

VILLAGE OF ELM GROVE

13600 Juneau Boulevard
Elm Grove, WI 53122

BUILDING BOARD

Tuesday, January 5, 2016 * 5:30 PM * Park View Room

AGENDA

1. Roll Call

Documents: 010516 BBmemo.pdf

2. Review and act on meeting minutes dated December 15, 2015

Documents: BB121515dm.pdf

3. Review and act on a request by James and Dorothy Nowak at 580 Rosedale Drive for an alteration.

Documents: 580 Rosedale Drive.pdf

4. Review and act on a request by Western Racquet Club at 1800 Highland Drive for a pool, fence and retaining wall.

Documents: 1800 Highland Drive.pdf

5. Review and act on a request by Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

Documents: 14980 Juneau Blvd.pdf, Griffiths-20151203-14980 Juneau Boulevard Residential Re-Development Pla .pdf

6. Other Business

7. Adjournment

Any person who has a qualifying disability as defined by the Americans with Disabilities Act who requires that the meeting or materials for the meeting has to be in an accessible location or format must contact the Village Clerk, Mary S. Stredni, at 262-782-6700 or 13600 Juneau Boulevard by 3:00 PM Friday prior to the meeting so that any necessary arrangements can be made to accommodate your request.

NOTICE: It is possible that members of, and possibly a quorum of, other governmental bodies of the Village may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to in the above notice

Memo

To: Building Board

From: Casey Griffiths, Zoning & Planning Administrator/ Asst. to the Village Manager

Date: December 30, 2015

Re: Review of Agenda for Tuesday – January 5, 2016

Item 3. Review and act on a request by James and Dorothy Nowak at 580 Rosedale Drive for an alteration.

The applicants are requesting a review of a proposed alteration. The alteration will include the addition of a patio door in place of a current window. Also, the proposed alteration will replace windows on the home and an entry door. Please see the enclosed plans.

Item 4. Review and act on a request by Western Racquet Club at 1800 Highland Drive for a pool, fence and retaining wall.

The applicants are requesting approval for a pool alteration, fence and retaining wall. Western Racquet Club has proposed an updating and renovation of their existing pool area. This includes a renovation and enlargement of the pool deck and pathways. Newly constructed structures include a kid's pool, check in pavilion, equipment structure, and fence. The renovations will result in grade changes which require a new retaining wall. Please see the enclosed plans.

Item 5. Review and act on a request by Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

The applicant is request approval of a new home. The existing home on the property has been razed. The property is zoned at Rs-1 Single Family Residential District. The proposed home's height and setbacks meets Village Code requirements. The proposed building footprint is 14.5% of the lot area and the proposed impervious surface is 27% of the lot area. The Village engineer has reviewed the proposed survey and his comment letter is included in your packet. Items addressed in the letter have been addressed. A landscaping plan was not submitted with the proposal. Please see the enclosed plans.

DISCLAIMER – THE FOLLOWING ARE DRAFT MINUTES FROM THE BUILDING BOARD AND ARE SUBJECT TO CHANGE UPON APPROVAL FROM THE BUILDING BOARD

**BUILDING BOARD
MEETING MINUTES
Tuesday, December 15, 2015**

Meeting was called to order at 5:30 p.m. by Mr. Olson.

1. Roll Call.

Present: Mr. Olson, Mr. Liechty, Mr. Matola, Mr. Janusz, Mr. Domaszek, Mr. Wollersheim, Mr. Schoenecker, Mr. Riebesehl, and Ms. Steindorf

Absent: None

Also Present: Mr. Griffiths, Ms. Nelson, Applicants and Members of the Public.

2. Review and act on meeting minutes dated December 1, 2015

Mr. Matola recommended the following change be made: under item 3, second paragraph, change “as being replaced” to “is being replaced.”

Mr. Olson recommend that the following changes be made: On the second page, under item 4, third paragraph, second line, change the word “exterior” to “external.” Under item 5, page 3, first paragraph, second sentence, change the window type to “double hung with divided lites.”

Mr. Matola motioned and Mr. Wollersheim seconded to approve the meeting minutes as amended. Motion carried 9-0.

3. Review and act on a request by Crimson Way Church at 14625 Watertown Plank Road for a sign.

Mark Garsombke from Crimson Way Church and John Kleis from Triad Creative Group were present before the Board.

Mr. Liechty asked if lighting from below would possibly shine into traffic from underneath the sign. Applicant stated that the lights would be titled up towards the sign but they can put a barn door on the bottom to help block the light.

Mr. Olsen asked about the sign material. Applicant stated that it will be MDO with applied vinyl.

Mr. Liechty asked for confirmation that the proposed sign is the same size as the temporary sign. Applicant stated yes.

Mr. Liechty motioned and Mr. Domaszek seconded to approve the sign as submitted with the condition that shrouding be included on the lights.

Upon further discussion, Mr. Olson asked if landscaping will be done around sign. Applicant stated that they can put in landscaping.

Motion carried 9-0.

4. Review and act on request by Signature Eye Care at 15300 Watertown Plank Road for a business sign.

Mr. Domaszek recused himself from the meeting.

Mr. Liechty asked if the sign would be internally lit and how far the sign projected from the building. Applicant stated that the sign would be internally lit and the sign would project 7 inches.

Mr. Liechty asked if the current lighting on the building would remain. Applicant stated that the lights would be replaced but the emergency exit light would stay. Applicant stated that the "Eye Care" portion of the sign will be separate and moved to the right of "Signature" and the "Eye Care" portion will be smaller than pictured.

Mr. Liechty asked if the monument sign will be removed. Applicant stated that the East monument will be removed and the one by the front entrance will be repaired.

Mr. Matola asked for confirmation that the colors in the picture provided were accurate. Applicant stated yes.

Mr. Liechty motioned and Mr. Wollersheim seconded to approve the plans as submitted. Motion carried 8-0.

Mr. Domaszek rejoined the meeting.

5. Review and act on a request by Republic Associates of Wisconsin, Inc. at 1135 Legion Drive for a business sign.

Craig Lemke from Republic Associates was present before the board.

Mr. Lemke apologized for doing this retroactively and stated that the sign is the same sign that was there before but it is now placed perpendicular to Legion Drive. He also stated he plans to light the sign from the ground.

Mr. Liechty stated he would like some cut off so that the light would not shine through under the sign and Mr. Lemke said that they can do that and that they also plan on landscaping around sign.

Mr. Olson asked if this is the same sign that was there previously or different. Mr. Lemke stated that it is the same except for one post that is new and a slight change in design. Mr. Lemke stated that the size is the same.

Mr. Matola asked if the trim would match the color in the photograph provided. Mr. Lemke said that it would match.

Mr. Matola motioned and Mr. Liechty seconded to approve the plans as submitted. Motion carried 9-0.

6. Review and act on request by IPvestments, LLC at 1415 N. 124th Street for a building alteration.

The property owner was present before the board.

Applicant provided a new rendering of the proposed sliding glass door.

Mr. Wollersheim asked if the window that is being removed will be filled in with brick to match. Applicant stated yes.

Mr. Liechty asked if he planned on recovering the brick. Applicant stated that he was planning on recovering as much as possible and that he can get the same brick to make up the difference.

Mr. Liechty asked if the door will be at grade or if a step will be added. Applicant stated a step will be added to the patio.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve motion. Motion carried 9-0.

7. Review and act on a request by Dan and Cathy Radler at 670 Florence Drive for a new home.

Cathy Radler and a representative from Victory Homes were present before the board.

Review of Architecture and Design

Applicants presented sample materials including thin cut Kensington stone, hardy plank siding, shingles, and stated there will be Anderson windows and a craftsman front door.

Mr. Liechty asked about the color palette. Applicants provided color samples and stated the roof color would be driftwood.

Mr. Olson asked about color of the windows. Applicants stated they would be sandstone on the exterior and white on the interior.

Mr. Riebesehl asked about the color and material of the garage door. Applicants stated it will be Giess stamped steel carriage style door, medium oak in color with detail to match.

Mr. Wollersheim asked if the applicants had considered wrapping the stone around corner by second bedroom as it may look unnatural if the stone did not wrap around. .

Applicants stated that the trim boards would hide the edge of the stone but they would consider continuing the stone. Mr. Wollersheim stated it would help the character of the house. Mr. Matola agreed and added that it would add symmetry.

Mr. Liechty asked if there will be a patio. Applicants stated that there will be a patio but they had not finished the design.

Mr. Liechty asked if there will be a service door. Applicants stated no, they did not need one.

Mr. Riebesehl asked about the color of the trim stone on the entryway. Applicants stated it would match the stone sample provided.

Mr. Liechty asked if the gable pediments would match the trim. Applicants stated they would be a medium oak color to match garage door.

Mr. Wollersheim asked if the applicants could add a window to the garage rear elevation. Applicants stated that she did not want a window since they planned on putting shelving on that wall inside garage and that landscaping will help the look of that area. Mr. Matola suggested using faux window panels to mimic the right side of the house.

Mr. Wollersheim added that since trees were removed that portion of the house would be visible to neighbors. Applicants said they planned on replacing the trees.

Mr. Olson asked about the vents. Applicants stated there will be pod vents to match the shingles.

Mr. Liechty asked about exterior lighting. Applicants stated that they will use decorative lamps on inside of the porch and on either side of the front and garage doors. Additionally there will also be recessed lighting in entry way.

Mr. Liechty asked about soffit material. Brian stated that it would be rough cedar and painted.

Mr. Matola asked if there will be a cap on the stone. Applicants stated no there will not be a cap, they are using a Bedford stone sill.

Mr. Wollersheim stated that the color palette is nice and will match well with the shingles.

Mr. Wollersheim motioned and Mr. Liechty seconded to approve architecture and design plans as submitted, with the condition that the stone be wrapped around to the second bedroom to match the face

Upon further discussion Mr. Schoenecker asked if the motion should also include the faux panel and landscaping at back of garage as condition of approval

Mr. Wollersheim amended and Mr. Liechty seconded to amend the motion to approve the plans to include the conditions that a faux window be added to the rear garage elevation along with landscaping.

Motion carried 9-0.

Review of Site Plan and Grading

Mr. Wollersheim asked if the North elevation is being brought up 3-4 feet. Applicants stated yes, to keep the front of house consistent.

Mr. Wollersheim asked about the set back. Mr. Griffiths stated that the setback is based upon the average setback of the houses to the north and the south.

Mr. Wollersheim asked if the second bedroom, which has a 42 foot setback, was the farthest point out on the house. Applicants stated that the porch will come out 4 inches farther. Mr. Griffiths noted that the average setback is 41.75 feet, so the setback of the home is compliant.

Mr. Liechty motioned and Mr. Schoenecker seconded to approve the site and grading plan as submitted noting the front street yard setback of the home is at 41.75 feet.
Motion carried 9-0.

8. Review and act on a request by Julie Mick-Bonfilio at 14980 Juneau Boulevard for a new home.

Tabled per applicant's request.

9. Other Business

Mr. Griffiths stated that item 8 that was tabled will be on the agenda for next meeting.

10. Adjournment

Mr. Liechty motioned and Mr. Matola seconded to adjourn the meeting. Motion carried 9-0.

Meeting adjourned at 6:15 p.m.

Respectfully Submitted,

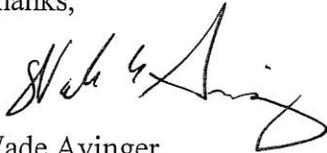
Carey Nelson
Administrative Assistant

Customer & Property Address

*James and Dorothy Nowack
560 Rosedale Dr
Elm Grove, WI 53122
262-501-2120 Dorothy*

Here is the info for the Planning and Review Board for adding a Marvin Infinity Patio Door on the side of the house in place of a current window for our customer listed above. We are also replacing additional windows on the home and an entry door on the same side of the home that the patio door is being installed. The window sizes are not changing but the style is changing from a double hung to a glider to match the way the bathroom window and the kitchen window (shown in the photos provided) look now. If any additional info or pictures are needed please contact me as I am the Project Manager for this project.

Thanks,



Wade Avinger
Project Manager
414-788-9724 Cell
wade.avinger@callcallen.com



Office & Showroom S63 W13131 Janesville Rd. Muskego, WI 53150 | 414-529-5509
Home Exteriors Showroom 19115 W. Capitol Dr. #102 Brookfield, WI 53045 | 262-790-5509
www.CallCallen.com

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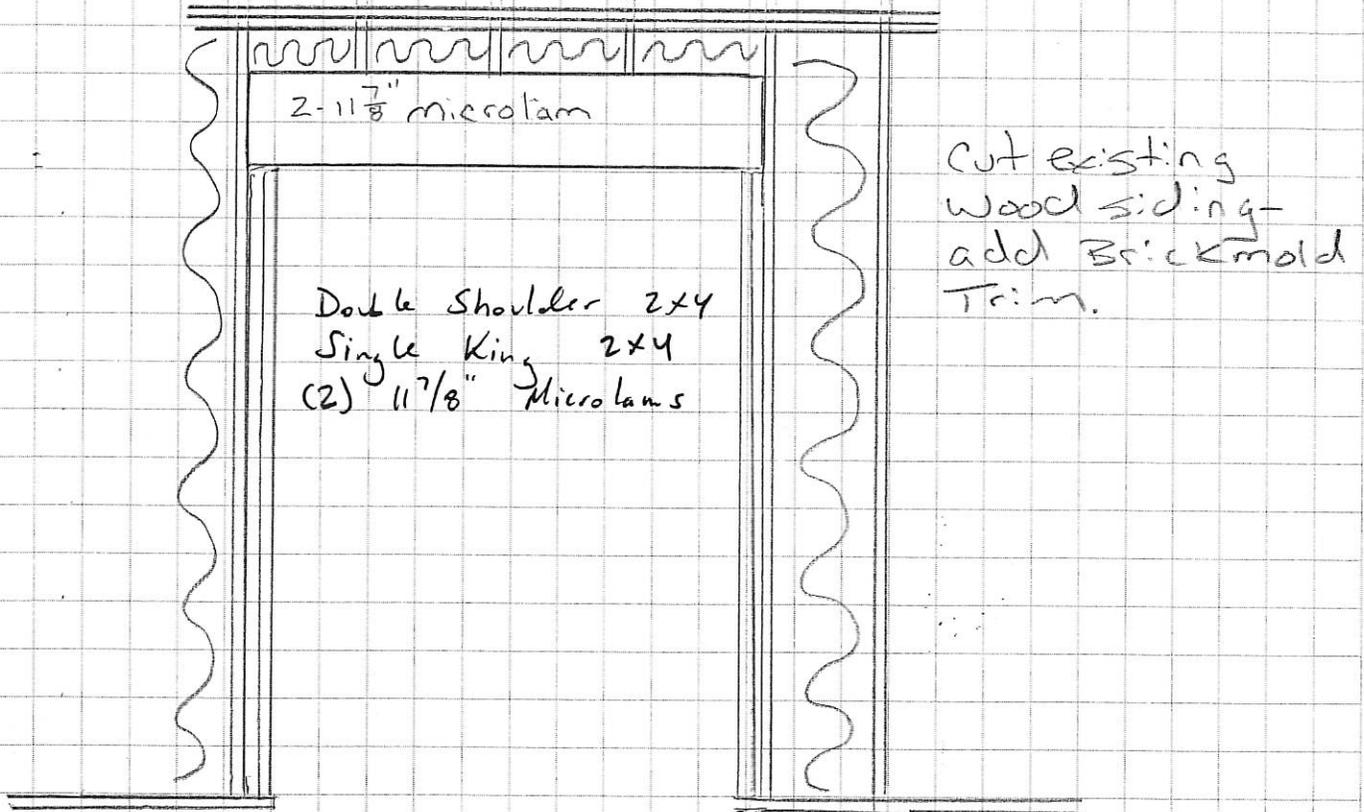
from **MARVIN**

REPLACEMENT WINDOWS

www.infinitywindows.com

Nowack Project - Callen Construction

Framing Detail



Wall Detail - cut in from existing window

**Job
Address:**

James and Dorothy Nowak
560 Rosedale Dr.
Elm Grove, WI
53112

Rear facing - Nowak Residence



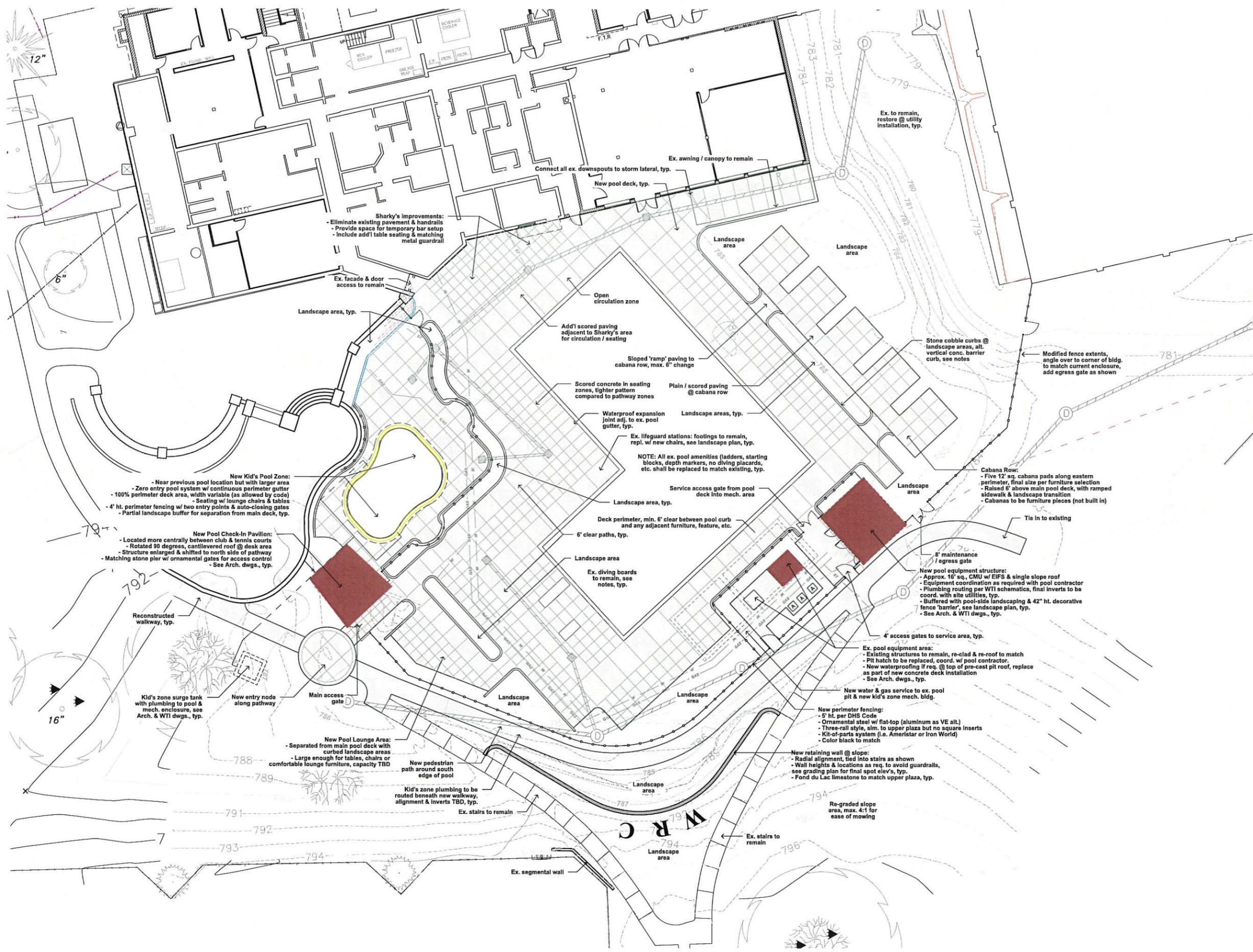
Callen Construction

Nowack Project



Callen Construction

New Door Install



Consultant:

Project:
Western Racquet Club
Pool Zone CD's

Building Board Submittal
Not For Construction

Location:
1800 Highland Drive
Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
Site Hardscape Plan



Scale: 1"=10'-0" @ 42x30"

Revisions:

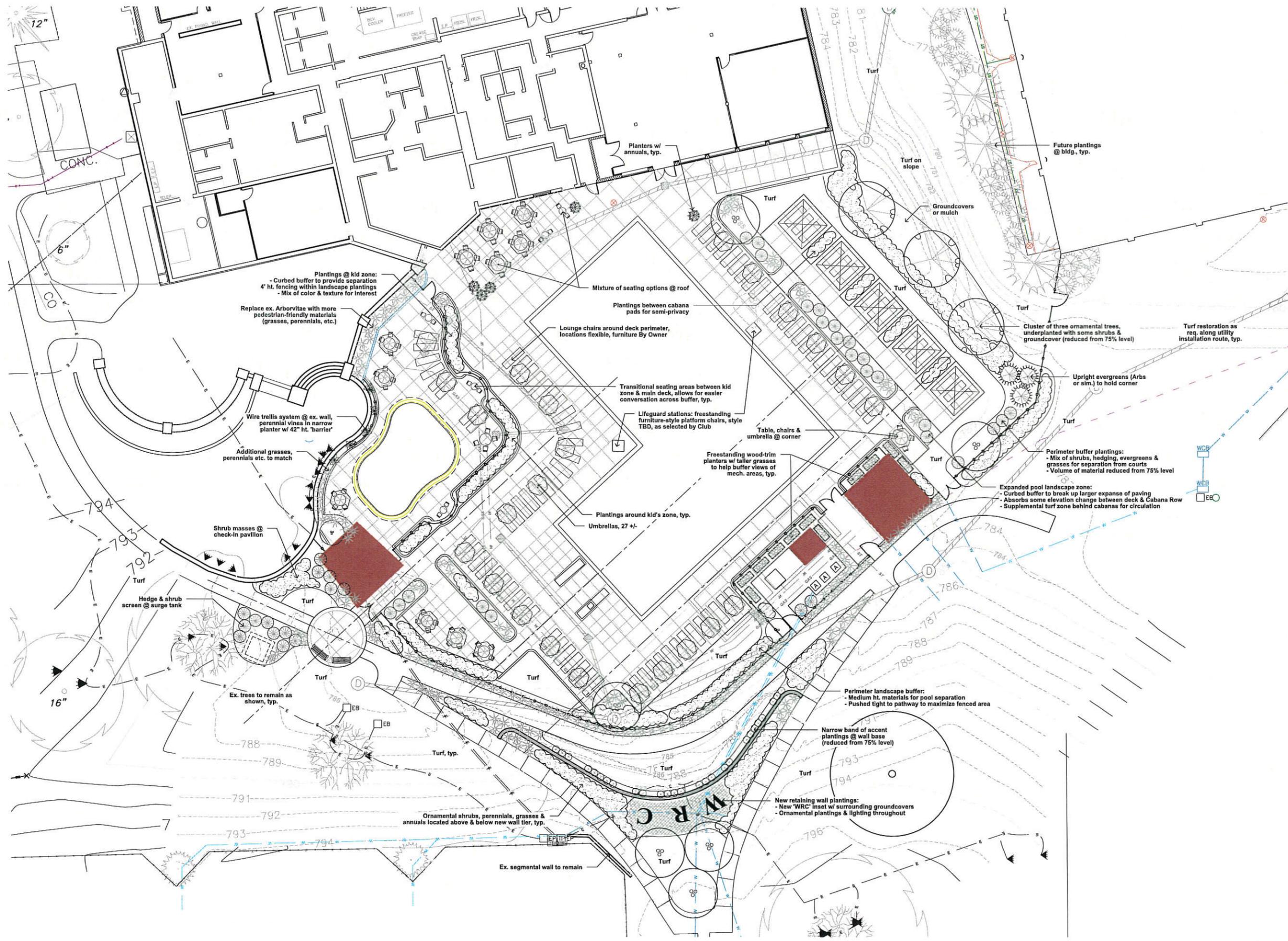
No.	Date	Description

Date:
December 22, 2015

Project No.:
150021.00

Sheet No.:

SD1.0



Consultant:

Project:
 Western Racquet Club
 Pool Zone CD's

Building Board Submittal
 Not For Construction

Location:
 1800 Highland Drive
 Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
 Landscape Plan



Scale: 1"=10'-0" @ 42x30"

Revisions:
 No. Date Description:

Date:
 December 22, 2015

Project No.:
 150021.00

Sheet No.:

L1.0

Consultant:

Project:
 Western Racquet Club
 Pool Zone CD's

Building Board Submittal
 Not For Construction

Location:
 1800 Highland Drive
 Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
 Entry Pavilion:
 -Plan, Roof & Elev's,
 Section, Details
 Concession Pavilion:
 -Plan, Elevations, Details

Scale:
 NOTED

Revisions:

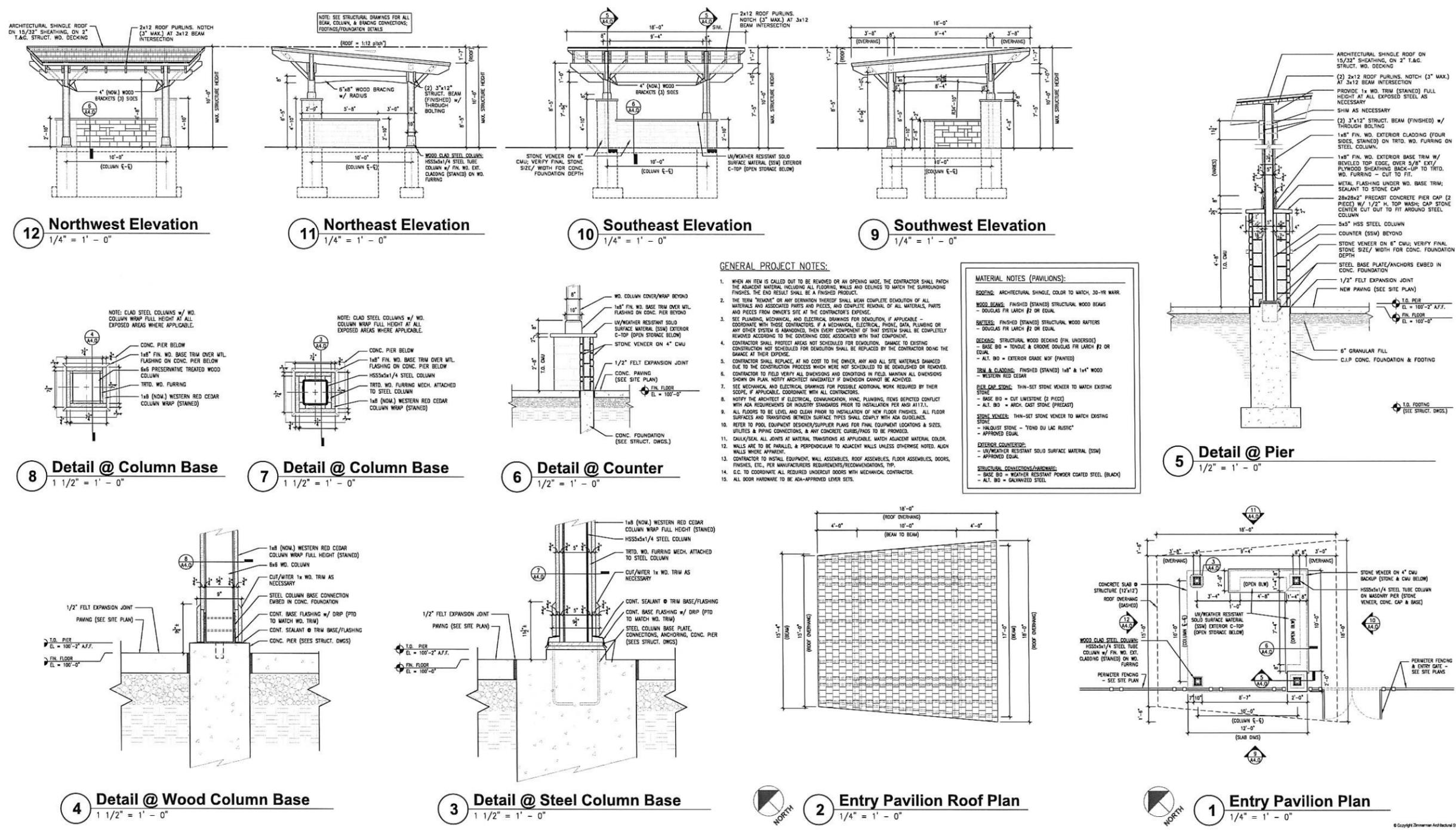
No.	Date	Description

Date:
 December 22, 2015

Project No:
 150021.00

Sheet No.:

A4.0



Consultant:
 Project:
 Western Racquet Club
 Pool Zone CD's

Building Board Submittal
 Not For Construction

Location:
 1800 Highland Drive
 Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
 Pool Equipment Building:
 -Floor plans, Elevations,
 Sections, Details

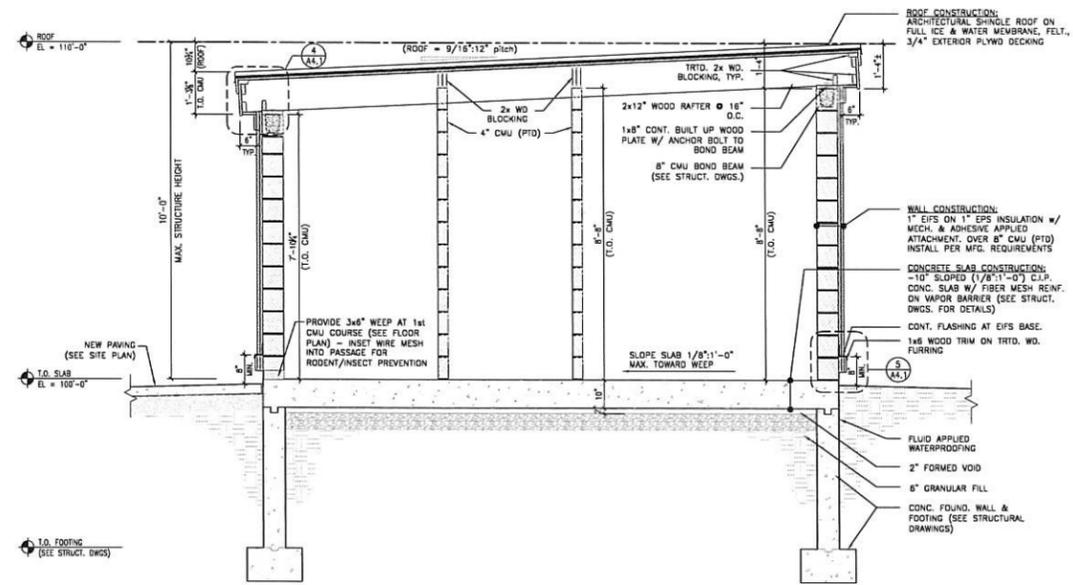
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Revisions:
 No. Date Description:

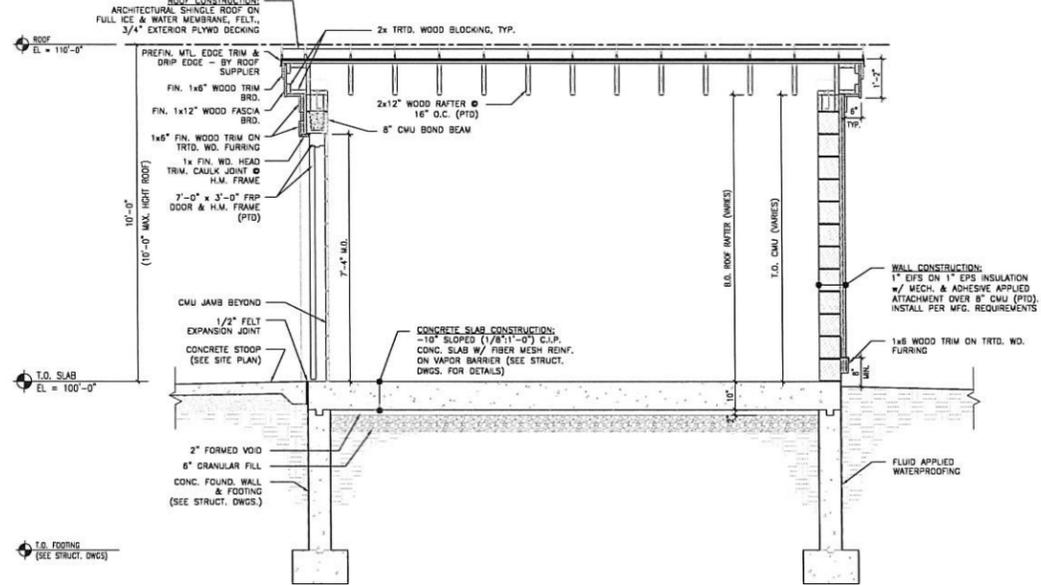
Date:
 December 22, 2015

Project No.:
 150021.00

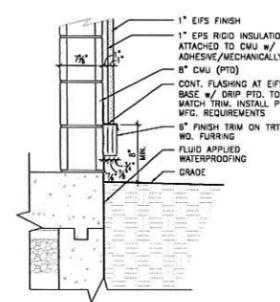
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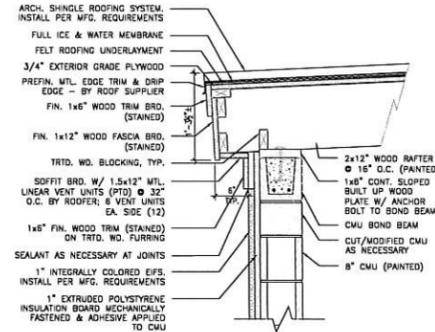
7 N-S Building Section
 1/2" = 1' - 0"



6 E-W Building Section
 1/2" = 1' - 0"



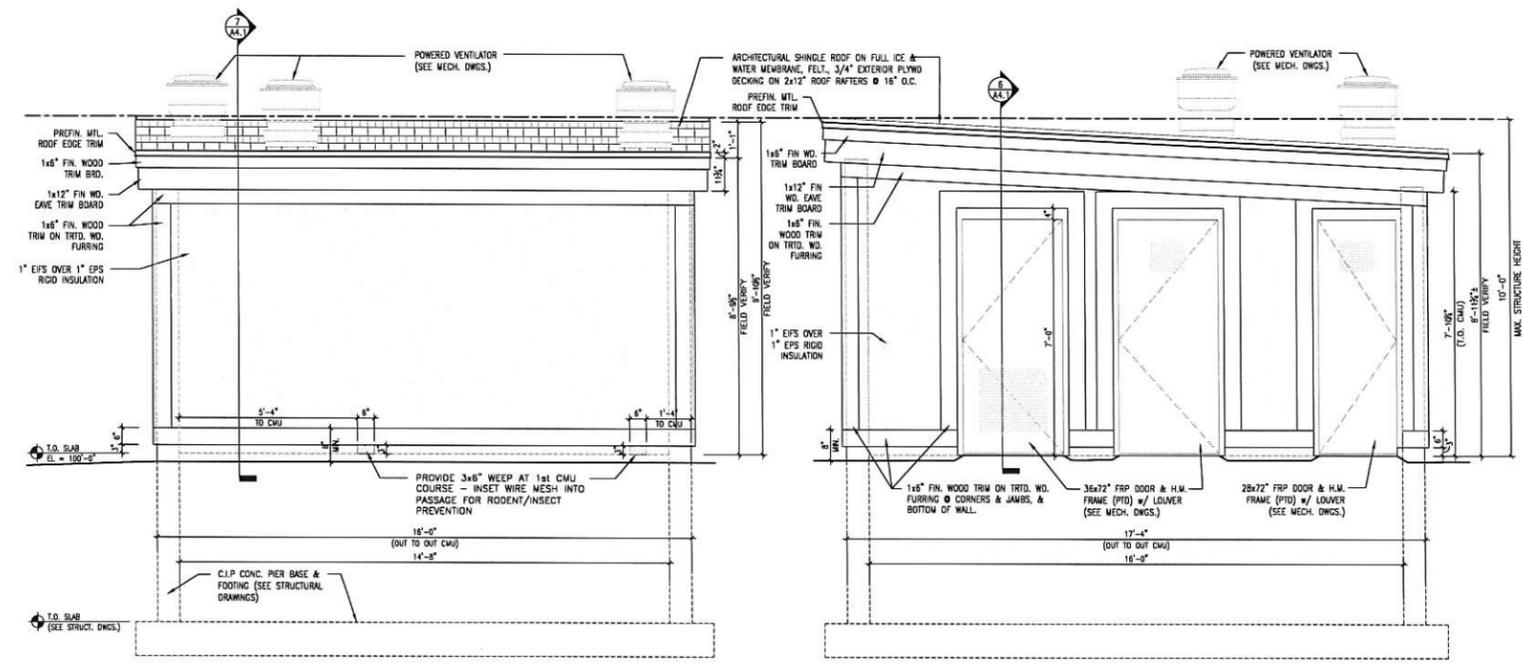
5 WALL BASE DETAIL
 1" = 1' - 0"



4 ROOF COPING DETAIL
 1" = 1' - 0"

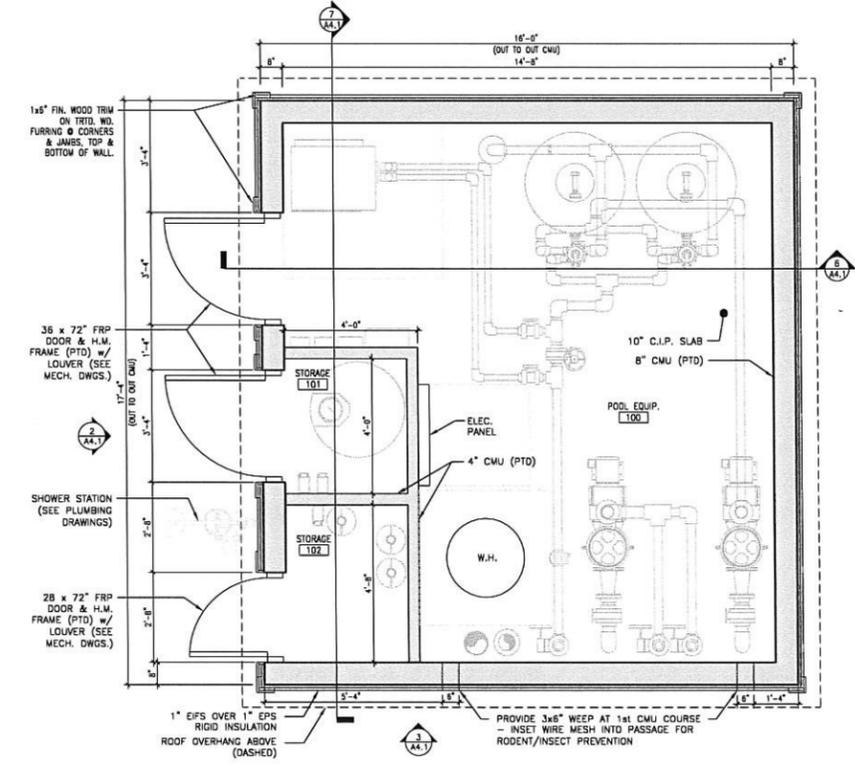
MATERIAL NOTES (POOL EQUIP. BLDG.):

ROOFING:	ARCHITECTURAL SHINGLE, COLOR TO MATCH, 30-YR WARR.
WOOD RAFTERS:	2x12" WEATHER TREATED DOUG FIR #2 OR BETTER STRUCTURAL WOOD BEAMS (PAINTED)
WOOD TRIM:	1x6" & 1X12" WESTERN RED CEDAR (STAINED)
EXTERIOR DOOR:	FIBER REINFORCED PLASTIC DOOR (PAINTED) IN HOLLOW METAL FRAME (PAINTED)
CLADDING:	1" EPS OVER 1" EPS RIGID INSULATION
DOOR HARDWARE:	BRUSHED STAINLESS STEEL; ADA COMPLIANT LEVER HANDLES
CONCRETE SLAB:	(2) COATS SOLVENT BASED SEALER; MEDIUM BROOM FINISH
CMU (INTERIOR):	(2) COATS WHITE EXTERIOR LATEX PAINT



3 South Elevation
 1/2" = 1' - 0"

2 East Elevation
 1/2" = 1' - 0"



1 Pool Equipment Building Plan
 1/2" = 1' - 0"

Consultant:

Project:
 Western Racquet Club
 Pool Zone CD's

Building Board Submittal
 Not For Construction

Location:
 1800 Highland Drive
 Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
 Surge Tank:
 Floor Plan, Section
 Existing Structure:
 Floor Plan, Section

Scale:
 NOTED

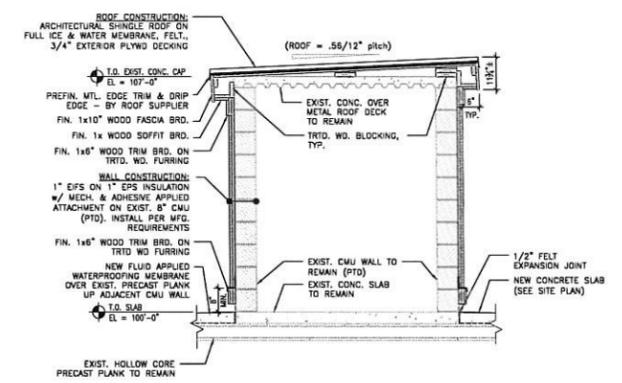
Revisions:
 No. Date Description

Date:
 December 22, 2015

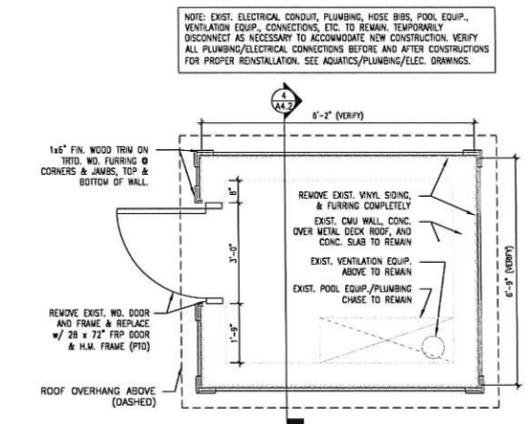
Project No.:
 150021.00

Sheet No.:

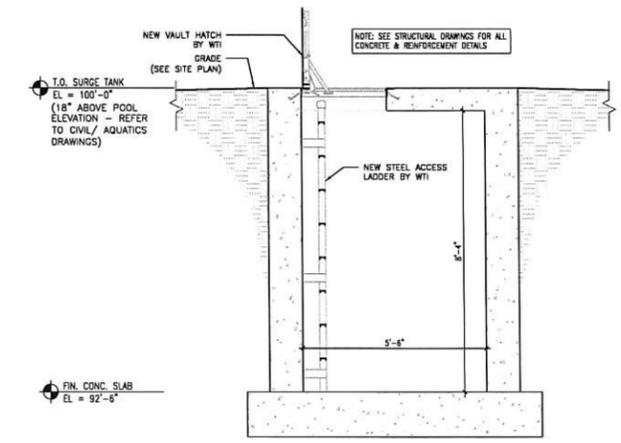
MATERIAL NOTES (EXIST. STRUCTURE)	
ROOFING:	ARCHITECTURAL SHINGLE, COLOR TO MATCH, 30-YR WARR.
WOOD TRIM:	1x6" & 1x12" WESTERN RED CEDAR (STAINED)
EXTERIOR DOOR:	FIBER REINFORCED PLASTIC DOOR (PAINTED) IN HOLLOW METAL FRAME (PAINTED)
CLADDING:	1" EIFS OVER 1" EPS RIGID INSULATION
DOOR HARDWARE:	BRUSHED STAINLESS STEEL; ADA COMPLIANT LEVER HANDLES
CMU (INTERIOR):	(2) COATS WHITE EXTERIOR LATEX PAINT OVER EXISTING CMU



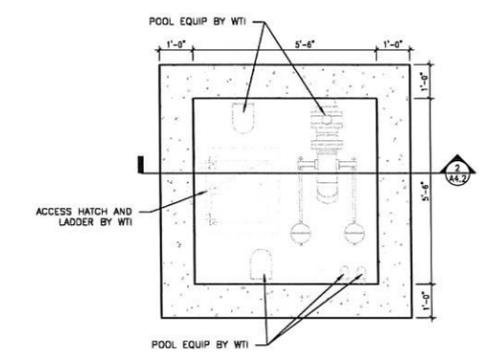
4 Exist. Building Section
 1/2" = 1' - 0"



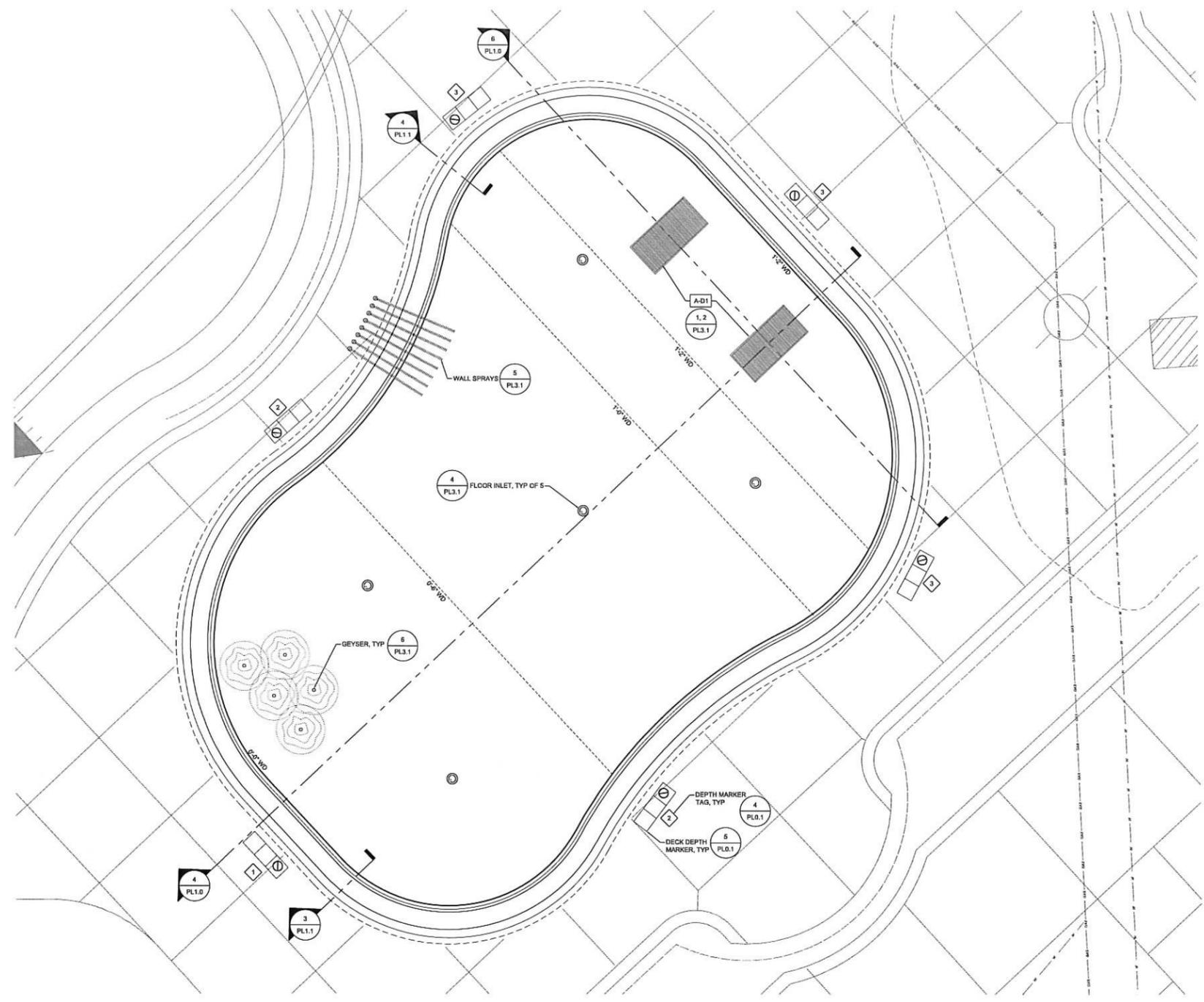
3 Exist. Building Plan
 1/2" = 1' - 0"



2 Surge Tank Section
 1/2" = 1' - 0"



1 Surge Tank Plan
 1/2" = 1' - 0"



POOL PLAN NOTE	
1	COVE WALL TO WALL, WALL TO FLOOR, AND FLOOR TO FLOOR-RADIUS AS INDICATED ON DETAILS.
2	DEPTH MARKERS SHALL NOT EXCEED 25'-0" IN DISTANCE FROM CENTER TO CENTER AROUND POOL PERIMETER.
3	DEPTH MARKERS INSIDE THE POOL SHALL CORRESPOND WITH DEPTH MARKER LOCATIONS ON THE DECK.
5	EXPANSION/CONTROL JOINTS IN WALLS AND GUTTERS SHALL BE LOCATED IN LINE WITH ALL FLOOR JOINTS.

POOL A - WADING POOL NOTES AND POOL EQUIPMENT SCHEDULE	1
	NONE

THIS SPACE NOT USED	2
	NONE

POOL A - WADING POOL PLAN	5	THIS SPACE NOT USED	3
	1/2" = 1'-0"		NONE

Zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TEL: 414.278.8500
FAX: 414.278.8582

Consultant:
WTI
WATER TECHNOLOGY, INC.
World Leaders in Aquatic Planning, Design and Engineering
100 Park Avenue | Beaver Dam, WI 53916
1.800.887.7375 | F500.867.7999
WTI#614077.02

Project:
Western Racquet Club
Pool Zone CD's

Progress Set
Not For Construction

Location:
1800 Highland Drive
Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
POOL A - WADING
POOL PLAN AND
SECTIONS

Scale:
AS-NOTED

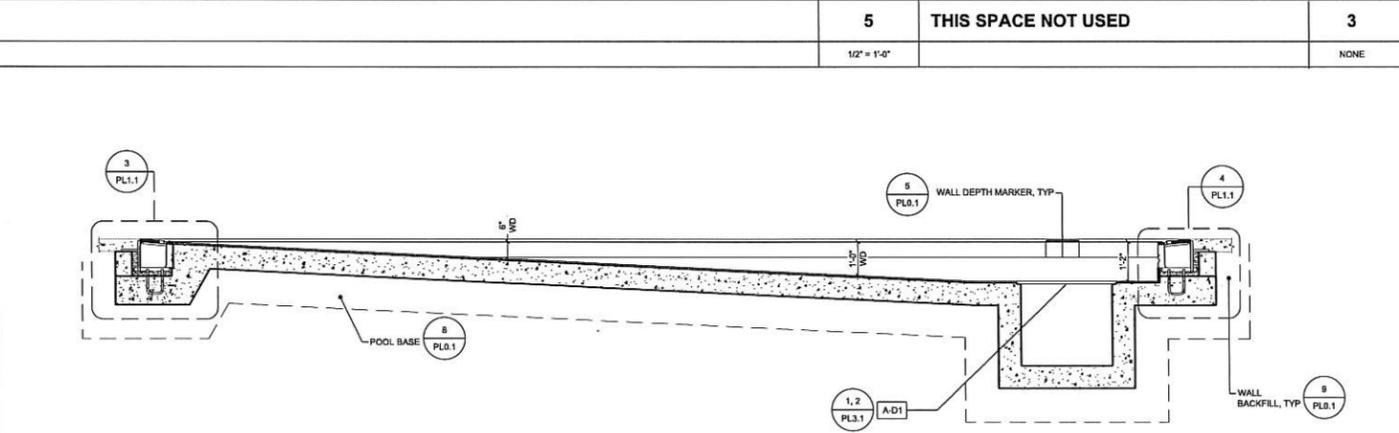
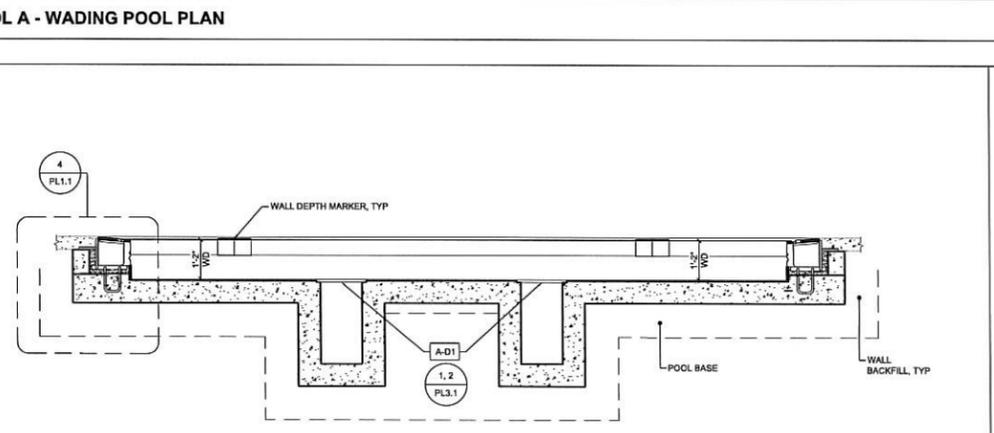
Revisions:

No.	Date	Description

Date:
October 30, 2015

Project No.: 150021.00 (Owner) Project No.:

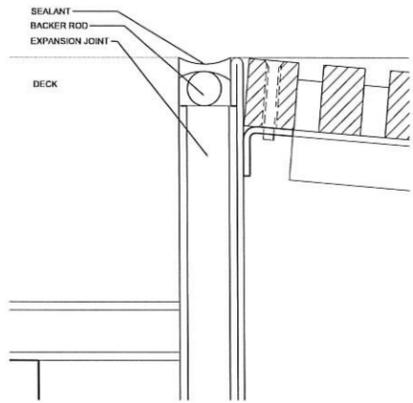
Sheet No.:



POOL A - WADING POOL SECTION 6
1/4" = 1'-0"

POOL A - WADING POOL SECTION 4
1/4" = 1'-0"

PL1.0

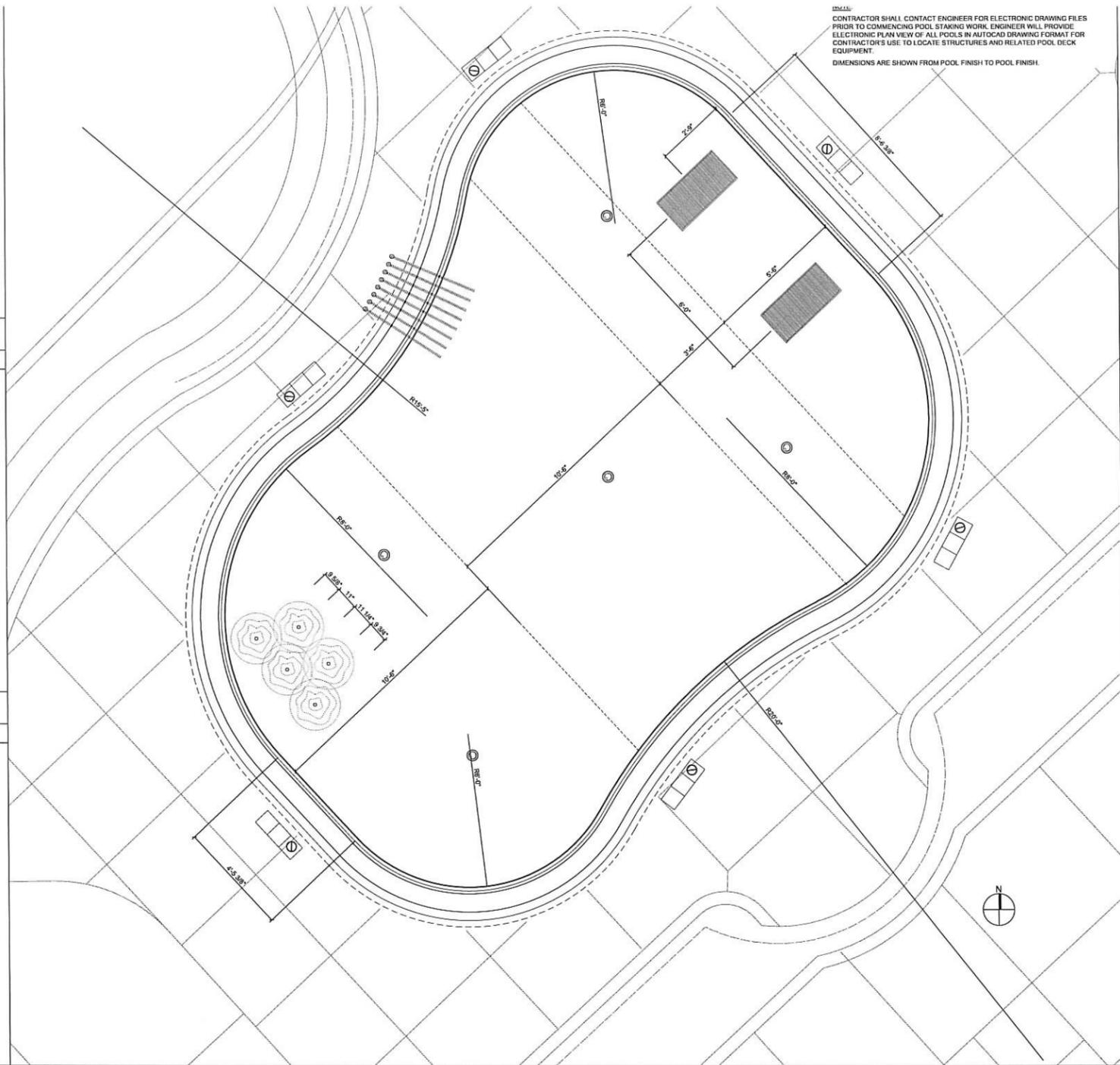


THIS SPACE NOT USED	9	GUTTER JOINT	5
	NONE		NONE

THIS SPACE NOT USED	10	THIS SPACE NOT USED	6
	NONE		NONE

THIS SPACE NOT USED	11	THIS SPACE NOT USED	7
	NONE		NONE

THIS SPACE NOT USED	12	THIS SPACE NOT USED	8
	NONE		NONE



CONTRACTOR SHALL CONTACT ENGINEER FOR ELECTRONIC DRAWING FILES PRIOR TO COMMENCING POOL STAKING WORK. ENGINEER WILL PROVIDE ELECTRONIC PLAN VIEW OF ALL POOLS IN AUTOCAD DRAWING FORMAT FOR CONTRACTOR'S USE TO LOCATE STRUCTURES AND RELATED POOL DECK EQUIPMENT.
DIMENSIONS ARE SHOWN FROM POOL FINISH TO POOL FINISH.

Zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE (414) 478-8500
FACSIMILE (414) 478-8582

Consultant:
WTI
WATER TECHNOLOGY INC.
World Leaders in Aquatic Planning, Design and Engineering
300 Park Avenue | Beaver Dam, WI 53916
1-800-887-7395 | FAX 920-887-7399

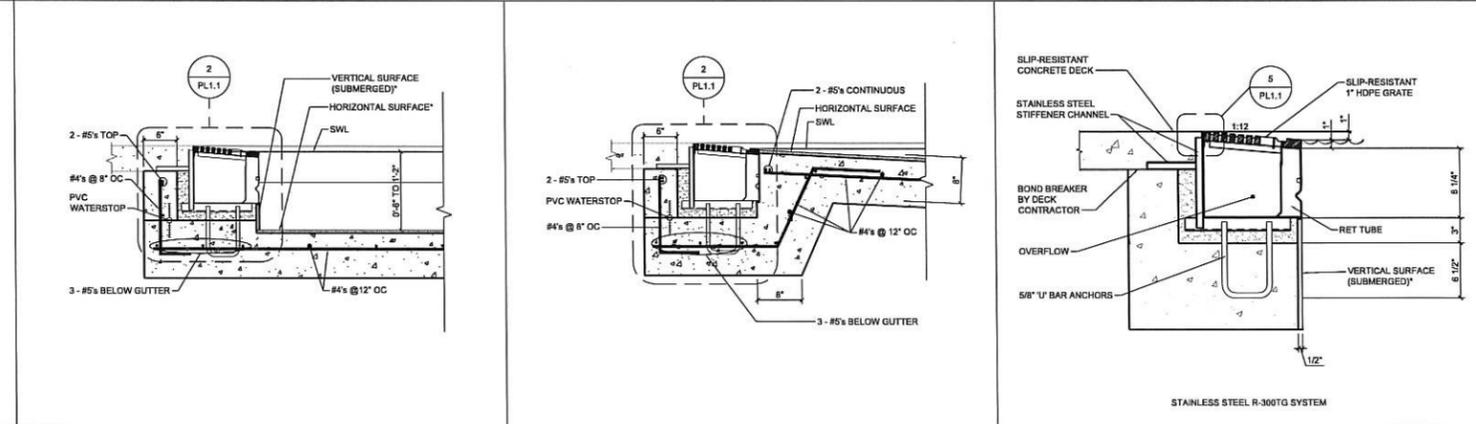
Project:
Western Racquet Club
Pool Zone CD's

Progress Set
Not For Construction

Location:
1800 Highland Drive
Elm Grove, Wisconsin 53122

Key Plan:

THIS SPACE NOT USED	11	THIS SPACE NOT USED	7	POOL A - WADING POOL DIMENSION PLAN	1
	NONE		NONE		1/2" = 1'-0"



Sheet:
POOL A - WADING POOL DIMENSION PLAN AND DETAILS

Scale:
SCALE

Revisions:

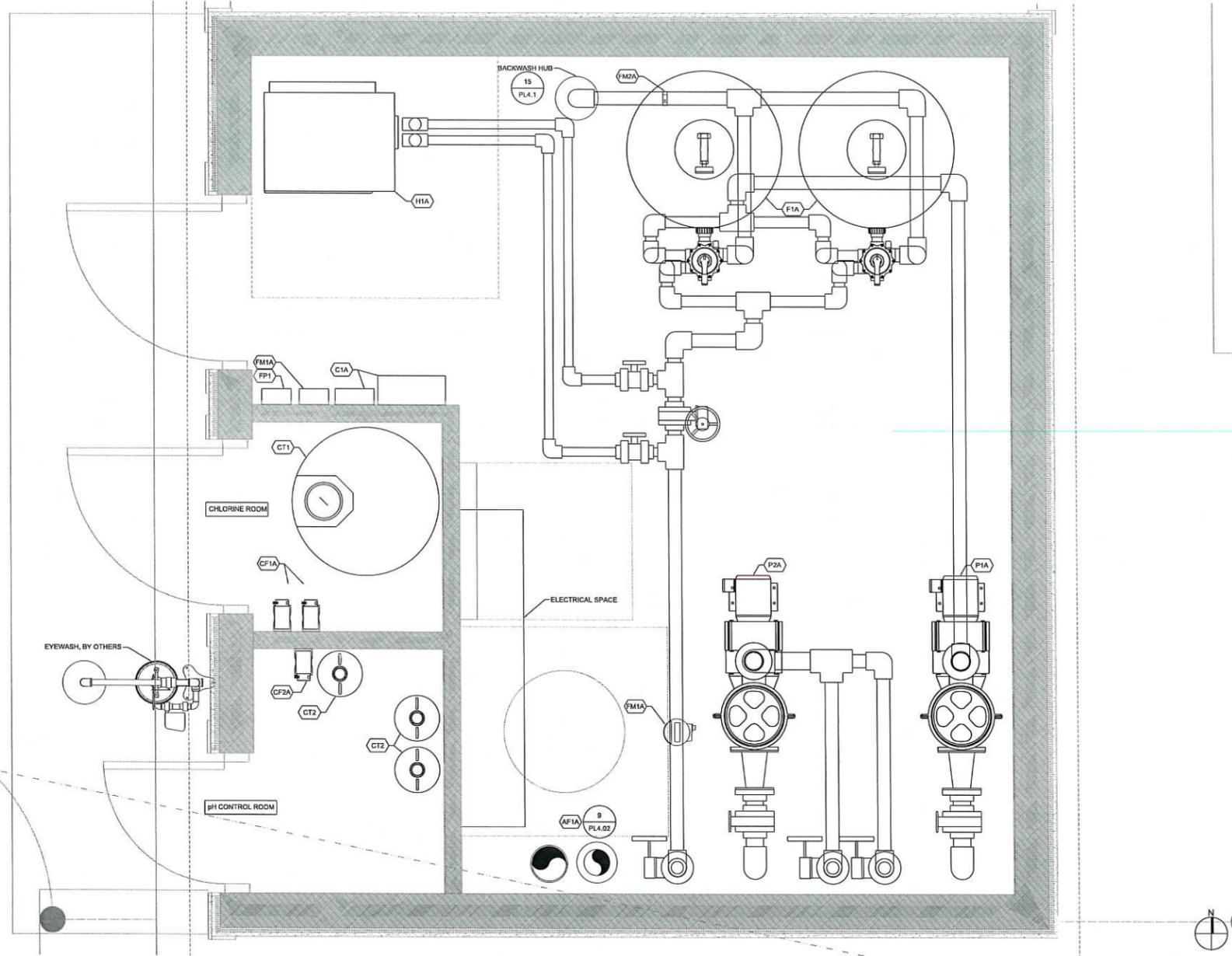
No.	Date	Description

Date:
October 30, 2015

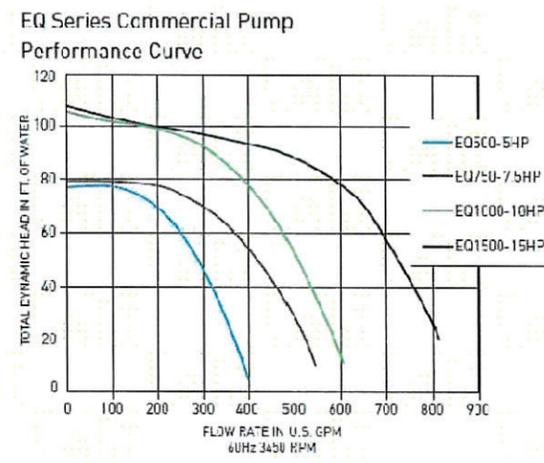
Project No.: 150021.00 (Owner) Project No.:

Sheet No.:

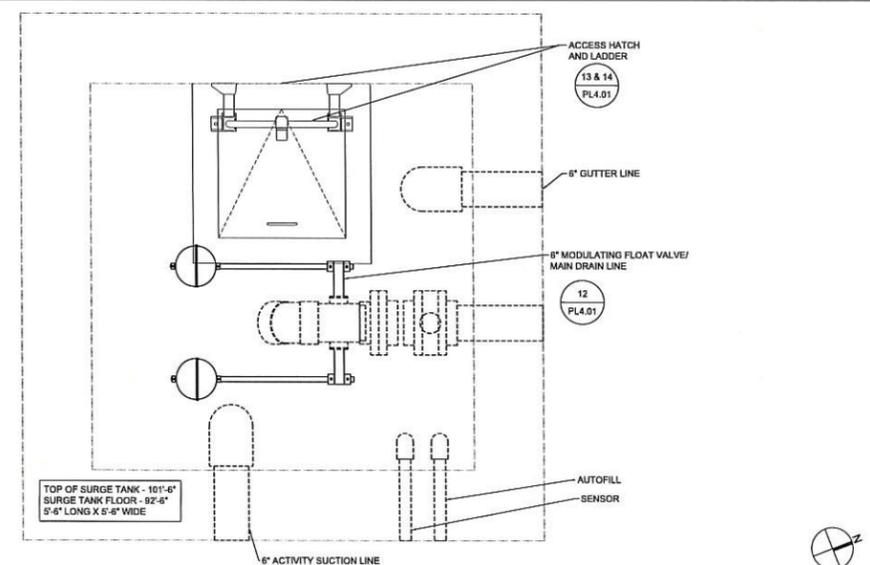
PL1.1



POOL MECHANICAL EQUIPMENT PLAN 2
1"=1'-0"



FILTRATION PUMP CURVE 4
NONE



SURGE TANK PLAN 3
1"=1'-0"

MECHANICAL PLAN NOTE

DIVISION 13 CONTRACTOR SHALL:

- 1 VERIFY EQUIPMENT PAD HEIGHT REQUIREMENTS FROM MANUFACTURER AND PROVIDE SHOP DRAWINGS TO POOL ENGINEER.
- 2 VERIFY ALL OPENINGS, PENETRATIONS, AND ELEVATIONS AND PROVIDE SHOP DRAWINGS TO POOL ENGINEER.
- 3 COORDINATE ALL PIPING AND EMBEDMENTS WITH AFFECTED TRADES.
- 4 REFER TO STRUCTURAL DRAWINGS FOR FUTURE CODED OPENINGS.
- 5 REFER TO ARCHITECTURAL PLANS FOR ACTUAL ROOM DIMENSIONS AND FINISHED FLOOR ELEVATIONS.
- 6 REFER TO PL102-2 FOR REINFORCEMENT AT PIPE PENETRATIONS.
- 7 SUPPORT PIPES PER PL401-3 THRU 9.
- 8 ALL CONNECTIONS AND HANGERS IN SURGE TANK TO BE STAINLESS STEEL.

POOL A DATA

DESCRIPTION	QTY	UNITS
POOL PERIMETER	90	FEET
WATER SURFACE AREA	544	SQUARE FEET
POOL VOLUME	3,714	GALLONS
SURGE CAPACITY	805	GALLONS
SURGE FACTOR	1.7	GAL/SFT
CIRCULATION RATE	186	GPM
TURNOVER/VOLUME/FLOW	20 MIN.	3,714 GAL.
FILTRATION RATE	13.15	GPM/FT²
PATRON LOAD	36	PERSONS

POOL A ACTIVITIES

ACTIVITY	QTY	UNITS
GEYSERS	5	150.00
DECK SPRAYS	8	120.00

EQUIPMENT SCHEDULE

ID TAG	DESCRIPTION	QTY	MANUFACTURER	BASIS OF DESIGN
P1A	FILTRATION PUMP	1	PENTAIR PUMP	EQ SERIES, EOK500, 185 GPM, @ 70' TDH, 5 HP, 230/460 VOLT, 3 PHASE, 60HZ, 3450 RPM, ODP MOTOR, END SUCTION, SELF PRIMING, CLOSE COUPLED, PROVIDE WITH INTEGRAL 6"x4" STRAINER AND EXTRA STRAINER BASKET.
P2A	ACTIVITY PUMP	1	PENTAIR PUMP	EQ SERIES, EOK500, 270 GPM, @ 60' TDH, 5 HP, 230/460 VOLT, 3 PHASE, 60HZ, 3450 RPM, ODP MOTOR, END SUCTION, SELF PRIMING, CLOSE COUPLED, PROVIDE WITH INTEGRAL 6"x4" STRAINER AND EXTRA STRAINER BASKET.
F1A	FILTER	2	PENTAIR POOL PRODUCTS	TRITON II, TR-140, 38" DIAMETER FIBERGLASS TANK, 7.05 SQUARE FEET OF SURFACE AREA EACH, 14.12 SQUARE FEET TOTAL, 13.15 GPM/SQ. FT. OF FILTER AREA, PROVIDE WITH 2" MULTI-PORT VALVE.
H1A	HEATER	1	LOCHINVAR	ENERGYRITE ERN 252, 250,000 BTU/HOUR INPUT, 3/4" GAS CONNECTION, 2" WATER CONNECTION, 6" DIAMETER FLUE, COPRO NICKEL HEAT EXCHANGER, MANUAL RESET HIGH LIMIT. FURTHER PROVIDE A.S.M.E. CONSTRUCTION, PRESSURE RELIEF VALVE, FLOW SWITCH FURTHER PROVIDE AIR INLET ADAPTER VENT ADAPTER AND VERTICAL CONCENTRIC VENTING KIT, OPTIONAL PUMP ON/OFF RELAY, AND ALL SAFETY DEVICE PACKAGES PER STATE AND LOCAL CODES.
AF1A	WATER LEVEL CONTROL	1	AQUATICCONTROL TECHNOLOGY	ELC-800-SS-ST-300, ELC-800- SERIES CONTROLLER, SINGLE SENSING, SURGE TANK SENSING APPLICATION WITH 300 FEET OF CABLE.
C1A	CHEMICAL CONTROLLER	1	BECS TECHNOLOGY	BECSys5 CONTROLLER, CONTINUOUS MONITORING AND CONTROL, WITH SENSORS AND FLOW ASSEMBLY FOR pH RANGE 8-14, ORP RANGE -1000 TO +1000mV, TEMPERATURE RANGE 0 TO 100 DEGREES C., FREE CHLORINE RANGE 0 TO 20 ppm, TOTAL CHLORINE RANGE 0 TO 20 ppm, TDS SENSOR 0 TO 10,000 PPM, WITH FLOW CELL, FLOW RANGE 0 TO 8000 GPM, COMPUTER INTERFACE AND REQUIRED SOFTWARE WITH REQUIRED CONNECTING KITS.
CT1	CHLORINE STORAGE	1	CHEMTAINER	DC SERIES, 150 GALLON, 34" DIAMETER, 48" HIGH, WITH 18" MANWAY.
CF1A	CHLORINE FEEDER	2	STENNER	SERIES 85, #85M2, 0.8 TO 17.0 GALLONS PER DAY OUTPUT, 120 VOLTS, USE SODIUM HYPOCHLORITE FOR DISINFECTANT. PROVIDE WITH WEIGHTED FOOT STRAINER.
CT2	ACID STORAGE	3	CHEMICAL SUPPLIER	15 GALLON CARBOYS PROVIDED BY OWNER'S CHEMICAL SUPPLIER
CF2A	ACID FEEDER	1	STENNER	SERIES 85, #85M2, 0.8 TO 17.0 GALLONS PER DAY OUTPUT, 120 VOLTS, USE MURIATIC ACID FOR pH CONTROL. PROVIDE WITH WEIGHTED FOOT STRAINER.
FP1	FLOW METER POWER SUPPLY	1	SIGNET	MODEL#7300-7524, 115 VAC/24VDC, 300 mA POWER SUPPLY. POWER SUPPLIES TO BE FURNISHED WITH NEMA 4X ENCLOSURE.
FM1A	FLOW METER (INLET SUPPLY LINE)	1	SIGNET	2551 MAG METER, INSERTION STYLE MAGNETIC FLOW SENSOR, MODEL #3-2551-P0-11, PROVIDE WITH FIELD MOUNT FLOW TRANSMITTER (MODEL #3-9909-1), UNIVERSAL MOUNTING KIT (MODEL #3-8059). PROVIDE WITH 3" DIAMETER PVC SADDLE INSERTION FITTING. FLOW TO BE DISPLAYED ON CHEMICAL CONTROLLER.
FM2A	FLOW METER (BACKWASH)	1	BLUE-WHITE INDUSTRIES	F-300 SERIES, ONE PIECE MACHINED ACRYLIC BODY, CORROSION RESISTANT INTERNAL PARTS

EQUIPMENT SCHEDULE 1
NONE

Zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 West Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE (414) 476.8500
FACHIVILE (414) 476.8582

Consultant:
WTI
WATER TECHNOLOGY INC.
World Leaders in Aquatic Planning, Design and Engineering
100 Park Avenue | Beaver Dam, WI 53916
1-800-867-7215 | F220.687-7250
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Project:
Western Racquet Club
Pool Zone CD's

Progress Set
Not For Construction

Location:
1800 Highland Drive
Elm Grove, Wisconsin 53122

Key Plan:

Sheet:
**MECHANICAL PLAN,
EQUIPMENT
SCHEDULES AND
DETAILS**

Scale:
SCALE

Revisions:

No.	Date	Description

Date:
October 30, 2015

Project No.: 150021.00 (Owner) Project No.:

Sheet No.:

PL4.0

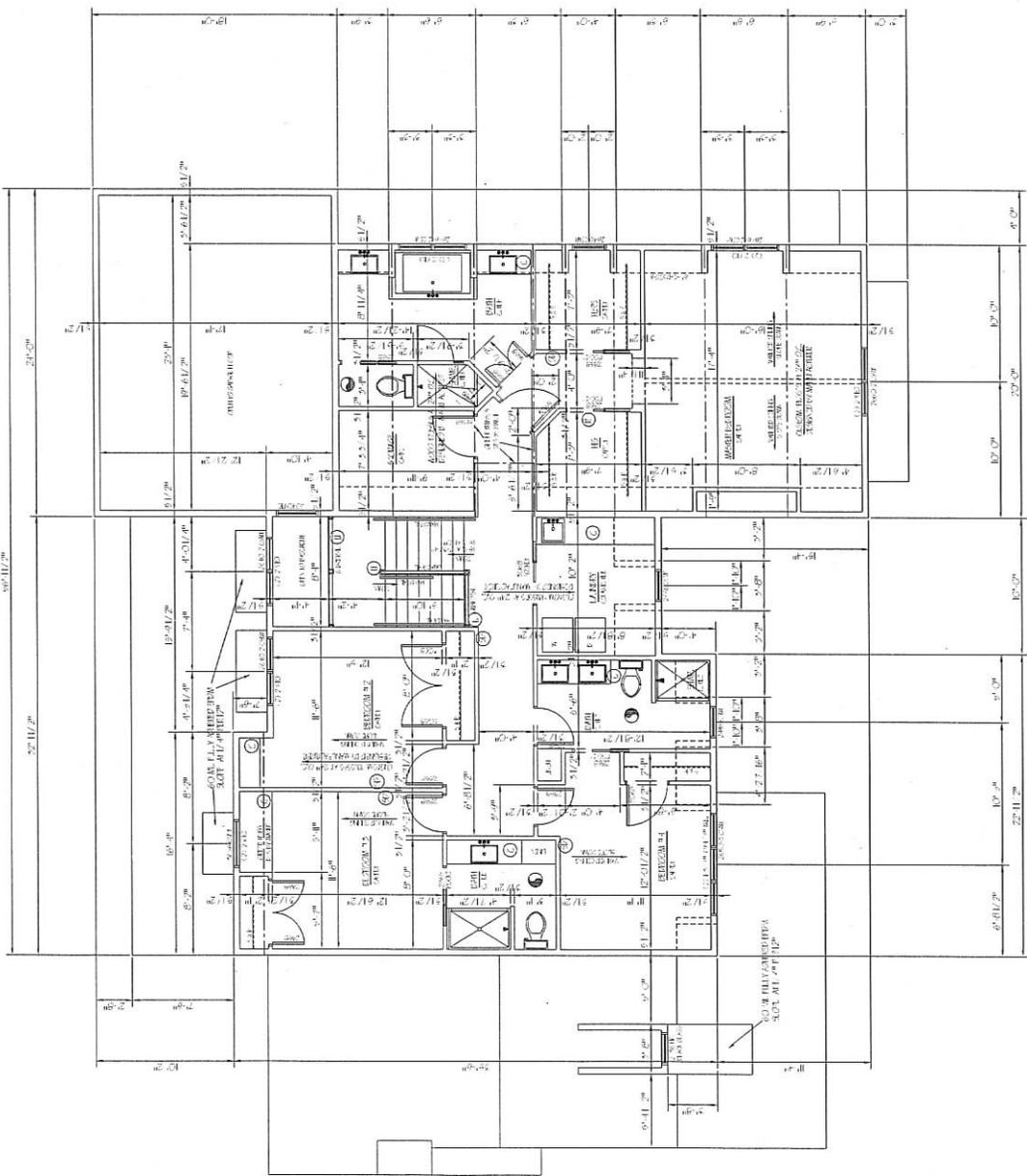
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

REVISIONS: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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- 20. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

PRELIMINARY PLANS
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 DO NOT USE THESE PLANS FOR CONSTRUCTION !!

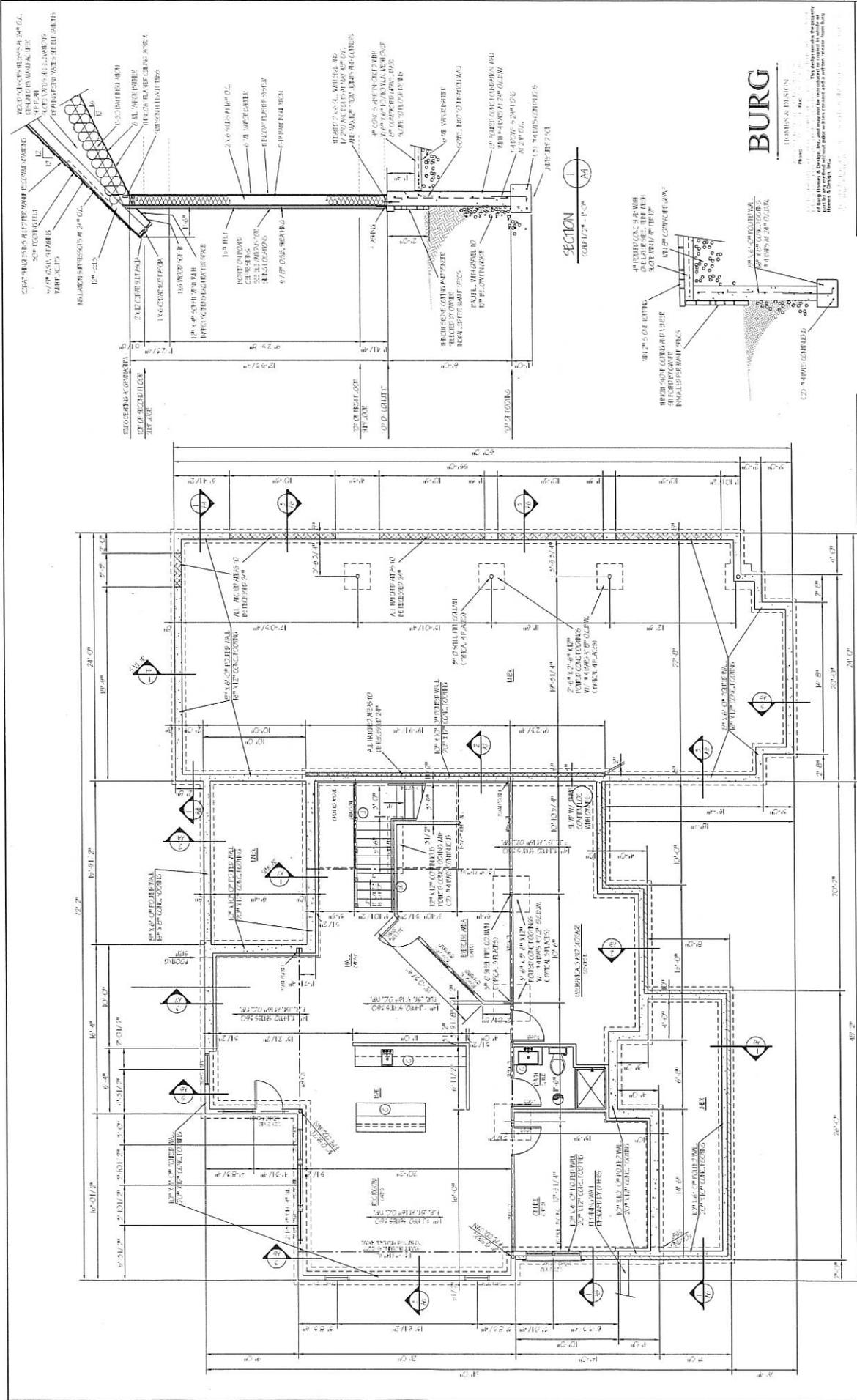


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BURG

BURG HOMES & DESIGN, INC.
 1000 W. WISCONSIN ST., SUITE 100
 MILWAUKEE, WI 53233
 TEL: 414-224-1111
 FAX: 414-224-1112
 WWW.BURGHOMES.COM

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DATE: 11/14/14	STL
College Grove Wisconsin	
SECOND FLOOR PLAN	
A-3 OF A-3	



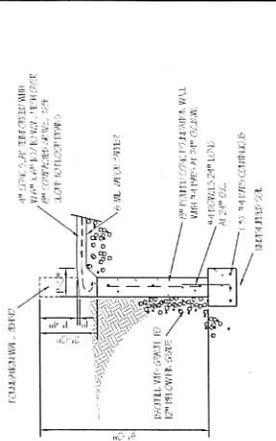
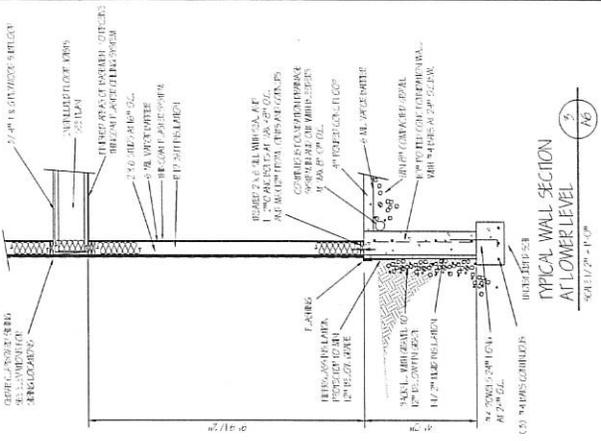
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 THOMAS & WILSON
 1111 W. WISCONSIN ST.
 MILWAUKEE, WI 53233
 Phone: (414) 342-1111
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SCALE: 1/4" = 1'-0"	SECTION	1	AS
11-22-15	BURG HOMES & DESIGN, INC.		
	Collage Grove		
	Wisconsin		
	FOOTING AND FDN PLAN		AT 1 OF 16

SCALE: 1/4" = 1'-0"	SECTION	2	AS
11-22-15	BURG HOMES & DESIGN, INC.		
	Collage Grove		
	Wisconsin		
	FOOTING AND FDN PLAN		AT 1 OF 16

PRELIMINARY PLANS
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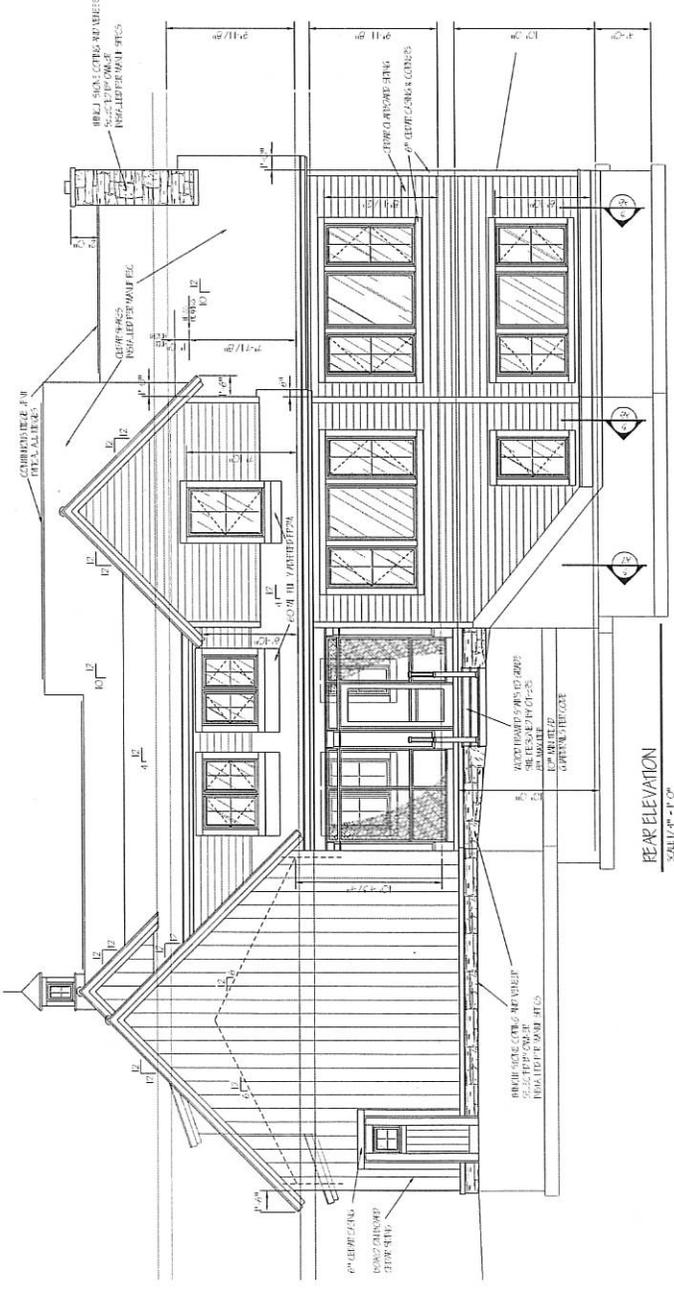
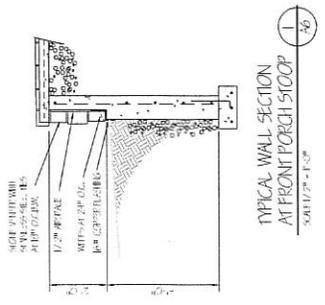
FOOTING AND FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



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 THOMAS & DUNSON
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11-12-15	SHE
Collage Grove	
--- Wisconsin	
REAR ELEVATION	A-6 of A-8

PRELIMINARY PLANS
 BE USE THESE PLANS FOR CONSTRUCTION !!
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REAR ELEVATION
 SCALE: 1/8" = 1'-0"

December 3, 2015

Mr. Casey Griffiths
Zoning and Planning Administrator
Village of Elm Grove
13600 Juneau Boulevard
Elm Grove, WI 53122-0906

Re: 14980 Juneau Boulevard
Residential Re-Development Plan Review

Dear Mr. Griffiths:

As requested, we have reviewed the Building Permit Survey and the Site Grading, Erosion and Sedimentation Control Plan dated November 23, 2015 for the construction of a new single family home at 14980 Juneau Boulevard. These documents were submitted to meet the requirements of the Village Code. A brief site visit was held on December 1, 2015 with yourself, Richard Paul and I in attendance. Our findings and recommendations for various utility, grading, and restoration elements of the proposed new construction are as follows:

1. The Building Permit Survey must be revised as follows:
 - Show the first floor elevations of both adjacent existing homes.
 - Sanitary sewer lateral that served the former home.
 - Show proposed sanitary sewer, gas, electric, telephone utilities serving the property.

2. Sanitary Sewer:

Record drawings showing the location of the sewer lateral connection to the sanitary sewer main are not available. However, available information shows the property is served by an existing 8-inch diameter sanitary sewer located within the public right-of-way of Juneau Boulevard. Based on available information it appears the sanitary sewer was too high to serve the former home by gravity. The Building Permit Survey will need to indicate whether the lateral will be abandoned or reused. If the existing lateral is directly connected to the manhole, then the lateral must be abandoned.

If the applicant wants to reuse the existing lateral, then it must be televised to determine its structural condition. Per Section 232.8 of the Village Code, if it is of PVC construction and is free of defects and water tight as evidenced by a televised inspection video and report, it may be used for the new house. If it is leaking or not PVC, it must be lined or re-laid with proof that the improvements are water tight (televised inspection video and report).

Mr. Casey Griffiths

Re: 14980 Juneau Boulevard - Residential Re-Development Plan Review

December 3, 2015

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If the existing lateral is abandoned, then per Section 232-8 of the Village Code, the existing sanitary lateral will need to be severed from the main and a seal placed at the connection to the main. The abandonment will need to be inspected and tested to the satisfaction of the Director of Public Works.

If a new sanitary sewer lateral is to be constructed, then it must be shown on the Building Permit Survey. A plumbing permit will be required with final inspection performed by the Village plumbing inspector. The lateral connection may be made anywhere along the sewer main except the lateral may not be directly connected to a sewer manhole or within 5 feet of a manhole structure.

If a new lateral is stubbed out of the sewer main before a connection is made to the new house structure, then a temporary exterior cleanout will need to be placed over the lateral in the yard. The cleanout riser pipe should temporarily extend four feet above grade and be protected from the construction grading work. The upstream end of the new lateral will need to be temporarily plugged until the lateral is connected to the new house.

Cement slurry backfill will be required for excavations under the road pavement with pavement replacement in kind.

3. Erosion Control: The Village prefers not to have silt fence installed in the public right-of-way. We recommend using an alternative sediment barrier erosion control device adjacent to the street pavement. A temporary manufactured erosion log perimeter control device conforming to DNR Technical Standards 1071 is one acceptable alternative.
4. Storm Drainage/Grading:

Existing topography of the property generally slopes toward the west-northwesterly direction.

Proposed contours on the Site Grading, Erosion and Sedimentation Control Plan show slopes that are steeper than 3:1. We recommend vegetated slopes be 4:1 slope or flatter to make initial restoration and future maintenance easier. Therefore, we recommend the Site Grading, Erosion and Sedimentation Control Plan be revised to provide slopes that are 4:1 or flatter when possible and no slopes exceeding 3:1.

The Site Grading, Erosion and Sedimentation Control Plan shows retaining walls to be constructed on the property. Elevations along the top and bottom of the walls must be shown on the Site Grading, Erosion and Sedimentation Control Plan to show how they tie into existing or proposed grading contours. Retaining walls greater than 4 feet tall and walls that support additional loadings other than level earth dead loads behind the wall must be designed and sealed by a Professional Engineer licensed in the State of Wisconsin.

Mr. Casey Griffiths

Re: 14980 Juneau Boulevard - Residential Re-Development Plan Review

December 3, 2015

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Terraced retaining walls may also need to be designed and sealed by a Professional Engineer licensed in the State of Wisconsin depending upon their height and spacing configuration.

5. The Building Permit Survey shows two existing fences and a retaining wall that cross the north and west property lines. It is unknown whether the fences and retaining wall are owned by the applicant or the adjacent property owners. The potential encroachments must be resolved between the adjoining property owners.
6. Driveway Culvert: Existing topography slopes away from the existing Juneau Boulevard pavement without a ditch. Therefore, no driveway culvert currently exists for this property. The Site Grading, Erosion and Sedimentation Control Plan maintains this existing drainage pattern.
7. House Setback: The Building Permit Survey shows the proposed new home will meet setback requirements in the Village Code. It is noted the street yard setback proposed on the current Building Permit Survey is less than the street yard setback proposed on the previous version dated September 30th.
8. House Grade:

The Plat of Survey will need to be revised before a review of the proposed first floor elevation can be completed. It is noted the first floor elevation proposed on the current Building Permit Survey is higher than the first floor elevation proposed on the previous version dated September 30th.

Because mapping from the Wisconsin Department of Natural Resources (DNR) Water Surface Data Viewer website shows wetland indicator soils are present on the property, we recommend the lowest floor elevation be placed above the seasonal high water table to avoid the potential for basement wetness issues. The “Basement Wetness and Flooding Prevention Standards” prepared by the Land Resources Division of Waukesha County are a good reference regarding this topic. If the lowest floor elevation is below the seasonal high water table, then the proposed building plan may need to be revised to raise up the house and minimize basement wetness risks. If raising the house results in a first floor elevation that is too high for the surrounding neighborhood, then the proposed building plan may need to be revised to build a slab on grade home or crawl space in lieu of a full basement.

9. Sump Pump: The Site Grading, Erosion and Sedimentation Control Plan shows a sump pump discharge directed toward the adjacent house to the west. Normally, the sump pump discharge would be directed toward the road ditch. However, since no road ditch exists, an alternate discharge location is necessary. We recommend the sump pump discharge line be revised so that it is not directed toward a neighboring house.

Mr. Casey Griffiths

Re: 14980 Juneau Boulevard - Residential Re-Development Plan Review

December 3, 2015

Page 4

10. Downspouts: The Site Grading, Erosion and Sedimentation Control Plan shows the location and discharge direction of the downspouts. We recommend the southwest downspout be revised so that it is not directed toward the neighboring house.
11. Landscaping: A landscape plan will need to be submitted to the Village at a later date as required by Village Code.

Based upon the above issues, we recommend the Building Permit Survey and the Site Grading and Erosion Control Plan be revised and resubmitted to the Village prior to approval.

Please contact our office with any questions regarding this matter.

Very truly yours,

RUEKERT & MIELKE, INC.



Anthony D. Petersen, P.E. (WI, IA)

Senior Project Manager

apetersen@ruekert-mielke.com

ADP:crp

cc: David De Angelis, Village of Elm Grove

Richard Paul, Jr., Village of Elm Grove

File