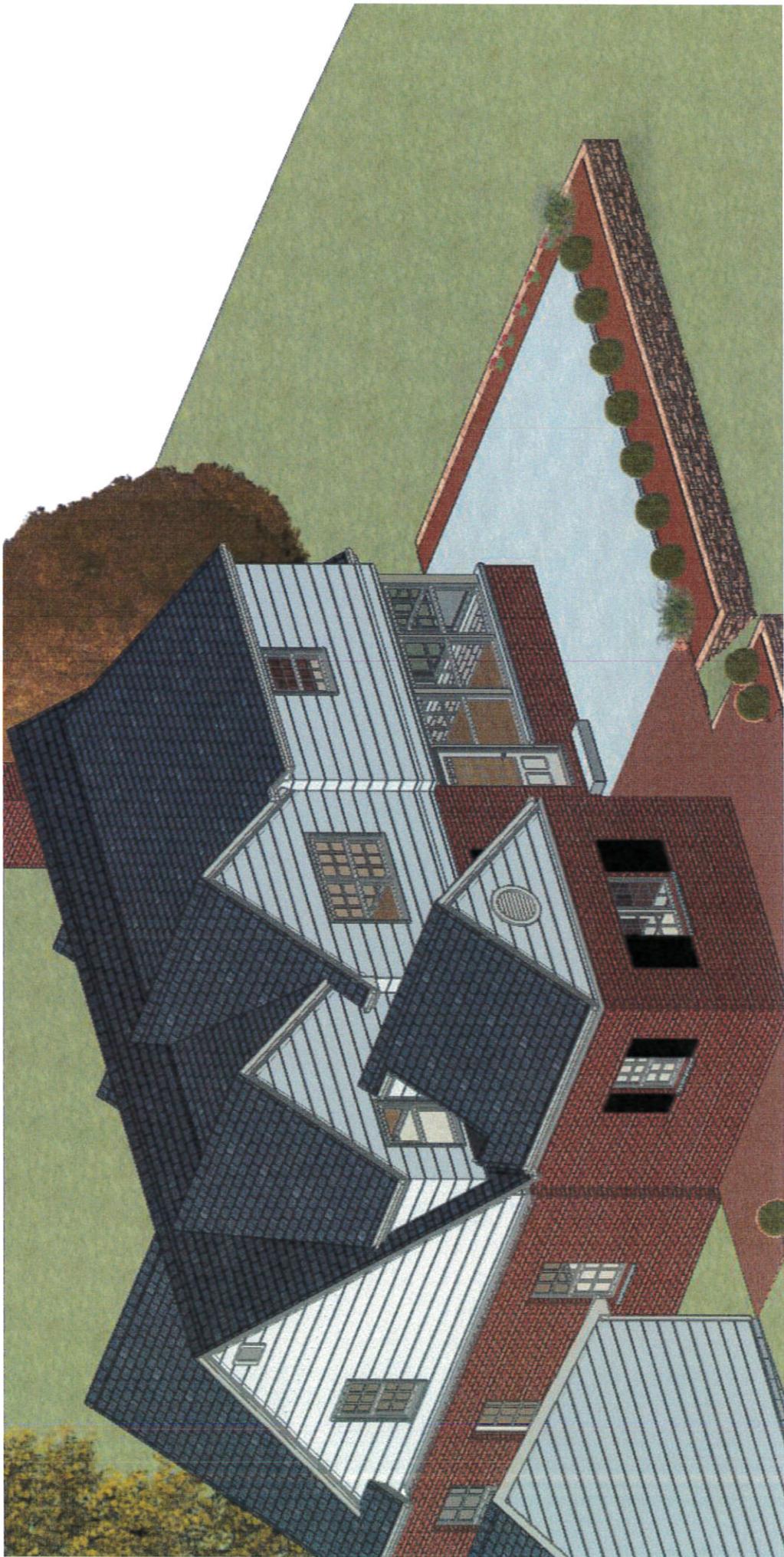
NOTICE:
 It is understood that the plans, details, designs, and specifications prepared hereon were prepared by the Contractor for the use of the Contractor and are not to be used for any other purpose without the written permission of Mukwonago Remodeling, LLC. Any other use of the plans, details, designs, and specifications prepared hereon by the Contractor without the written permission of Mukwonago Remodeling, LLC is prohibited. The Contractor shall be responsible for the accuracy of the information provided on the plans, details, designs, and specifications prepared hereon. Mukwonago Remodeling, LLC hereby disclaims any and all liability for any and all damages, including consequential damages, arising from the use of the plans, details, designs, and specifications prepared hereon. Mukwonago Remodeling, LLC is not responsible for any errors or omissions on the plans, details, designs, and specifications prepared hereon. Mukwonago Remodeling, LLC is not responsible for any changes or modifications to the plans, details, designs, and specifications prepared hereon. Mukwonago Remodeling, LLC is not responsible for any delays or interruptions in the construction process. Mukwonago Remodeling, LLC is not responsible for any accidents or injuries occurring on the construction site. Mukwonago Remodeling, LLC is not responsible for any damages to property or persons. Mukwonago Remodeling, LLC is not responsible for any costs or expenses incurred by the Contractor in connection with the construction process. Mukwonago Remodeling, LLC is not responsible for any taxes or fees levied on the Contractor. Mukwonago Remodeling, LLC is not responsible for any permits or licenses required for the construction process. Mukwonago Remodeling, LLC is not responsible for any insurance or bonding requirements. Mukwonago Remodeling, LLC is not responsible for any other matters not specifically mentioned in these terms and conditions.



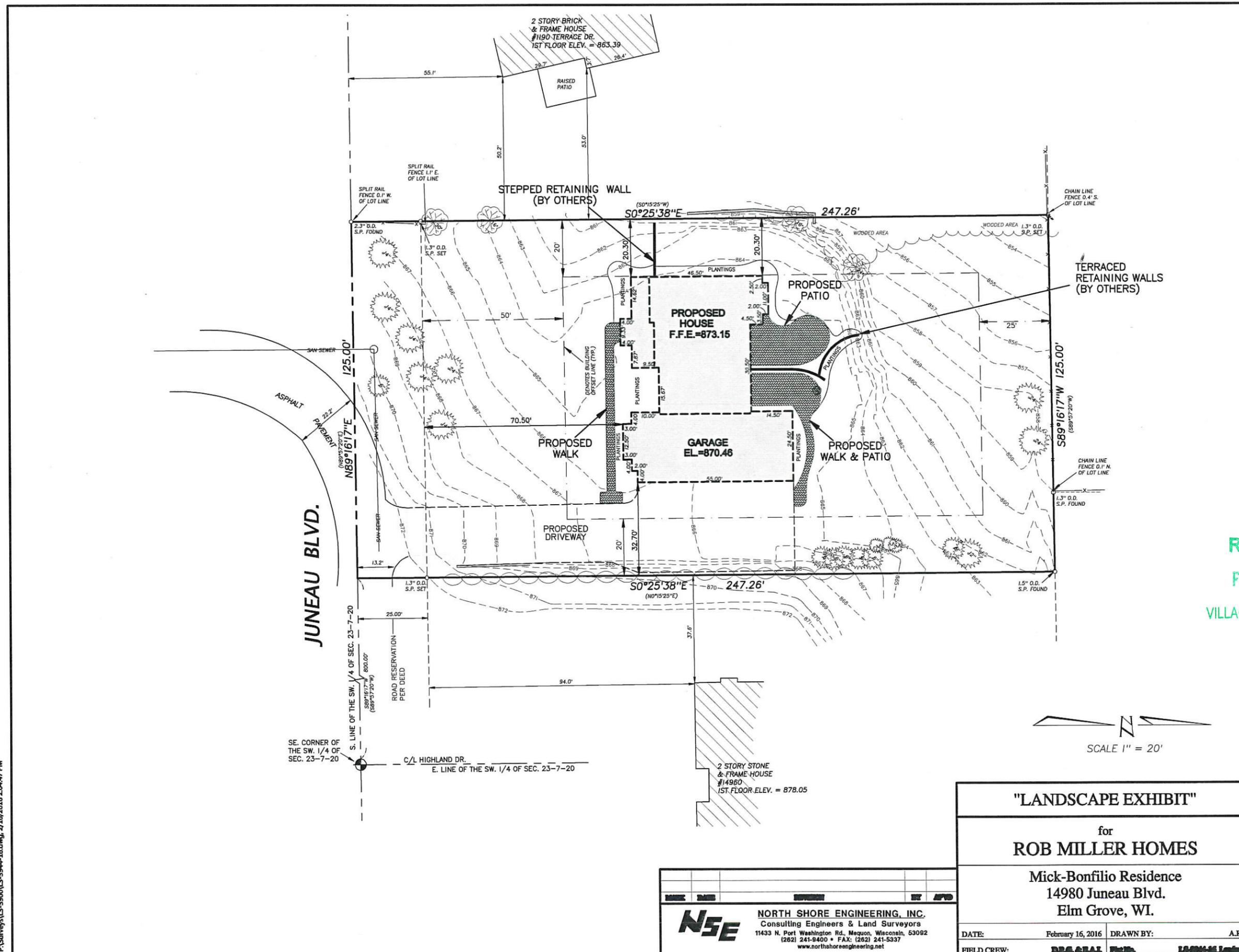
RECEIVED

FEB 15 2016

VILLAGE OF ELM GROVE



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RECEIVED
FEB 16 2016
VILLAGE OF ELM GROVE

"LANDSCAPE EXHIBIT"

for
ROB MILLER HOMES

Mick-Bonfilio Residence
14980 Juneau Blvd.
Elm Grove, WI.

DATE:	February 16, 2016	DRAWN BY:	A.R.H.
FIELD CREW:	DRG. & EAL	FILE NO.	LS-3944-16 Landscape

NSE NORTH SHORE ENGINEERING, INC.
 Consulting Engineers & Land Surveyors
 11433 N. Port Washington Rd., Mequon, Wisconsin, 53092
 (262) 241-9400 • FAX: (262) 241-5337
 www.northshoreengineering.net

RECEIVED
 FEB 16 2016
 VILLAGE OF ELM GROVE



1ST LIVING	1730 SQ. FT.
2ND LIVING	2279 SQ. FT.
LOWER LIVING	000 SQ. FT.
TOTAL LIVING	4009 SQ. FT.
SPORTS COURT	+ 487 SQ. FT.
GARAGE	922 SQ. FT.

EXTERIOR MATERIALS:
 SIDING: 4\"/>

1 OF 1

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	1/16/16	RM
2	REVISIONS	1/16/16	RM
3	REVISIONS	1/16/16	RM
4	REVISIONS	1/16/16	RM
5	REVISIONS	1/16/16	RM
6	REVISIONS	1/16/16	RM
7	REVISIONS	1/16/16	RM
8	REVISIONS	1/16/16	RM
9	REVISIONS	1/16/16	RM
10	REVISIONS	1/16/16	RM

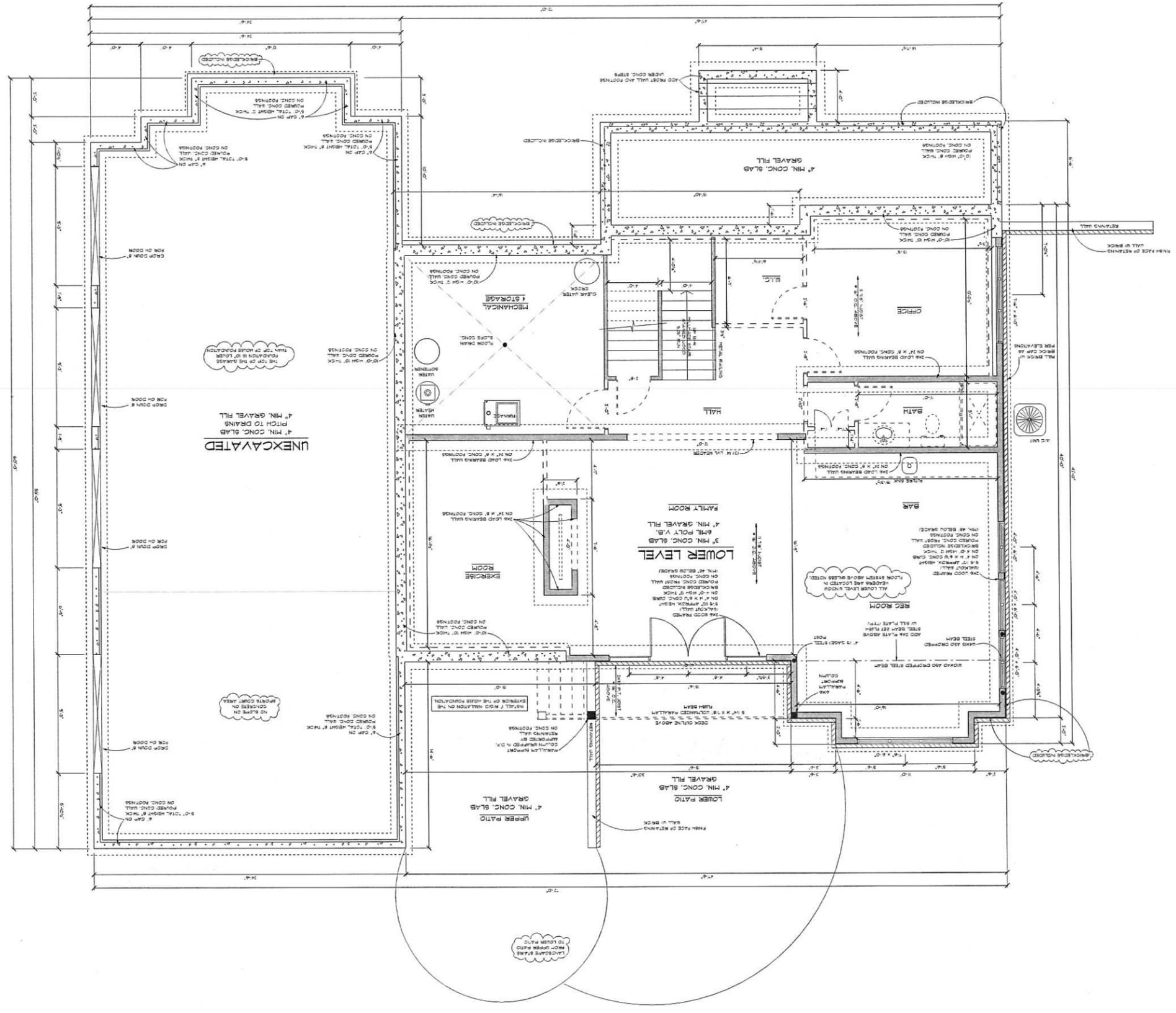
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 FAX: 360-646-9789
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 WWW.ROBMILLERDESIGN.COM

NOTICE TO CONTRACTORS & SUPPLIERS:
 Although every effort has been made in preparing these plans and checking them for accuracy, it is the responsibility of the contractor or supplier to contact general contractor or owner if there are any questions or concerns regarding the construction of these plans.

DESIGN *Style* ARCHITECTURE
 204 SOUTH 9TH ST
 DESMOINES, IA 50319

LOWER LEVEL LAYOUT



HEADER SCHEDULE

H-1	(2) 2X10S D.F. #2 or BV
H-2	(2) 1 3/4" X 9 1/2" LVL 2.0E
H-3	(2) 1 3/4" X 11 7/8" LVL 2.0E
H-4	(2) 1 3/4" X 14" LVL 2.0E
H-5	(2) 1 3/4" X 17" LVL 2.0E
H-6	(2) 1 3/4" X 19" LVL 2.0E
H-7	(2) 1 3/4" X 21" LVL 2.0E

1ST LIVING	1730 SQ. FT.
2ND LIVING	2279 SQ. FT.
LOWER LIVING	4009 SQ. FT.
SPTS COURT	+ 487 SQ. FT.
GARAGE	922 SQ. FT.

- SPECIFICATIONS:
1. ALL OPENINGS ARE CASED, UNLESS NOTED.
 2. INTERIOR DOORS: 2 PANEL, FLAT - PAINTED
 3. INTERIOR DOORS: 2 PANEL, FLAT - PAINTED
 4. LOWER LEVEL: 8" HIGH DOOR (FUTURE)
 5. MAIN: 6" HIGH DOOR
 6. 2ND: 6" HIGH DOOR
 7. ALL MILLWORK ON ALL 3 LEVELS IS PAINTED
 8. 1 1/4" HIGH BASE - PAINTED
 9. 3 1/2" CASING - PAINTED
 10. REFERENCE HOLDING DETAIL ON PAGE 71
 11. ALL WINDOWS ARE WOOD INTERIOR & CLAD EXTERIOR.
 12. WINDOW BRAND: MARVIN INTEGRITY
 13. GRANITE C-TOPS IN KITCHEN
 14. ORANGE PEEL TEXTURE DRYWALL FINISH
 15. SQUARE BEAD DRYWALL CORNERS
 16. ALL CLOSETS DESIGNS ARE LABELED ON PLAN.
 17. MATERIAL FOR CLOSETS IS MAPLE FLUCCO.
 18. INCLUDE KITCHEN APPLIANCE ALLOWANCE
 19. WINDOW FINISHING:
 20. LOWER LEVEL: SET BOTTOM OF WINDOW HEADER & B-C
 21. FIRST FLOOR: SET BOTTOM OF WINDOW HEADER & B-C
 22. SECOND FLOOR: SET BOTTOM OF WINDOW HEADER, VARIES

ROB MILLER
Home

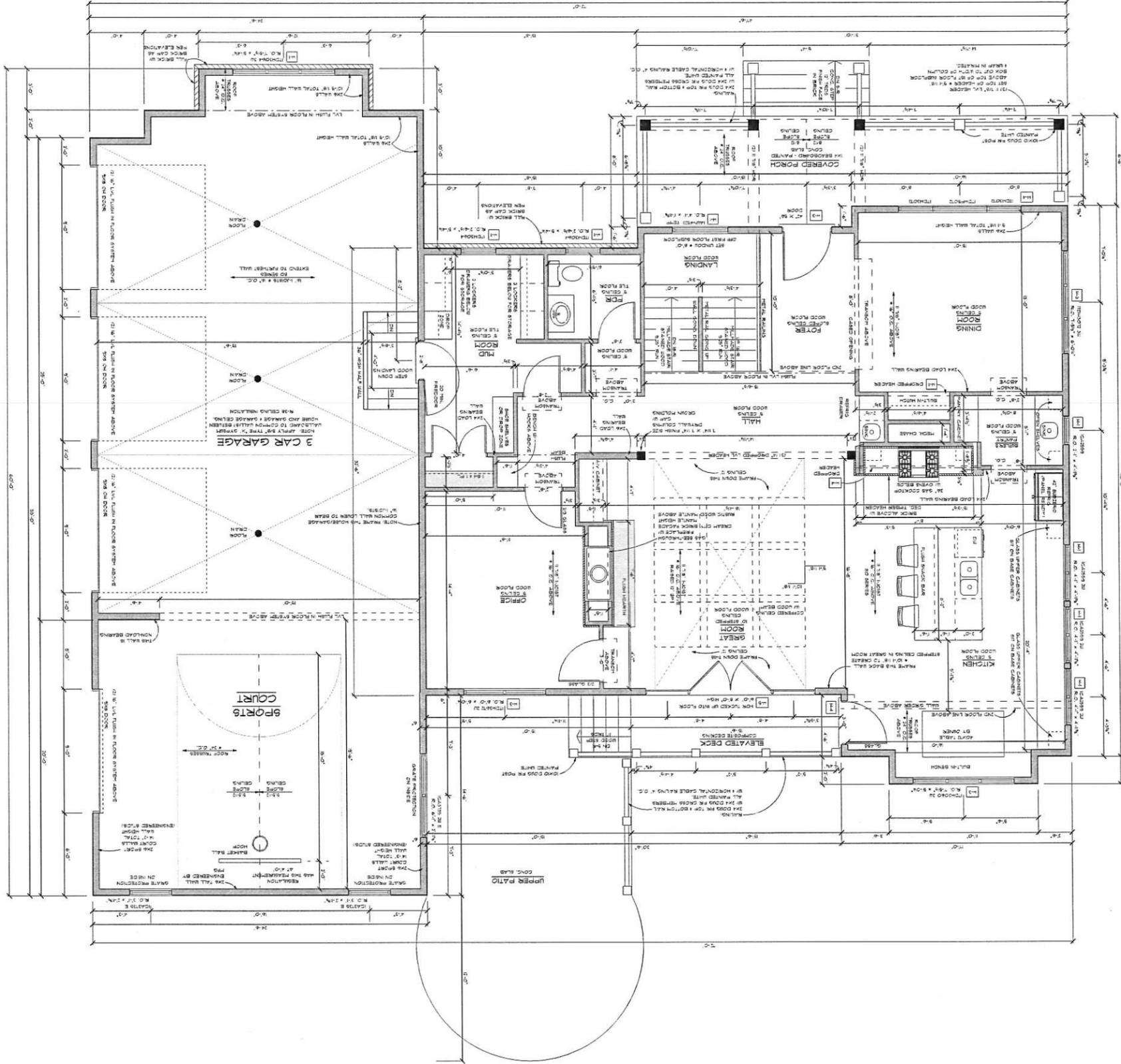
P.O. BOX 10039
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FAX: 262-646-9193
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WWW.ROBMILLERDESIGN.COM

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DESIGN *Style*

1ST FLOOR LAYOUT

SCALE: 1/4" = 1'-0"

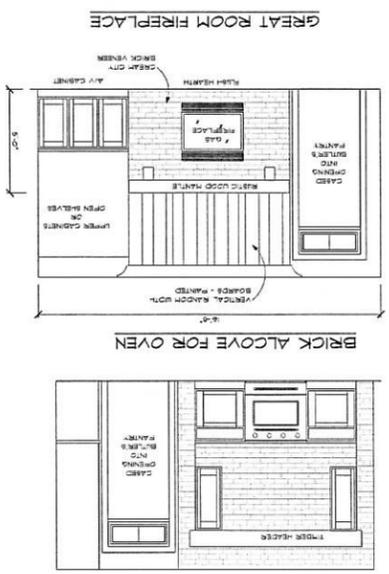


HEADER SCHEDULE

H-1	(2) 2X10'S D.P.F. #1 OR BV
H-2	(2) 1 3/4" X 9 1/2" LVL 2.0E
H-3	(2) 1 3/4" X 11 7/8" LVL 2.0E
H-4	(2) 1 3/4" X 14" LVL 2.0E
H-5	(3) 1 3/4" X 17" LVL 2.0E
H-6	(3) 1 3/4" X 19" LVL 2.0E
H-7	(3) 1 3/4" X 21" LVL 2.0E

1ST LIVING	1730 SQ. FT.
2ND LIVING	2279 SQ. FT.
LOWER LIVING	000 SQ. FT.
TOTAL LIVING	4009 SQ. FT.
SPORTS COURT	+ 481 SQ. FT.
GARAGE	922 SQ. FT.

- SPECIFICATIONS:
1. ALL OPENINGS ARE CASED, UNLESS NOTED.
 2. INTERIOR DOORS: 3 PANEL, FLAT - PAINTED.
 - a. LOWER LEVEL: 8'-0" HIGH DOOR (FUTURE)
 - b. MAIN: 6'-8" HIGH DOOR
 - c. 2ND: 6'-8" HIGH DOOR
 3. ALL MILLWORK ON ALL 2 LEVELS IS PAINTED.
 - a. 3 1/2" CASING - PAINTED
 - b. 1 1/2" HIGH BASE - PAINTED
 - (REFERENCE HOLDING DETAIL ON PAGE 1)
 4. ALL WINDOWS ARE WOOD INTERIOR / CLAD EXTERIOR.
 - a. GRILLS PER ELEVATIONS.
 - b. WINDOW BRAND MAY VARY INTEGRITY.
 5. GRANITE C-TOPS IN KITCHEN.
 6. ORANGE BEAD TEXTURE DRYWALL FINISH.
 7. ALL CLOSETS DESIGNS ARE LABELED ON PLAN.
 8. SQUARE BEAD DRYWALL CORNERS.
 9. LOWER FINISHES:
 - a. SET BOTTOM OF WINDOW HEADERS & 8'-0" LOWER LEVEL, SET BOTTOM OF WINDOW HEADERS & 8'-0"
 - b. SECOND FLOOR, SET BOTTOM OF WINDOW HEADERS, VARIES
 - c. WINDOW FINISHES:



4 OF 1

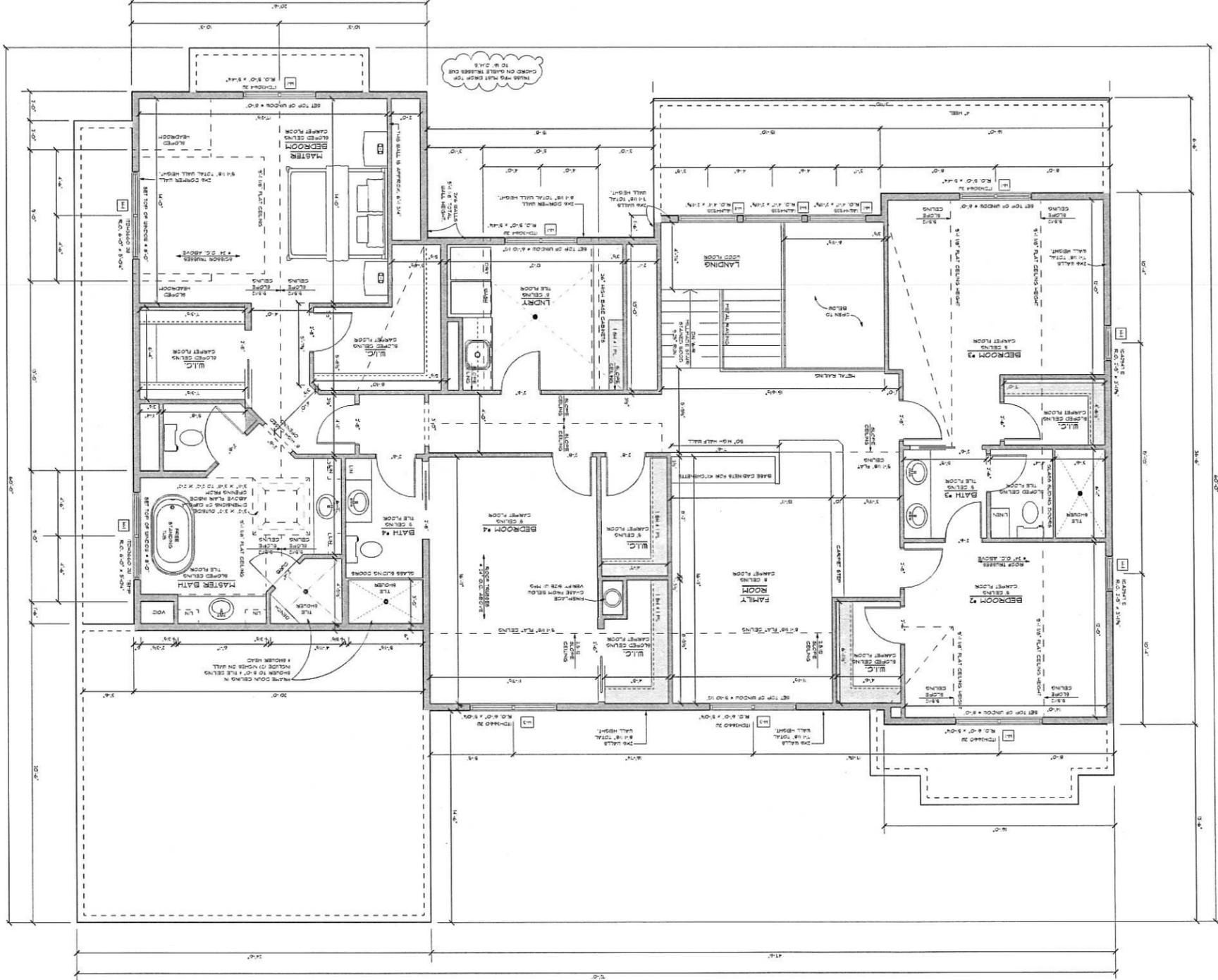
REVISION	DATE	DESCRIPTION
1	11/16	ISSUE FOR PERMIT
2	11/16	ISSUE FOR PERMIT
3	11/16	ISSUE FOR PERMIT
4	11/16	ISSUE FOR PERMIT
5	11/16	ISSUE FOR PERMIT
6	11/16	ISSUE FOR PERMIT
7	11/16	ISSUE FOR PERMIT
8	11/16	ISSUE FOR PERMIT
9	11/16	ISSUE FOR PERMIT
10	11/16	ISSUE FOR PERMIT

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 WWW.ROBMILLERHOMES.COM

NOTICE TO CONTRACTORS & SUPPLIERS
 ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR OR SUPPLIER TO CONTACT GENERAL CONTRACTOR OR OWNER IF THERE ARE ANY CONCERNS OR DISCREPANCIES DURING THE CONSTRUCTION OF THESE PLANS.

2ND FLOOR LAYOUT



HEADER SCHEDULE

H-1	(2) 2X10'S D.F. #2 OR BV
H-2	(2) 1 3/4" X 9 1/2" LVL 2.0E
H-3	(2) 1 3/4" X 14" LVL 2.0E
H-4	(3) 1 3/4" X 9 1/2" LVL 2.0E
H-5	(3) 1 3/4" X 11 7/8" LVL 2.0E

1ST LIVING	1730 SQ. FT.
2ND LIVING	2279 SQ. FT.
LOWER LIVING	000 SQ. FT.
TOTAL LIVING	4009 SQ. FT.
SPORTS COURT	+ 481 SQ. FT.
GARAGE	922 SQ. FT.

- REVISIONS:
1. ALL OPENINGS ARE CASED, UNLESS NOTED.
 2. INTERIOR DOORS: 2 PANEL FLAT - PAINTED
 3. LOWER LEVEL: 6'-0" HIGH DOOR (FUTURE)
 4. MAIN: 6'-8" HIGH DOOR
 5. 2ND: 6'-8" HIGH DOOR
 6. ALL MILLWORK ON ALL 2 LEVELS IS PAINTED
 7. 1 1/4" HIGH BASE - PAINTED
 8. 3/4" CASING - PAINTED (REFERENCE MOLDING DETAIL ON PAGE 7)
 9. ALL WINDOWS ARE WOOD INTERIOR + CLAD EXTERIOR.
 10. WINDOW BRAND MARVIN INTEGRITY
 11. GRANT C-TOPS IN KITCHEN.
 12. ORANGE PEEL TEXTURE DRYWALL FINISH.
 13. SQUARE BEAD DRYWALL CORNERS
 14. ALL CLOSETS DESIGNS ARE LABELED ON PLAN.
 15. MATERIAL FOR CLOSETS IS MAPLE PLYWOOD.
 16. WINDOW PLANTING:
 17. LOWER LEVEL: SET BOTTOM OF WINDOW HEADER + 6'-0"
 18. FIRST FLOOR: SET BOTTOM OF WINDOW HEADER + 6'-0"
 19. SECOND FLOOR: SET BOTTOM OF WINDOW HEADER, VARIES

REVISIONS

NO.	DATE	DESCRIPTION
1	12/16	ISSUE FOR PERMIT
2	12/16	ISSUE FOR PERMIT
3	12/16	ISSUE FOR PERMIT
4	12/16	ISSUE FOR PERMIT
5	12/16	ISSUE FOR PERMIT
6	12/16	ISSUE FOR PERMIT
7	12/16	ISSUE FOR PERMIT
8	12/16	ISSUE FOR PERMIT
9	12/16	ISSUE FOR PERMIT
10	12/16	ISSUE FOR PERMIT
11	12/16	ISSUE FOR PERMIT
12	12/16	ISSUE FOR PERMIT
13	12/16	ISSUE FOR PERMIT
14	12/16	ISSUE FOR PERMIT
15	12/16	ISSUE FOR PERMIT
16	12/16	ISSUE FOR PERMIT
17	12/16	ISSUE FOR PERMIT
18	12/16	ISSUE FOR PERMIT
19	12/16	ISSUE FOR PERMIT
20	12/16	ISSUE FOR PERMIT

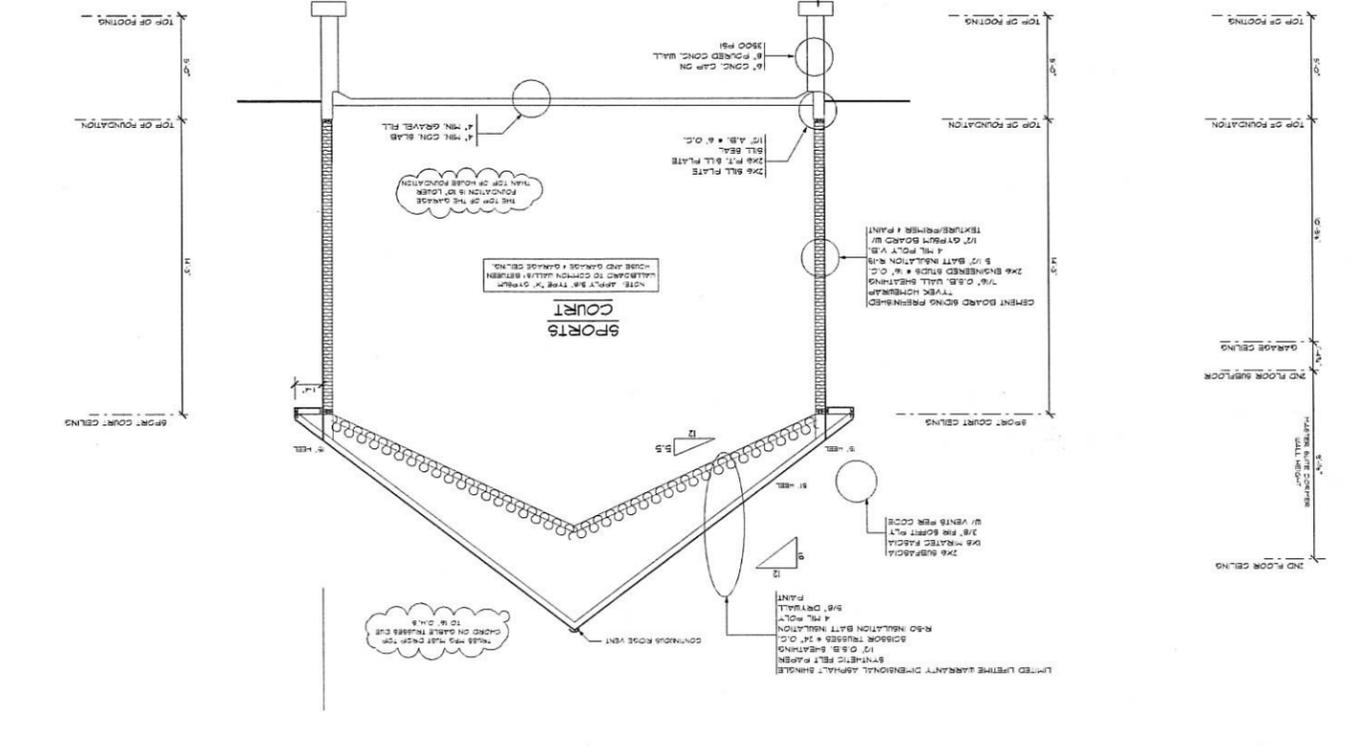
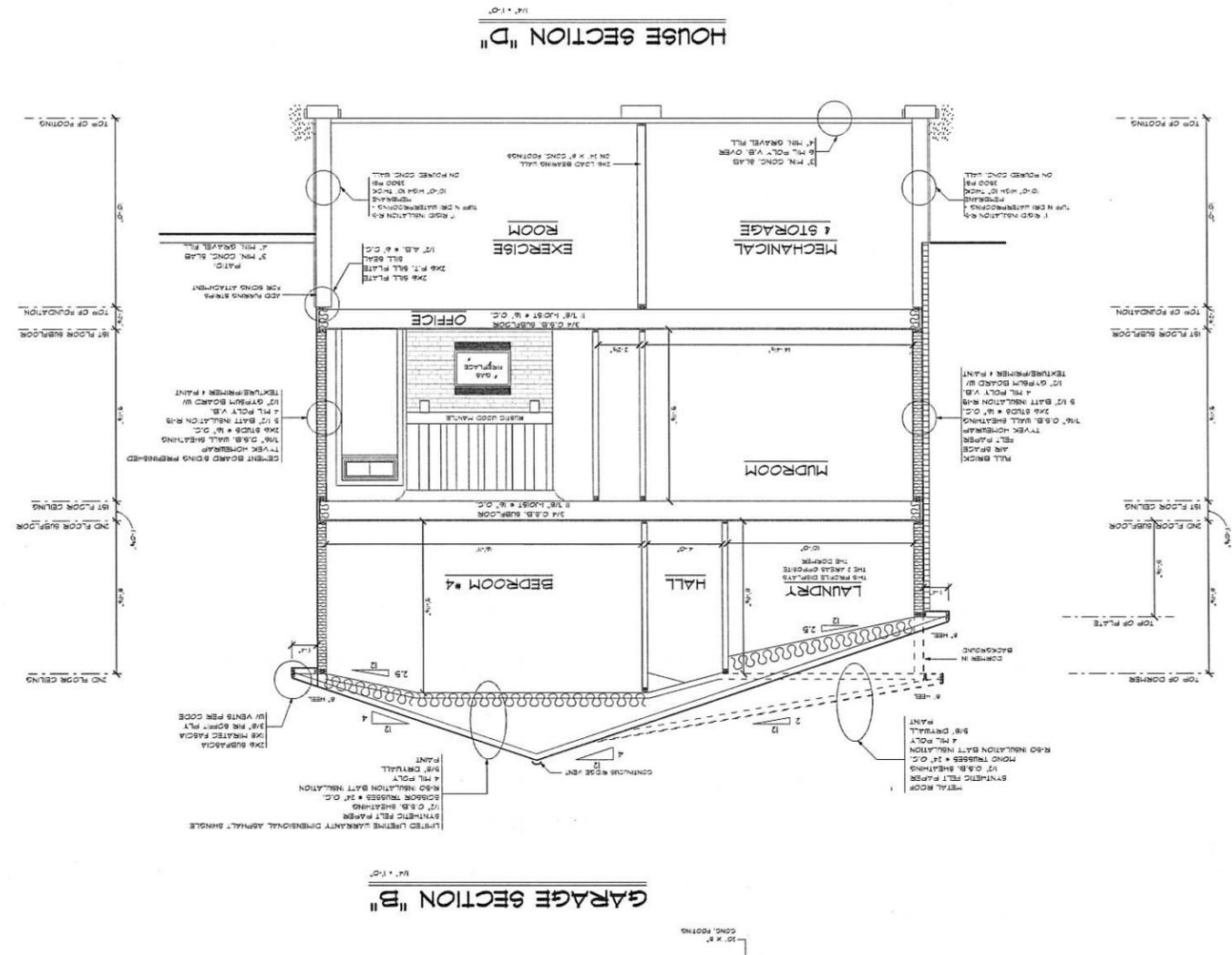
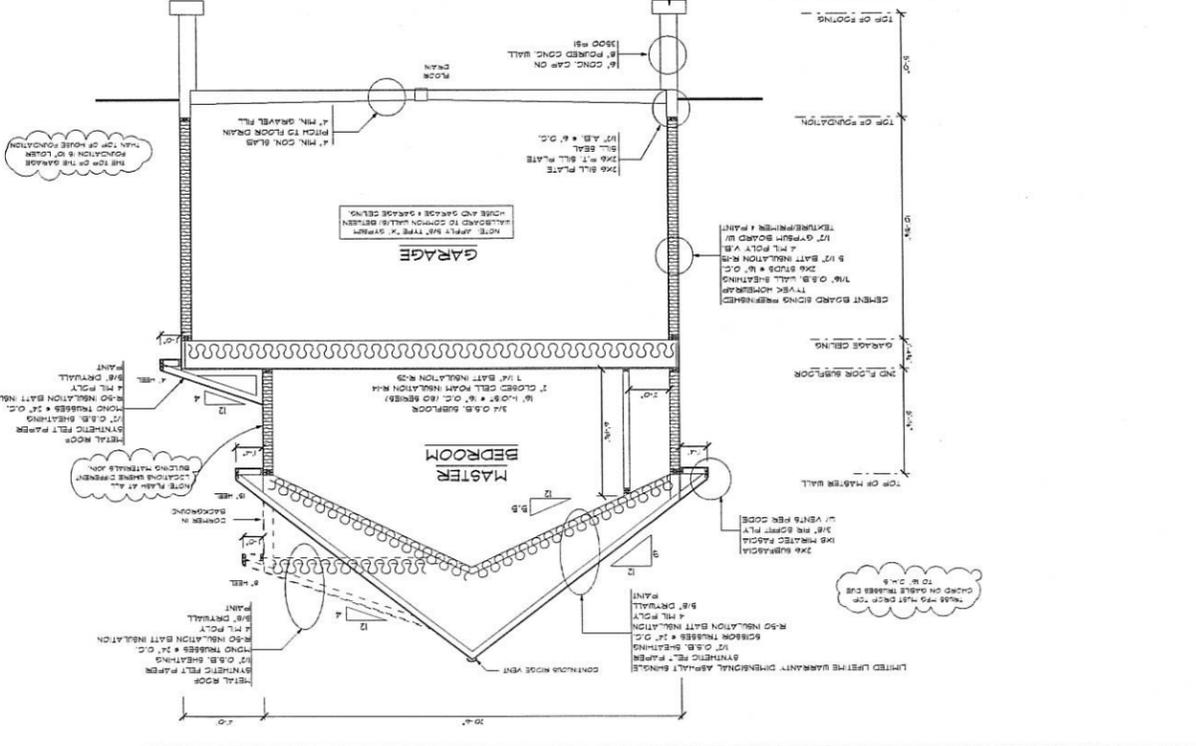
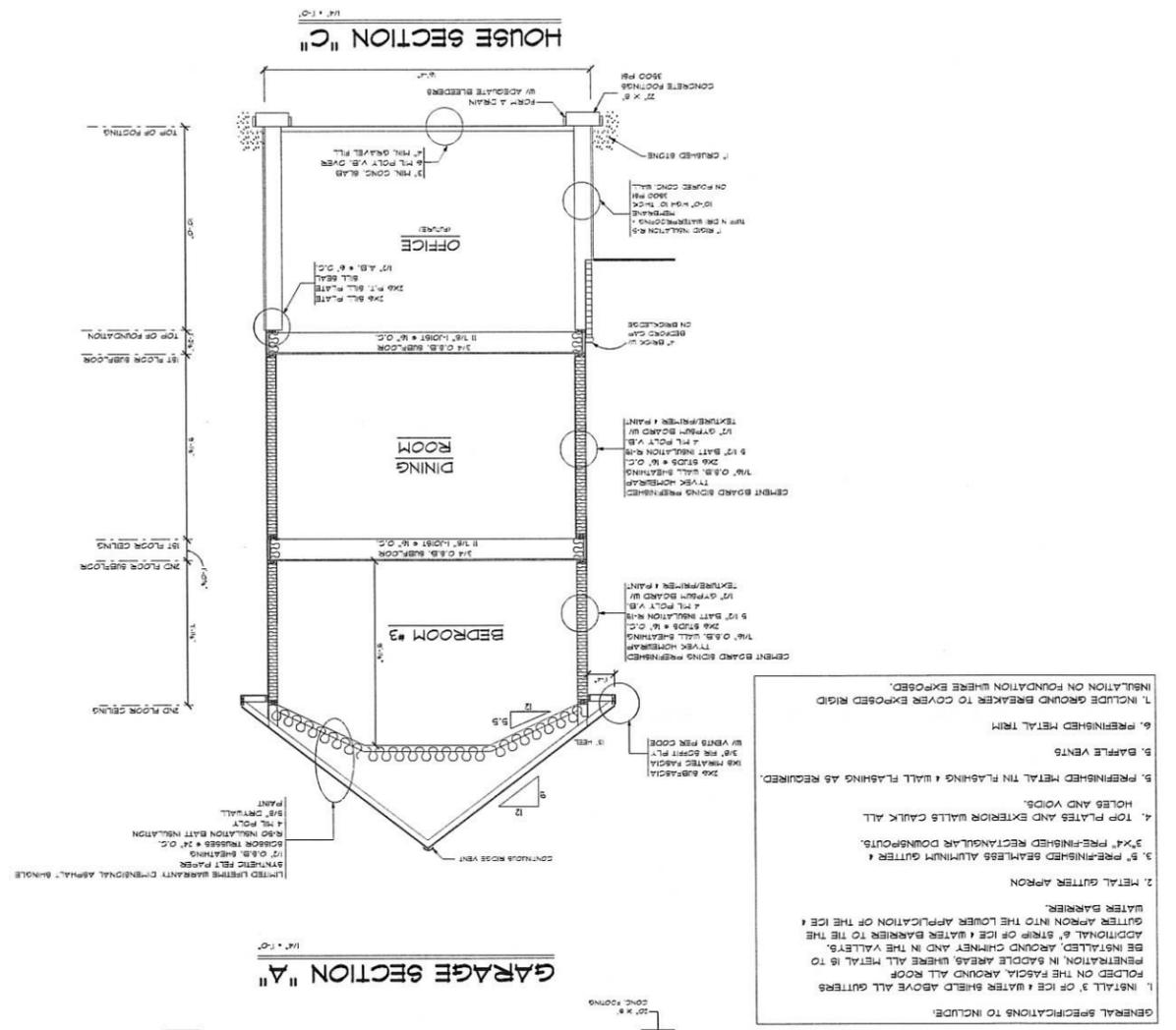
ROB MILLER
Homes

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DESIGN Style

NOTICE TO CONTRACTORS & SUPPLIERS
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DESIGN & STYLE LLC
P. 202-462-8888



1. INSTALL 3" OF ICE & WATER BARRIER ABOVE ALL GUTTERS PENETRATION, IN SADDLE AREAS WHERE ALL METAL IS TO BE INSTALLED, AROUND CHIMNEY AND IN THE VALLEYS. ADDITIONAL 6" STRIP OF ICE & WATER BARRIER TO THE GUTTER APRON INTO THE LOWER APPLICATION OF THE ICE & WATER BARRIER.
2. METAL GUTTER APRON
3. 5" PRE-FINISHED BATTEN ALUMINUM GUTTER & 3x4" PRE-FINISHED RECTANGULAR DOWNSPOUTS.
4. TOP PLATES AND EXTERIOR WALLS CAULK ALL HOLES AND VOID.
5. BARFLE VENTS.
6. PRE-FINISHED METAL TRIM
7. INSULATION ON FOUNDATION WHERE EXPOSED.

6 OF 1

ITEM NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	SQ. FT.	10.00	10.00
2	FLOORING	1	SQ. FT.	20.00	20.00
3	CEILING	1	SQ. FT.	15.00	15.00
4	WALLS	1	SQ. FT.	30.00	30.00
5	ROOFING	1	SQ. FT.	40.00	40.00
6	MECHANICAL	1	HR.	50.00	50.00
7	ELECTRICAL	1	HR.	60.00	60.00
8	PAINT	1	SQ. FT.	25.00	25.00
9	LANDSCAPE	1	SQ. FT.	10.00	10.00
10	TOTAL				260.00

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WWW.ROBMILLERHOMES.COM

DESIGN Style

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204.20718-07
DESIGN & STYLE, LLC

GENERAL NOTES:

ROOF DESIGN: LIVE LOAD = 30 PSF (SNOW LOAD)
DEAD LOAD = 11 PSF

L/40 LIVE LOAD DEFLECTION
ROOF SHALL WITHSTAND A PRESSURE OF AT LEAST
20' x 60' FT. ACTING UPWARD NORMAL TO THE ROOF SURFACE.

FLOOR DESIGN: LIVE LOAD = 40 PSF
DEAD LOAD = 10 PSF + (6 1/2 PSF ON 1ST FLOOR FOR GYPCRETE)

L/160 LIVE LOAD DEFLECTION
ANY TILE AREAS SHALL BE DESIGNED FOR AN ADDITIONAL 10 PSF DEAD LOAD

ENDEWERED GLULAM COLUMNS AND LVL STUDS ARE
NOTED SPECIFICALLY ON PLAN OR REFERENCE ON TALL WALL SPECIFICATIONS.

SOILS BLOCKING & TRUD COLUMNS BELOW POINT LOADS
ARE TO CONTINUE AND TRANSFER LOADS DOWN TO FOUNDATION

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING
ON WOOD MUST BE 1/2" MIN.

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING
ON CONG. OR MASONRY MUST BE 3" MIN.

ALL FRAMING FOR TRUD WALLS AND PLATS IS 2" x 4" UNLESS NOTED.
ALL BRACING ON INTERIOR WALLS IS 16" O.C. UNLESS NOTED.

STUDS SHOULD NOT BE NOTCHED MORE THAN 1/3 OF DEPTH.
WOOD FRAMED WALLS MUST COMPLY WITH 101 DEPT OF COMMERCE
CHAPTER 21 COMB TABLE 2129.4

DIMENSIONS MEASURED TO EXTENSION OF EXTERIOR STUD ON INTERIOR
SIDE. ALL INTERIOR STUDS MEASURE TO THE ROUGH STUD

FIRE BLOCKING
INCLUDE FIRE BLOCKING & FLOOR LEVELS
AT TOP & BOTTOM OF STAIRWAY TIMBERS

ALL BASE WINDOW HEADERS ARE 6" x 12" ABOVE TOP OF FOOTING IN LOWER LEVEL
ALL BASE WINDOW HEADERS ARE 6" x 8" & 6" x 10" ABOVE SUBFLOOR FOR MAIN FLOOR

ALL HEADERS ON EXTERIOR WALLS OR LOAD BEARING WALLS
ARE NOTED ON PLAN. ALL HEADERS ARE DROPPED UNLESS
NOTED OTHERWISE

DOUBLE BRACKET STUDS FOR HEADERS OVER 6" WIDE IN
BEARING WALLS.

DOUBLE SHOULDER STUD FOR HEADERS OVER 6" WIDE.
ALL INTERIOR OPENINGS THAT HAVE RECEIVED HEADERS
ARE TO MATCH HEIGHT OF INTERIOR DOORS. ALL OPENINGS TO
HAVE DRYWALL FINISH UNLESS NOTED TO BE CASD.

BUILDER MUST FOLLOW ALL INSTALLATION INSTRUCTIONS PROVIDED BY MANUFACTURER
LVL FLOOR TRUSS. TALL WALL OR ROOF TRUSS MFG. REFER TO
MANUFACTURER'S SPEC.

EROSION CONTROL
WHERE AND DIRECTION CONSTRUCTION ACTIVITY IS TO OCCUR EROSION
AND SEDIMENT CONTROL PRACTICES SHALL BE EMPLOYED, AS NECESSARY.

GRADE
SLOPE GRADE AWAY FROM DWELLING.
IF ACTUAL GRADE VARIES FROM ARCHITECTURAL PLANS,
THE BUILDER IS RESPONSIBLE FOR ALL COST INCREASES FROM
ADDITIONAL EARTH OR FOUNDATION WALLS.

MATERIALS & LABOR
EXTERIOR FACED MATERIAL OR ANY ADDITIONAL BUILDING
MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.

HEADERS

WALLS

LOADS

ROOF

FIREPLACE WOOD STOVE

MISC.

DECAY-RESISTANT MATERIAL

MASONRY

ABBEVIATIONS

ABB.	DESCRIPTION	ABB.	DESCRIPTION
INSUL.	INSULATION	INSUL.	INSULATION
ANCHOR BOLT	ANCHOR BOLT	ANCHOR BOLT	ANCHOR BOLT
APPROX. APPROXIMATELY	APPROX. APPROXIMATELY	APPROX. APPROXIMATELY	APPROX. APPROXIMATELY
BR	BRICK	BR	BRICK
CB	CANTILEVER	CB	CANTILEVER
CAN	CANTILEVER	CAN	CANTILEVER
CONC.	CONCRETE	CONC.	CONCRETE
CONV.	CONVENTIONAL	CONV.	CONVENTIONAL
R.O.	ROUGH OPENING	R.O.	ROUGH OPENING
DF	DOUBLE END	DF	DOUBLE END
DIS	DISH WASHER	DIS	DISH WASHER
EXT.	EXTERIOR	EXT.	EXTERIOR
F.G.	FIBERGLASS	F.G.	FIBERGLASS
FR	FRONT	FR	FRONT
G.D.	GRADE DISPOSAL	G.D.	GRADE DISPOSAL
H.D.	HIGH DENSITY	H.D.	HIGH DENSITY

ROOF FRAMING MEMBERS SPANNING MORE THAN 6' MEASURED FROM THE OUTSIDE EDGE OF THE ROOF SHALL BE PERMANENTLY FASTENED TO THE TOP PLATE OF LOAD BEARING WALLS USING 20' x 60' FT. ACTING UPWARD NORMAL TO THE ROOF SURFACE. ENDEWERED CLIPS, STRAPS OR HANGERS.

ALL ROOF TRUSSES ARE TO BEAR ON EXTERIOR WALLS. UNLESS NOTED) TRUSS MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED ONLY IF NOTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PROVIDED

LAYOUT AND SPECIFICATIONS.

BUILDER TO FOLLOW TRUSS MANUFACTURER'S TRUSS LAYOUT AND SPECIFICATIONS.

IF HELL HEIGHT VARIES FROM THE ARCHITECTURAL PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS MFG TO CONTACT DESIGN & STYLE SO ANY ACCOMMODATIONS CAN BE MADE IN WINDOW SIZES OR ANY OTHER BUILDING MATERIALS & LABOR AFFECTED BY THIS CHANGE.

COVER ALL ROOF SHEATHING AS SOON AS POSSIBLE WITH ROOFING FELT OR SHINGLE UNDERLAYMENT FOR PROTECTION AGAINST EXCESSIVE MOISTURE PRIOR TO ROOFING APPLICATION.

ANY GABLE ROOF OVERHANGS OF MORE THAN 12" SHALL BE PROVIDED WITH LADDERS WHICH EXTEND INTO THE STRUCTURE UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON WOOD MUST BE 1/2" MIN.

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON CONG. OR MASONRY MUST BE 3" MIN.

WOOD FRAMED WALLS MUST COMPLY WITH 101 DEPT OF COMMERCE CHAPTER 21 COMB TABLE 2129.4

DIMENSIONS MEASURED TO EXTENSION OF EXTERIOR STUD ON INTERIOR SIDE. ALL INTERIOR STUDS MEASURE TO THE ROUGH STUD

FIRE BLOCKING
INCLUDE FIRE BLOCKING & FLOOR LEVELS
AT TOP & BOTTOM OF STAIRWAY TIMBERS

ALL BASE WINDOW HEADERS ARE 6" x 12" ABOVE TOP OF FOOTING IN LOWER LEVEL
ALL BASE WINDOW HEADERS ARE 6" x 8" & 6" x 10" ABOVE SUBFLOOR FOR MAIN FLOOR

ALL HEADERS ON EXTERIOR WALLS OR LOAD BEARING WALLS ARE NOTED ON PLAN. ALL HEADERS ARE DROPPED UNLESS NOTED OTHERWISE

DOUBLE BRACKET STUDS FOR HEADERS OVER 6" WIDE IN BEARING WALLS.

DOUBLE SHOULDER STUD FOR HEADERS OVER 6" WIDE.
ALL INTERIOR OPENINGS THAT HAVE RECEIVED HEADERS ARE TO MATCH HEIGHT OF INTERIOR DOORS. ALL OPENINGS TO HAVE DRYWALL FINISH UNLESS NOTED TO BE CASD.

BUILDER MUST FOLLOW ALL INSTALLATION INSTRUCTIONS PROVIDED BY MANUFACTURER
LVL FLOOR TRUSS. TALL WALL OR ROOF TRUSS MFG. REFER TO MANUFACTURER'S SPEC.

EROSION CONTROL
WHERE AND DIRECTION CONSTRUCTION ACTIVITY IS TO OCCUR EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE EMPLOYED, AS NECESSARY.

GRADE
SLOPE GRADE AWAY FROM DWELLING.
IF ACTUAL GRADE VARIES FROM ARCHITECTURAL PLANS, THE BUILDER IS RESPONSIBLE FOR ALL COST INCREASES FROM ADDITIONAL EARTH OR FOUNDATION WALLS.

MATERIALS & LABOR
EXTERIOR FACED MATERIAL OR ANY ADDITIONAL BUILDING MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.

ALL REFERENCE TO WOOD STOVE FIREPLACE FLUE, HEARTH, CHIMNEY AND FOOTINGS FOR FIREPLACE MUST HAVE DESIGNATED LOCATIONS ONLY. THE CONTRACTOR MUST MAKE SURE THAT WOOD STOVE FIREPLACE STRUCTURE MEET OR EXCEEDS ALL APPLICABLE BUILDING CODES.

ROOF FRAMING MEMBERS SPANNING MORE THAN 6' MEASURED FROM THE OUTSIDE EDGE OF THE ROOF SHALL BE PERMANENTLY FASTENED TO THE TOP PLATE OF LOAD BEARING WALLS USING 20' x 60' FT. ACTING UPWARD NORMAL TO THE ROOF SURFACE. ENDEWERED CLIPS, STRAPS OR HANGERS.

ALL ROOF TRUSSES ARE TO BEAR ON EXTERIOR WALLS. UNLESS NOTED) TRUSS MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED ONLY IF NOTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PROVIDED

LAYOUT AND SPECIFICATIONS.

BUILDER TO FOLLOW TRUSS MANUFACTURER'S TRUSS LAYOUT AND SPECIFICATIONS.

IF HELL HEIGHT VARIES FROM THE ARCHITECTURAL PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS MFG TO CONTACT DESIGN & STYLE SO ANY ACCOMMODATIONS CAN BE MADE IN WINDOW SIZES OR ANY OTHER BUILDING MATERIALS & LABOR AFFECTED BY THIS CHANGE.

COVER ALL ROOF SHEATHING AS SOON AS POSSIBLE WITH ROOFING FELT OR SHINGLE UNDERLAYMENT FOR PROTECTION AGAINST EXCESSIVE MOISTURE PRIOR TO ROOFING APPLICATION.

ANY GABLE ROOF OVERHANGS OF MORE THAN 12" SHALL BE PROVIDED WITH LADDERS WHICH EXTEND INTO THE STRUCTURE UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON WOOD MUST BE 1/2" MIN.

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON CONG. OR MASONRY MUST BE 3" MIN.

WOOD FRAMED WALLS MUST COMPLY WITH 101 DEPT OF COMMERCE CHAPTER 21 COMB TABLE 2129.4

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MATERIALS & LABOR
EXTERIOR FACED MATERIAL OR ANY ADDITIONAL BUILDING MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.

THIS IS AN EXAMPLE OF BUTLER'S PANTRY

THIS IS AN EXAMPLE OF THE EXTERIOR RAILING.

THIS IS AN EXAMPLE OF BRICK ALCOVE AROUND STOVE

THIS IS AN EXAMPLE OF BUTLER'S PANTRY

THIS IS AN EXAMPLE OF THE EXTERIOR RAILING.

THIS IS AN EXAMPLE OF BUTLER'S PANTRY

THIS IS AN EXAMPLE OF THE EXTERIOR RAILING.



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	WOOD STOVE	1	EA	1200	1200
2	BRICK ALCOVE	1	EA	800	800
3	BUTLER'S PANTRY	1	EA	1500	1500
4	EXTERIOR RAILING	1	EA	1000	1000

1 OF 1

DESIGN: Style
DATE: 10/20/2023
DRAWN: [Name]
CHECKED: [Name]

ROB MILLER
Fonora
P.O. BOX 18588
DENVER, CO 80218
PHONE: 303-730-9300
FAX: 303-646-9795
ROB@ROBMILLERDESIGN.COM
WWW.ROBMILLERDESIGN.COM

NOTICE TO CONTRACTORS & SUPPLIERS
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR OR SUPPLIER TO CONTACT GENERAL CONTRACTOR OR OWNER IF THERE ARE ANY CONCERNS OR DISCREPANCIES DURING THE CONSTRUCTION OF THESE PLANS.

Erosion Control Maintenance Plan

1. Install and maintain temporary B.M.P.'s during the duration of the project. Remove silt fencing only after vegetation is established onsite and after final Village approval of all onsite restoration. Final stabilization is defined as an established uniform perennial vegetative cover with an overall site density of at least 70%.
2. All temporary and permanent B.M.P.'s shall be inspected for conformance and proper operation after all rainfall events of 0.5 inches or greater within a 24 hour period. The owners representative shall repair and/or replace said B.M.P.'s as soon as possible where necessary.
3. All BMP's shall be inspected and maintained in accordance with current DNR Technical Standards.
4. Any sediment tracked onto a public road should be removed by mechanical means, not flushing, before the end of each working day.



Know what's below.
Call before you dig.

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."

BENCHMARK NOTE :
1. SITE BENCHMARK LOCATED ON WELL TOP OF COVER ELEV. = 866.69
2. MAIN BENCHMARK IS SECTION CORNER MONUMENT, 800' EAST OF SE. LOT CORNER IN HIGHLAND DR. CENTERLINE. TOP OF MONUMENT ELEV. = 867.42.

Proposed Grade Statistics:

North & South - Yard Grade = 869.5
Northwest - Yard Grade = 862.0
First Floor Grade = 873.15
Top of Foundation Wall = 871.80
Top of Footing Grade = 861.80

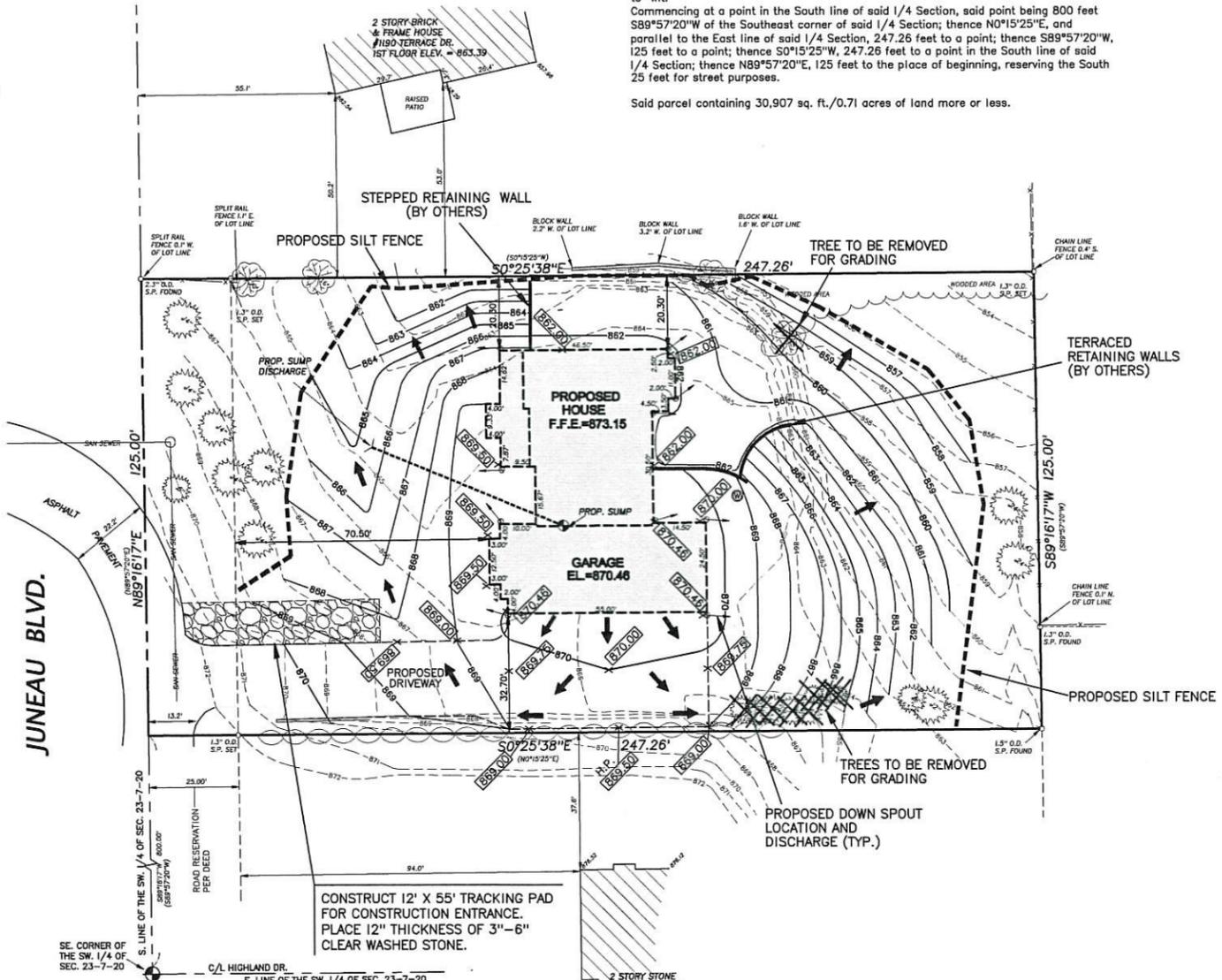
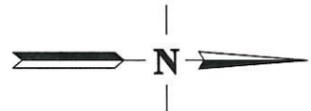
Area Notes:

Gross Parcel area inclusive of road reservation = 30,907 sq. ft./0.71 acres.
Proposed building footprint area = 3,315 sq. ft.
Total proposed impervious area = 8,192 sq. ft. (inclusive of walks & patios)
Percentage of impervious within lot = 27%.

Parcel area exclusive of road reservation = 27,782 sq. ft./0.64 acres.
Proposed building footprint area = 3,315 sq. ft.
Total proposed impervious area = 7,352 sq. ft. (inclusive of walks & patios)
Percentage of impervious within lot = 27%.

Legend

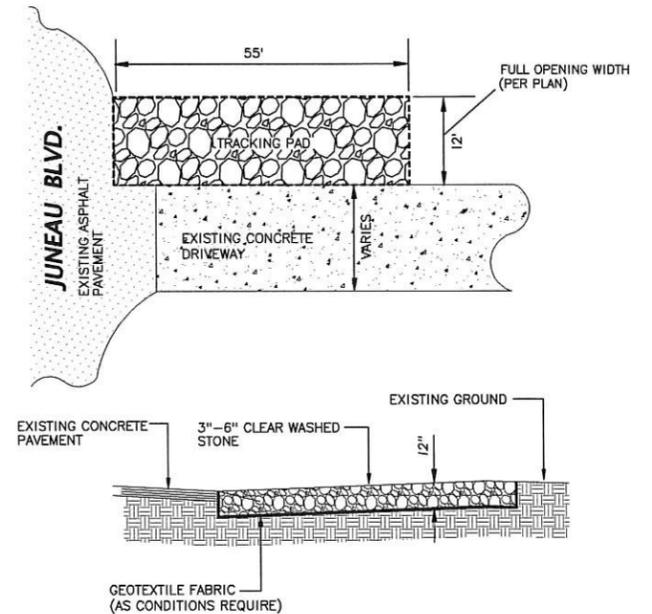
- 699 --- EXISTING MINOR CONTOUR
- 700 --- EXISTING MAJOR CONTOUR
- 699 --- PROPOSED MINOR CONTOUR
- 700 --- PROPOSED MAJOR CONTOUR
- 873.15 X PROPOSED SPOT GRADE
- PROPOSED DOWN SPOUT LOCATION
- PROPOSED SILT FENCE
- >--- EXISTING FLOW DIRECTION
- >--- PROPOSED FLOW DIRECTION
- >--- PROPOSED TRACKING PAD



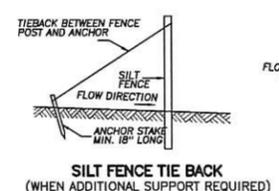
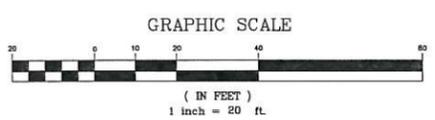
LEGAL DESCRIPTION :
That part of the Southwest 1/4 of Section 23, Township 7 North, Range 20 East, in the Village of Elm Grove, Waukesha County, Wisconsin, bounded and described as follows, to-wit:
Commencing at a point in the South line of said 1/4 Section, said point being 800 feet S89°57'20"W of the Southeast corner of said 1/4 Section; thence N0°15'25"E, and parallel to the East line of said 1/4 Section, 247.26 feet to a point; thence S89°57'20"W, 125 feet to a point; thence S0°15'25"W, 247.26 feet to a point in the South line of said 1/4 Section; thence N89°57'20"E, 125 feet to the place of beginning, reserving the South 25 feet for street purposes.
Said parcel containing 30,907 sq. ft./0.71 acres of land more or less.

Site Grading, Erosion & Sedimentation Control Notes:

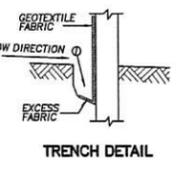
1. A Village of Elm Grove permit is required. (Provided by owner)
The following references shall apply for all work activities for the project:
a. Current Village of Elm Grove Codes and Ordinances.
b. State of Wisconsin, Department of Transportation, Standard Specifications for Road and Bridge Construction - 2010 Edition (State D.O.T. Specifications)
2. All temporary erosion control devices shall be installed prior to any land disturbance.
3. Placement and compaction of fill materials shall conform to the requirements of Section 207. of the State of Wisconsin, Department of Transportation Standard Specifications for Road and Bridge Construction - 2010 Edition and current revisions (State D.O.T. Specifications).
Type 1 - Standard Compaction
In general fill areas, fill materials on the project site, unless otherwise specified, shall be placed with Type 1/Standard Compaction to 90% maximum dry density as determined by the Modified Proctor Test (ASTM D1557). Refer to Standard Compaction requirements per Section 207.3.6.2 of the D.O.T. Standard Specifications
Type 2 - Special Compaction
Type 2/Special Compaction shall consist of compacting the fill material to 95% of maximum dry density as determined by the Modified Proctor Test (ASTM D1557) These areas to include, but are not limited to areas of proposed building pads, pond embankments, and roadways to 2 feet beyond back of curbing or outside edge of gravel shoulder. Materials placed in these areas shall consist of structural fill materials. Refer to Special Compaction requirements per Section 207.3.6.3 of the D.O.T. Standard Specifications.
All fill materials for Type 1 and Type 2 shall be placed in maximum 12 inch compaction lifts unless otherwise specified by the project engineer.
4. Location of temporary storage of topsoil per engineer, NOTE - Stockpiles shall be immediately surrounded by silt fence on all downside sloped.
5. Construct 12' wide x 55' long tracking pad with 12" of 3"-6" clear of washed stone at the entrance to site. Tracking pad must be maintained until all construction is complete. (See detail this sheet.)
6. Temporary erosion control devices shall be removed when all land disturbing construction activities have been completed and the site has reached final stabilization.
7. A copy of the erosion control plan and permits must be kept onsite and available for inspection.



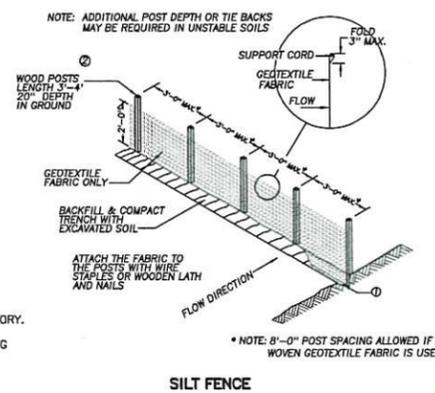
TRACKING PAD DETAILS



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL



SILT FENCE

General Notes - Silt Fence:

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

RECEIVED
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VILLAGE OF ELM GROVE



NORTH SHORE ENGINEERING, INC.
Consulting Engineers & Land Surveyors
11433 N. Port Washington Rd., Mequon, Wisconsin, 53092
(262) 241-9400 • FAX: (262) 241-5337
www.northshoreengineering.net

REVISIONS				
MK	DATE	BY	REVISION	CHK'D

VILLAGE OF ELM GROVE			
WAUKESHA COUNTY		WISCONSIN	
The Mick-Bonfilio Residence			
Site Grading, Erosion & Sedimentation Control Plan			
14980 Juneau Blvd.			
DESIGNED: A.R.H.	DRAWN: A.R.H.	CHECKED: J.G.S.	SHEET 1
DATE: 2-16-15	SCALE: 1"=20'	APPROVED: PROJECT: LS-3944-16	of 1

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